

BOARD OF ZONING APPEALS MEETING  
THURSDAY, APRIL 28, 2022, 5:30 P.M.  
COUNCIL CHAMBERS  
40 W MAIN ST, NEWARK, OH 43055

## AGENDA PUBLIC HEARING

1. CALL TO ORDER
2. APPROVAL OF MINUTES
3. OLD BUSINESS
4. NEW BUSINESS

### APPLICATION BZA-22-05

Applicant: Scott Manno  
Owner: Elite Construction Services LLC  
Location: 118 Union St  
Project: 3 Unit Retail Building  
Reference: 56.8

### APPLICATION BZA-22-06

Applicant: Craig Allen  
Owner: Allen Home Solutions LLC/Alliance Property Group LLC  
Location: 61 Leonard Ave  
Project: Accessory Structure  
Reference: 86.3

### APPLICATION BZA-22-07

Applicant: Bryan Lewis  
Owner: Laverne Heath Properties LLC  
Location: 204-212 Laverne Dr  
Project: Multi-Family Units  
Reference: 110.2.1/26.8

THE NEXT SCHEDULED BOARD OF ZONING APPEALS MEETING WILL BE HELD ON  
THURSDAY, MAY 26, 2022, 5:30 P.M. THE DEADLINE FOR AGENDA ITEM SUBMITTAL  
IS MAY 2, 2022, 4:30PM.

5. ADJOURNMENT



**CITY OF NEWARK  
ENGINEERING & ZONING**

Zoning Application #

BZA-22-05  
BZA Appeal #

c/o Engineering Department

40 West Main Street | Newark, Ohio 43055 | Tel 740.670.7727 | Fax 740.349.5911 | www.newarkohio.net

**BOARD OF ZONING APPEALS APPLICATION**

Owner	
<b>Name:</b> Elite Construction Services LLC./ Scott Manno	<b>Telephone:</b> 614 206-9417
<b>Address:</b> 556 Greenwood Loop Newark, Ohio 43055	<b>E-mail:</b> scottmanno@windstream.net
Applicant	
<b>Name:</b> Scott Manno	<b>Telephone:</b> 614 206-9417
<b>Address:</b> 556 Greenwood Loop Newark, Ohio 43055	<b>E-mail:</b> scottmanno@windstream.net
Lessee	
<b>Name:</b>	<b>Telephone:</b>
<b>Address:</b>	<b>E-mail:</b>

Parcel	
<b>Address of Parcel:</b> (Number & Street, City, State, Zip) 118 Union Street Newark, Ohio 43055	<b>Auditor's Parcel #:</b> 054-216882-00.000
On the <input type="checkbox"/> North <input type="checkbox"/> South <input type="checkbox"/> East <input checked="" type="checkbox"/> West side of the street, between the following intersections: Wehrle Ave and Maholm St.	
<b>Subdivision Name:</b> Daniel Forrys Add to Lockport	<b>Lot Number:</b> Lot 2 <i>PT</i>
<b>Zoning Classification:</b> Commercial <i>GC</i>	<b>Proposed Use:</b> 3 Unit Retail Center
<b>Notes:</b> (Optional)	

Appeal	
<b>The Application is a request to permit the following:</b>	
Erection <input type="checkbox"/>	Alteration <input checked="" type="checkbox"/>
Maintenance <input type="checkbox"/>	Conversion <input type="checkbox"/>
Conditional Use <input type="checkbox"/>	
<b>In accordance with the plans filed herewith, describe the building or use:</b>	
This request is for obtaining a setback variance for a new 3 unit retail building to replace an existing structure on the property.	

**Appeal Continued**

**This project is not permitted by the Zoning Code for the following reason(s):**

The proposed setbacks do not meet today's requirements.

**Please outline the circumstances, which you feel would warrant a variance to the requirements of the Zoning Code:** The new building is a replacement for a building that already exists on the property. The existing building was constructed right on the property line. The proposal will move the new structure 6 feet off the property lines that border an alley and the front sidewalk.

**Has there been any previous application or appeal on these premises?**  Yes  No **When?**

**This application is a request for modification of the requirements of the following Article(s)/Section(s) of the Zoning Code:** Article 7/7.3.2 Article 80 and 82

56.8

**Required Documents**

(Must be signed and returned to the Engineering Department.)

- A. Original Application
- B. List of owner names, street addresses and tax mailing addresses for all properties lying within 200 feet radius of the entire property in question. **Number the parcel list. This will correspond with the Tax Map in C below.**
- C. Tax Map from the County Engineer indicating boundaries of this property in question and properties described in B above. **Number each parcel on the map to match its corresponding name, location and mailing address in list B above.**
- D. Site Plan showing location of existing and proposed structures, property lines, setbacks and dimensions.
- E. Elevation drawings of the front, side and rear of the proposed building or structure. Identify all major exterior finish materials on the elevation drawing.
- F. Application Fee of \$50.00 Cash or Check made payable to the City of Newark
- G. Application Fee of \$25.00 for Off-Premise Variable Message Sign
- H. Additional documentation at the discretion of the applicant for support of the Appeal

**Upon receipt of this application and the required documents listed above, you will be notified of the date and time of the hearing at which time you or a representative must appear.**

BZA-22-05  
BZA Appeal #

Zoning Application #

Scott P Manno

(Owner/Applicant Signature)

Before me, a Notary Public in and for Knox County in the State of OHIO, personally

appeared Scott Manno who, by me being duly sworn, says that he is the  
(Applicant's name)

APPLICANT/OWNER of the parcel of land with reference to which the within appeal is made; and  
(Applicant, owner, lessee)

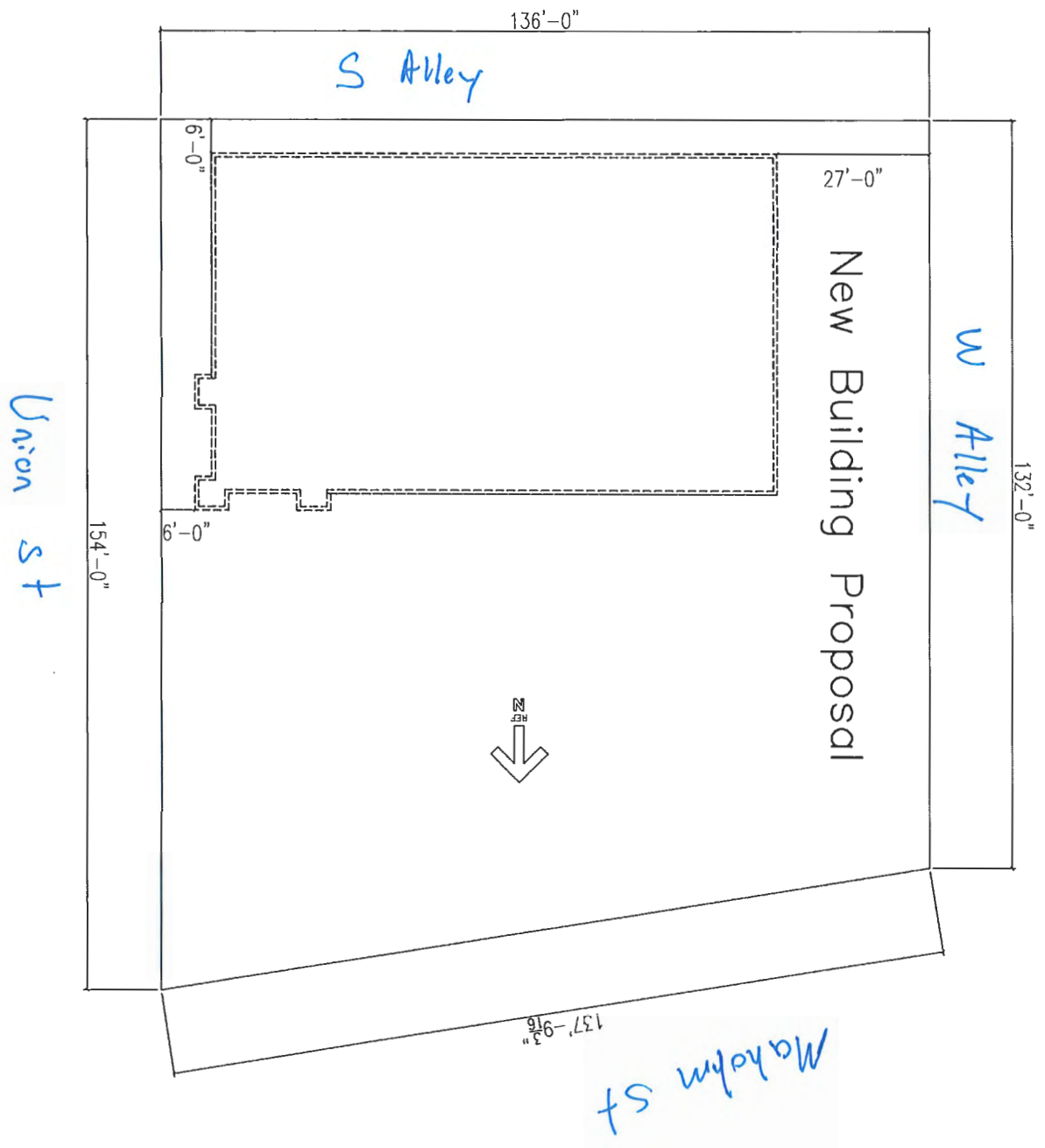
that the statement of facts contained herein above is true.

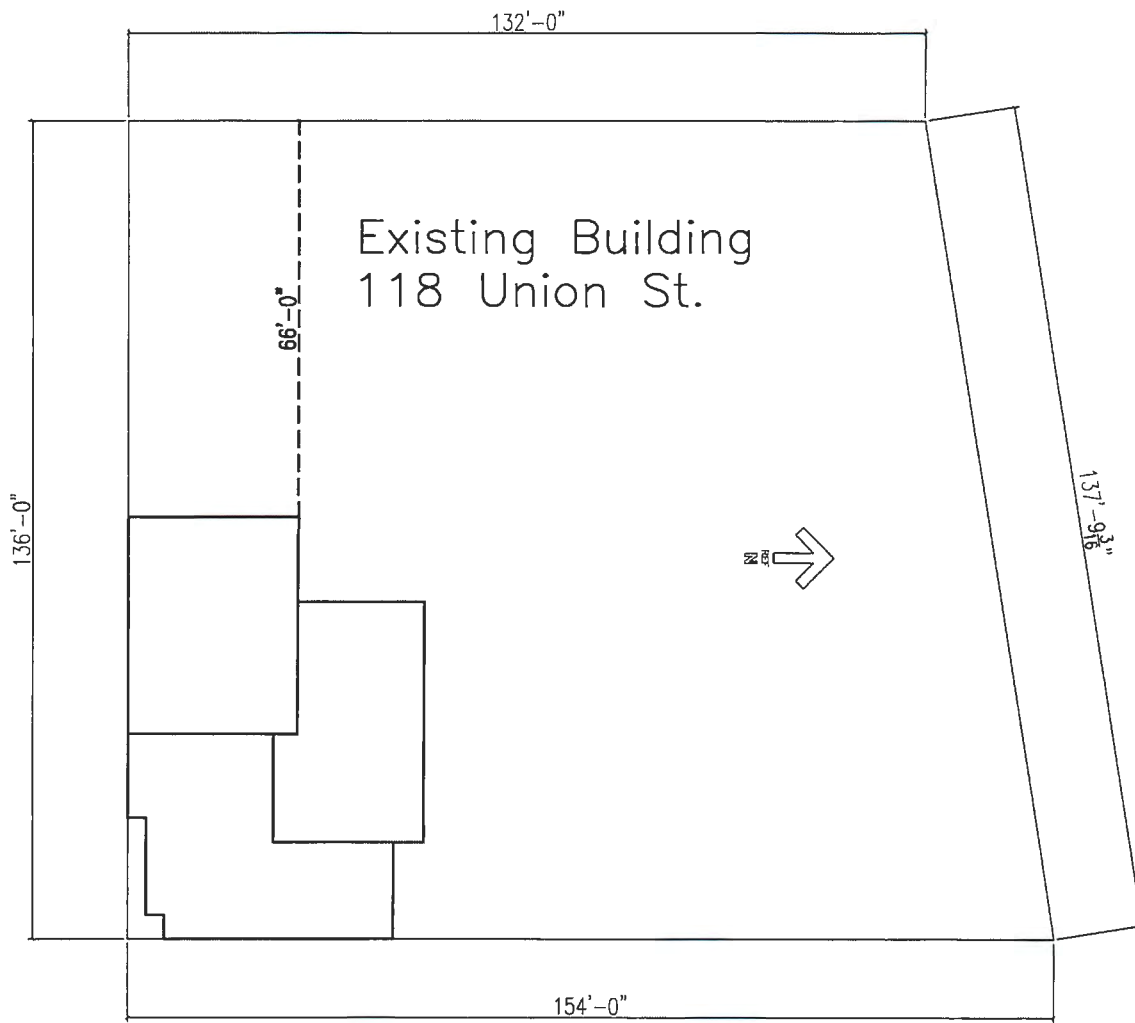
Subscribed and sworn to before me this 15<sup>th</sup> day of March, 2022.

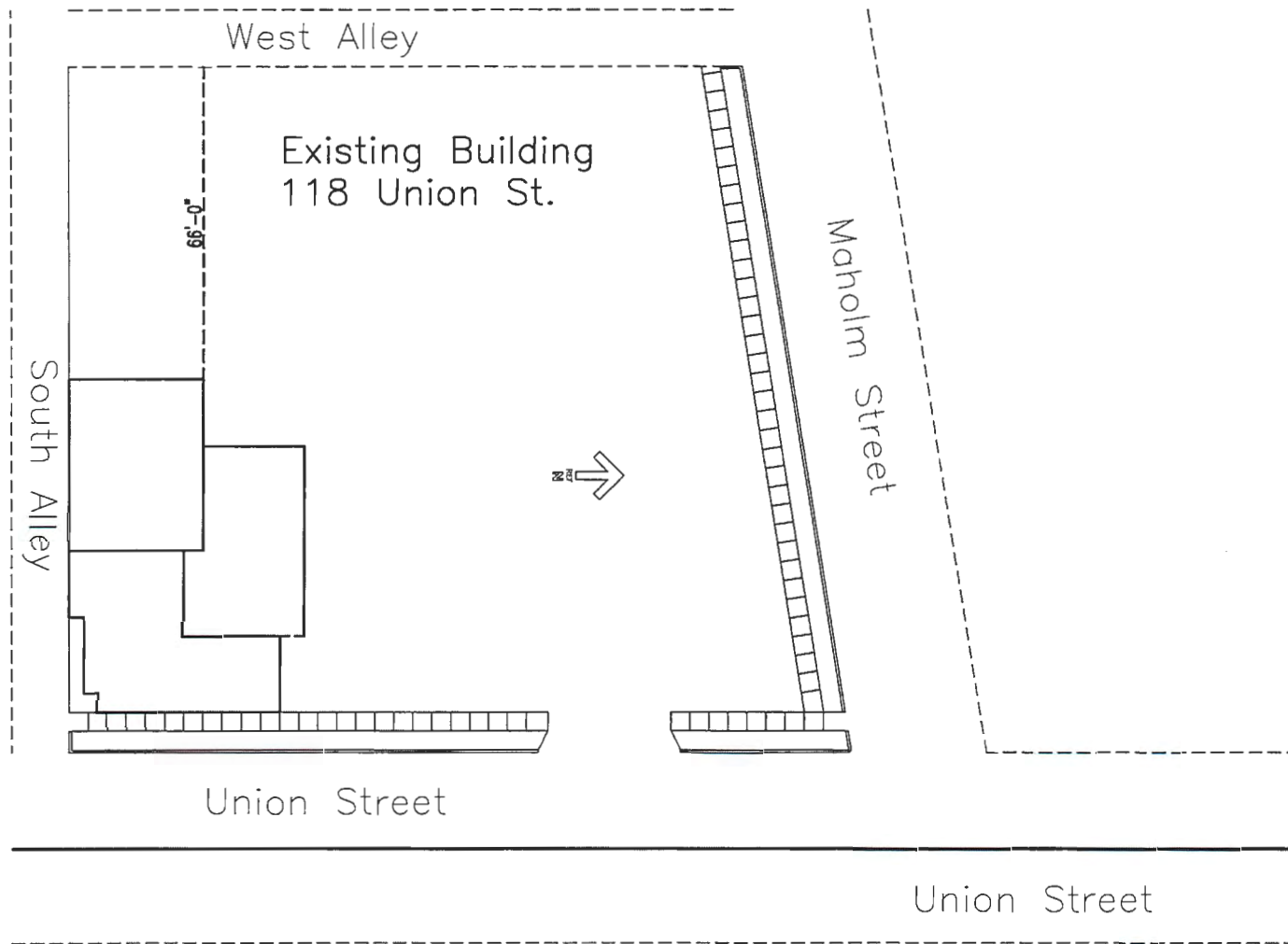
[Signature]  
(Notary Public signature)

DO NOT WRITE BELOW THIS LINE – FOR OFFICE USE ONLY

Status:	Date:	Zoning Reviewer:	Date Notified:	Date:
<input type="checkbox"/> Incomplete				Rcvd. Date: <u>3/21/22</u>
<input checked="" type="checkbox"/> Forward to BZA	<u>4/14/2022</u>	<u>BAM</u>		Paid Date: <u>3/21/22</u>
<input type="checkbox"/> Hold		Reason:		Check Cash (circle one)
				Check # <u>442</u>
				Amount \$ <u>5000</u>











STATE ROUTE 79 RAMP

STATE ROUTE 79

SCANLON

MAHOLM ST

UNION ST

NEWARK CITY OF

Columbus & Ohio River Railroad

Columbus & Ohio River Railroad

LONG PIN 542311200000 88

W A M PROPERTIES 1 LTD PIN 542230620000 92

SCANLON PIN 542189490000 94

MARTIN PIN 542293140000 98

MARTIN PIN 542244420000 98

JONES PIN 542175180000 98

JONES PIN 542257860000 98

TORRENCE CORP PIN 542177700000

CHATTERTON PIN 542314200000 1

CHATTERTON PIN 542224200000 1

CHATTERTON PIN 542303700000

CHATTERTON PIN 542303700000

EMANNO PIN 542198340000 11

ELITE CONSTRUCTION SERVICES LLC PIN 542175600000 110

ELITE CONSTRUCTION SERVICES LLC PIN 542168820000 116

ELITE CONSTRUCTION SERVICES LLC PIN 542168820000 118

CHATTERTON PIN 542172600000 122

PEACOCK PROPERTIES L L C PIN 542171820000

PEACOCK PROPERTIES L L C PIN 542171820000

134

138

PEACOCK PROPERTIES L L C PIN 542171820000

142

HOPE TIMBER PROPERTIES L L C PIN 542177400005

Legend

- Building Outlines
- Railroad
- Proposed Variance with PARCELS

1 inch = 75 feet

110/118 Union St  
11 Maholm St

2021 23 2022



Zoning Application #

BZA-22-06

BZA Appeal #

**CITY OF NEWARK  
ENGINEERING & ZONING**

c/o Engineering Department

40 West Main Street | Newark, Ohio 43055 | Tel 740.670.7727 | Fax 740.349.5911 | www.newarkohio.net

**BOARD OF ZONING APPEALS APPLICATION**

Rev 2/10

**Owner**

**Name:** Allen Home Solutions LLC and Alliance Property Group LLC **Telephone:** 614-537-5432 or 614-593-9171

**Address:** 3575 Sellers Dr Millersport OH 43046 & 3548 Dry Creek RD NE Granville OH 43023 **E-mail:** Allen\_home\_solutions@yahoo.com or alliancepropertygrp@gmail.com

**Applicant**

**Name:** Craig Allen **Telephone:** 614-537-5432

**Address:** 3575 Sellers Dr Millersport OH 43046 **E-mail:** allen\_home\_solutions@yahoo.com

**Lessee**

**Name:** **Telephone:**

**Address:** **E-mail:**

**Parcel**

**Address of Parcel:** (Number & Street, City, State, Zip) 61 Leonard Ave Newark Ohio 43055 **Auditor's Parcel #:** 054-203322-00.000

On the North South East West side of the street, between the following intersections:  
2nd Street and Leonard Ave

**Subdivision Name:** THE HEIRS OF WILLIAM C SCHENK **Lot Number:** 21

**Zoning Classification:** If filling out electronically, click box to display dropdown RM **Proposed Use:** If filling out electronically, click box to display dropdown (Specify Use):

**Notes:** (Optional)

**Appeal**

**The Application is a request to permit the following:**  
**Erection**  **Alteration**  **Maintenance**  **Conversion**  **Conditional Use**

**In accordance with the plans filed herewith, describe the building or use:**

To erect a garage in the front of the house that is not attached to the house. The garage will be 18 feet wide by 22 deep. The garage will be 22 feet off the street and 2 feet off the lot on the east against the railroad ties wall.

Zoning Application #

BZA-22-06  
BZA Appeal #

### Appeal Continued

**This project is not permitted by the Zoning Code for the following reason(s):**

Garage not attached to house and need smaller set backs.

**Please outline the circumstances, which you feel would warrant a variance to the requirements of the Zoning Code:**

The house has no backyard or side yard, therefore the garage has to go in the front of the house and will not to be attached to the house. Due to the slope of the property and the width of the lot we are asking for a variances for the setback on the east property line and depth from the road.

**Has there been any previous application or appeal on these premises?** Yes No **When?**

**This application is a request for modification of the requirements of the following Article(s)/Section(s) of the Zoning Code:** (List)

### Required Documents

(Must be signed and returned to the Engineering Department.)

- A. Original Application
- B. List of owner names, street addresses and tax mailing addresses for all properties lying within 200 feet radius of the entire property in question. Number the parcel list. This will correspond with the Tax Map in C below.
- C. Tax Map from the County Engineer indicating boundaries of this property in question and properties described in B above. Number each parcel on the map to match its corresponding name, location and mailing address in list B above.
- D. Site Plan showing location of existing and proposed structures, property lines, setbacks and dimensions.
- E. Elevation drawings of the front, side and rear of the proposed building or structure. Identify all major exterior finish materials on the elevation drawing.
- F. Application Fee of \$50.00 Cash or Check made payable to the City of Newark
- G. Application Fee of \$25.00 for Off-Premise Variable Message Sign
- H. Additional documentation at the discretion of the applicant for support of the Appeal

Upon receipt of this application and the required documents listed above, you will be notified of the date and time of the hearing at which time you or a representative must appear.

\_\_\_\_\_  
Zoning Application #

BZA-22-06  
BZA Appeal #

\_\_\_\_\_  
(Owner/Applicant Signature)

Before me, a Notary Public in and for \_\_\_\_\_ County in the State of \_\_\_\_\_, personally

appeared \_\_\_\_\_ who, by me being duly sworn, says that he is the

(Applicant's name)

\_\_\_\_\_ of the parcel of land with reference to which the within appeal is made; and

(Applicant, owner, lessee)

that the statement of facts contained herein above is true.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_.

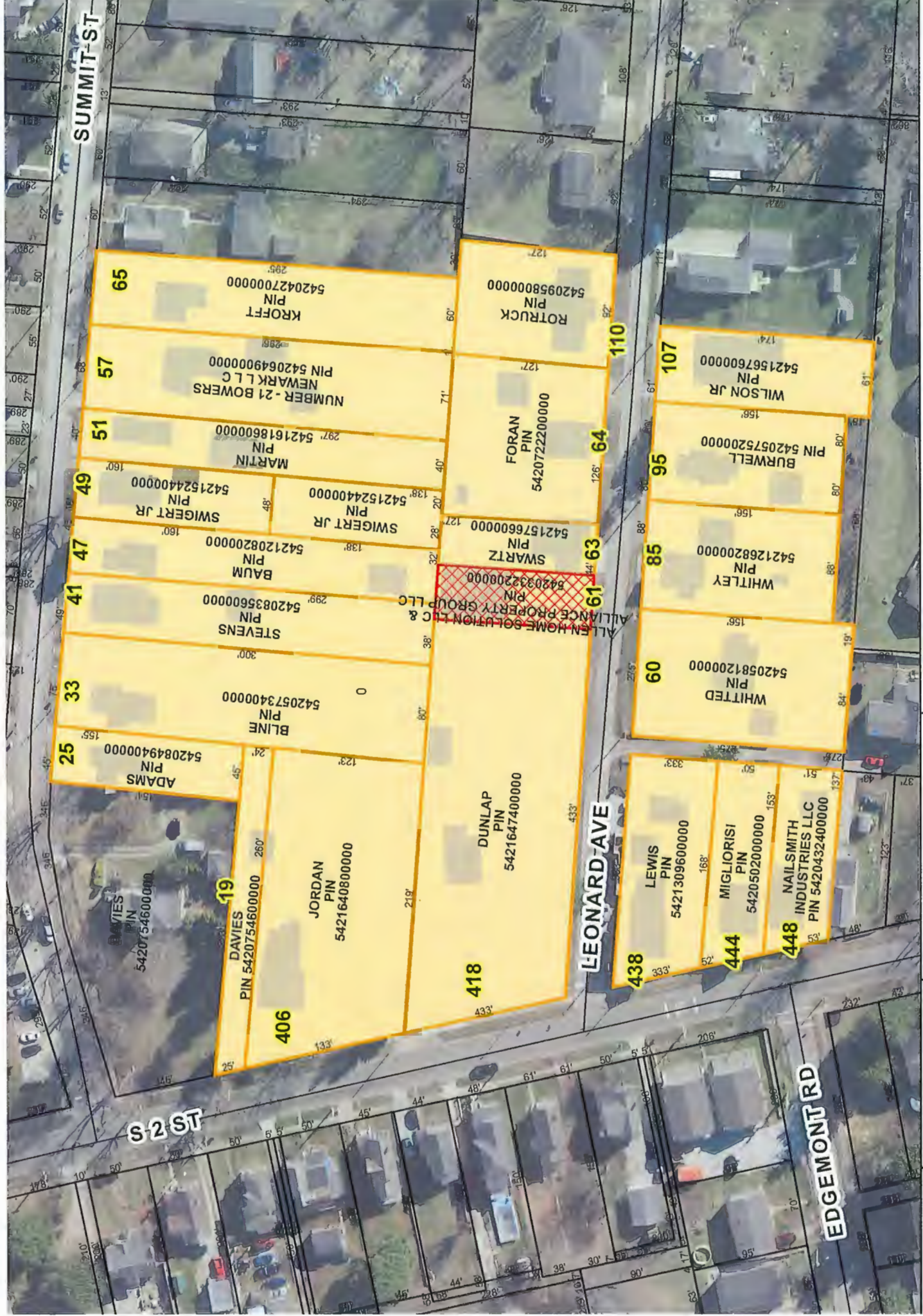
\_\_\_\_\_  
(Notary Public signature)

DO NOT WRITE BELOW THIS LINE – FOR OFFICE USE ONLY

Status:	Date:	Zoning Reviewer:	Date Notified:	Date:
<input type="checkbox"/> Incomplete				Rcvd. Date: 4/6/22 Paid Date: 4-6-22 Check <input checked="" type="checkbox"/> Cash (circle one) Check # 111 Amount \$ 50.00
<input checked="" type="checkbox"/> Forward to BZA	4/14/2022	BMM		
<input type="checkbox"/> Hold		Reason:		

61 LEONARD AVE NEWARK OHIO





SUMMIT-ST

S 2 ST

LEONARD AVE

EDGEMONT RD

**Legend**

-  Proposed Variance
-  PARC.F.I.S.
-  Building Outlines
-  Proressed Variance within 200ft

1 inch = 100 feet



APRIL 7, 2022

61 Leonard Ave

**25** ADAMS PIN 5420849400000  
**33** BLINE PIN 5420573400000  
**41** STEVENS PIN 5420835600000  
**47** BAUM PIN 5421208200000  
**49** SWIGERT JR PIN 5421524400000  
**51** MARTIN PIN 5421618600000  
**57** NUMBER - 21 BOWERS NEWARK LLC PIN 5420649000000  
**65** KROFFT PIN 5420427000000  
**19** DAVIES PIN 5420754600000  
**406** JORDAN PIN 5421640800000  
**418** DUNLAP PIN 5421647400000  
**61** ALLIANCE PROPERTY GROUP LLC & ALLEN HOME SOLUTION LLC PIN 5420332200000  
**63** SWARTZ PIN 5421576600000  
**64** FORAN PIN 5420722200000  
**110** ROTRUCK PIN 5420958000000  
**60** WHITTED PIN 5420581200000  
**85** WHITLEY PIN 5421268200000  
**95** BURWELL PIN 5420575200000  
**107** WILSON JR PIN 5421567600000  
**438** LEWIS PIN 5421309600000  
**444** MIGLIORISI PIN 5420502000000  
**448** NAILSMITH INDUSTRIES LLC PIN 5420432400000



**CITY OF NEWARK  
ENGINEERING & ZONING**

Zoning Application # \_\_\_\_\_ BZA Appeal # \_\_\_\_\_

c/o Engineering Department

40 West Main Street | Newark, Ohio 43055 | Tel 740.670.7727 | Fax 740.349.5911 | www.newarkohio.net

**BOARD OF ZONING APPEALS APPLICATION**

Rev 2.10

**Owner**

Name: <i>Laverne Heath Properties LLC</i>	Telephone: <i>740 920 4099</i>
Address: <i>1239 Cherry Valley Rd SE</i>	E-mail:

**Applicant**

Name: <i>BRYAN LEWIS</i>	Telephone: <i>740 975 6252</i>
Address: <i>1239 Cherry Valley Rd SE</i>	E-mail: <i>blewis@stoneworksllc.com</i>

**Lessee**

Name:	Telephone:
Address:	E-mail:

**Parcel**

Address of Parcel: (Number & Street, City, State, Zip) <i>204-212 LAVERNE DR NEWARK, OH</i>	Auditor's Parcel #: <i>054-203316-00,000</i>
--	---

On the  North  South  East  West side of the street, between the following intersections:  
*END of LAVERNE DR and*

Subdivision Name:	Lot Number:
-------------------	-------------

Zoning Classification: If filling out electronically, click box to display dropdown <i>MFR</i>	Proposed Use: If filling out electronically, click box to display dropdown (Specify Use):
---	---

Notes: (Optional)

**Appeal**

The Application is a request to permit the following:  
Erection  Alteration  Maintenance  Conversion  Conditional Use

In accordance with the plans filed herewith, describe the building or use:  
*Set back requirement & distance between buildings*

### Appeal Continued

This project is not permitted by the Zoning Code for the following reason(s):

Please outline the circumstances, which you feel would warrant a variance to the requirements of the Zoning Code:

AS SHOWN WE CAN PROVIDE A 50' SETBACK. @ 75' WE WOULD NOT BE ABLE TO ADD 7 BUILDINGS.  
 THE 14'-6" DISTANCE BETWEEN THE 2 BUILDINGS IS ALSO SO WE CAN ACCOMMODATE 7 BUILDINGS

Has there been any previous application or appeal on these premises?  Yes  No When?

This application is a request for modification of the requirements of the following Article(s)/Section(s) of the Zoning Code: (List) 110.2.1

### Required Documents

(Must be signed and sealed to the Engineering Department.)

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Zoning Application # \_\_\_\_\_

BZA Appeal # \_\_\_\_\_

  
(Owner/Applicant Signature)

Before me, a Notary Public in and for \_\_\_\_\_ County in the State of \_\_\_\_\_, personally

appeared \_\_\_\_\_ who, by me being duly sworn, says that he is the

(Applicant's name)

\_\_\_\_\_ of the parcel of land with reference to which the within appeal is made; and

(Applicant, owner, lessee)

that the statement of facts contained herein above is true.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
(Notary Public signature)

**DO NOT WRITE BELOW THIS LINE - FOR OFFICE USE ONLY**

Status:	Date:	Zoning Reviewer:	Date Notified:	Date: Rcvd. Date: _____ Paid Date: _____ Check Cash (circle one) Check # _____ Amount \$ _____
<input type="checkbox"/> Incomplete				
<input checked="" type="checkbox"/> Forward to BZA	4/14/2012	BAW		
<input type="checkbox"/> Hold		Reason:		

**For Construction**

APPENDIX	
APPENDIX NO.	REVISION DATE

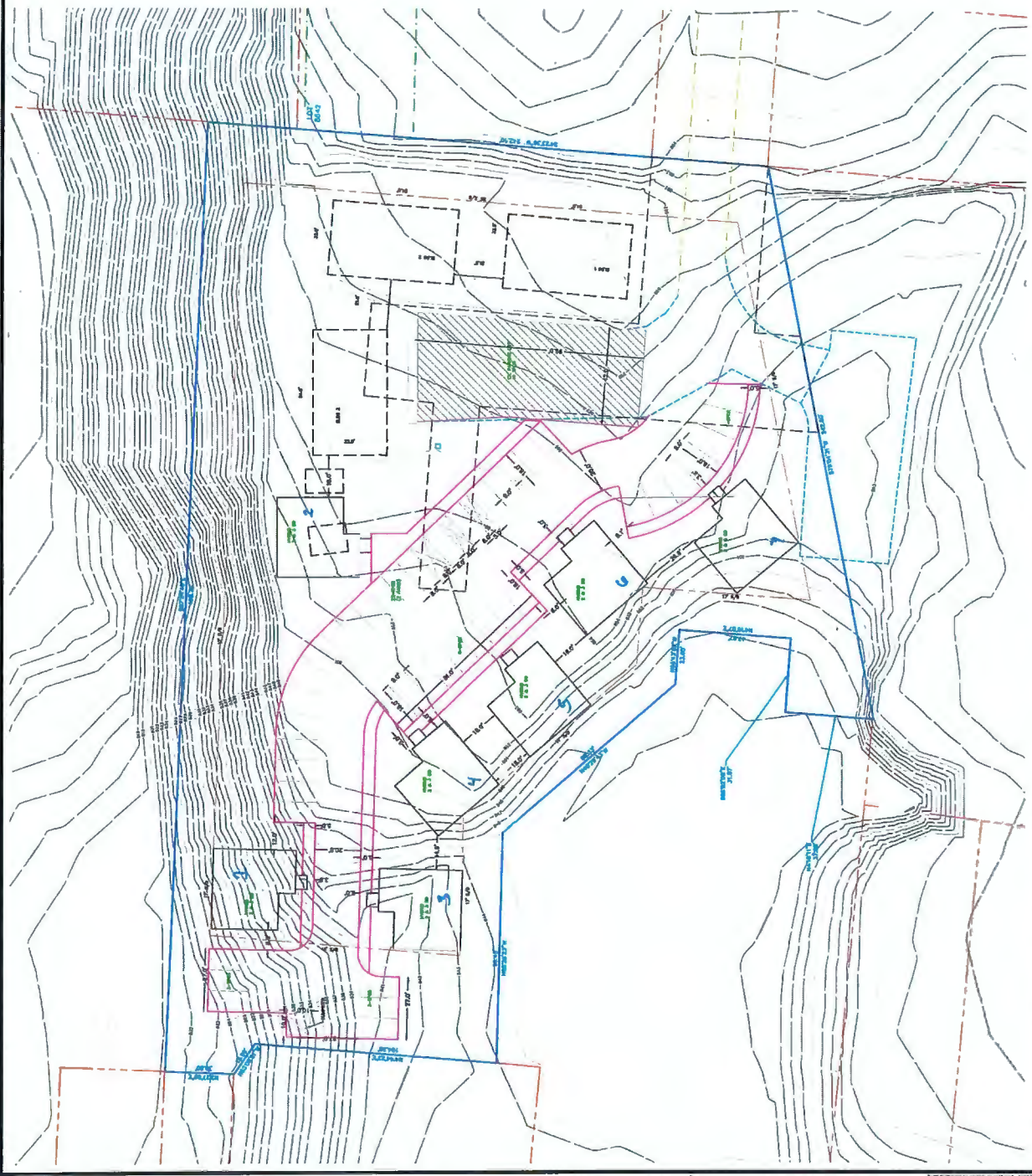
**UNDERGROUND UTILITIES**  
 CALLING FOR SERVICE  
 BEFORE YOU DIG  
 800-368-5888  
 1-800-368-2764  
 (TOLL FREE)  
 OHIO UTILITY SERVICE  
 100 EAST WASHINGTON STREET  
 COLUMBUS, OHIO 43260  
 OHIO GAS PRODUCERS PROTECTIVE  
 SERVICE CALL 1-800-425-0888



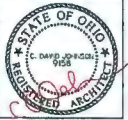
REV. NO.	DESCRIPTION

DESIGNED BY: [ ]  
 CHECKED BY: [ ]  
 JOB NO.: 2328  
 CITY OF NEWARK, OHIO  
**PRELIMINARY**  
 PROJECT: 201 LAVERNE AVE APARTMENTS-4  
 SHEET NAME: Site Plan  
 Scale: 1" = 20'  
 Date: 3/8/2022  
 HIGLEY ENGINEERING & SURVEYING  
 10000 W. 10th Street  
 Overland Park, KS 66204  
 (913) 731-6800

ZONING: MFR  
 PERMITTED  
 SF: 200  
 RT: 17  
 RT: 45  
 PARKING  
 2- 380 = 800.00 12.5 SPCS  
 7- 200 = 1400.00 12.5 SPCS  
 TOTAL 1400.00 25.0 SPCS  
 44 SPCS PROVIDED



PRINT DATES	
DATE:	TYPE:
2-20-22	1/4" legible revised set
2-20-22	1/4" legible revised set

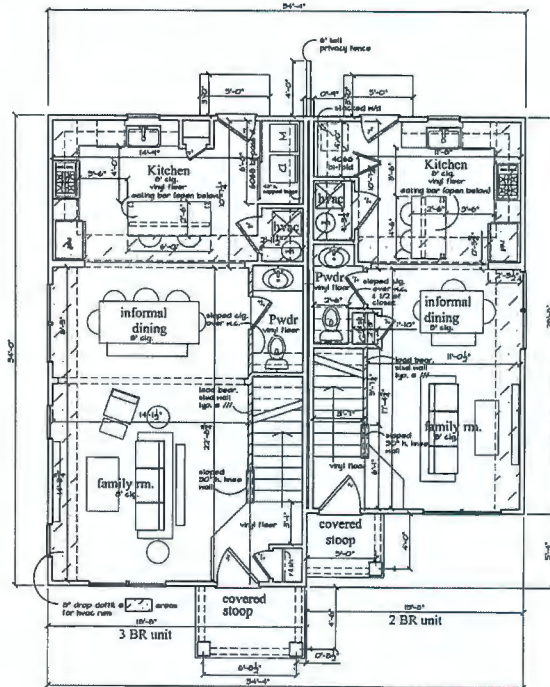


C. David Johnson License #9132  
Expire Date 12-31-23

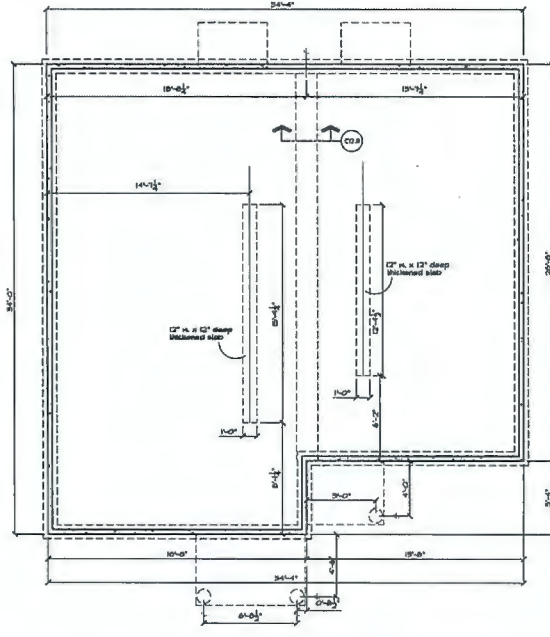
**GENERAL NOTES**

1. Foundations are designed for uniform distributed loadings with soil bearing pressures of a minimum value of 2000 psi.
2. Footing concrete shall have a minimum 28 day compressive strength of 3000 psi.
3. All reinforcing steel shall be ASTM Grade 60 unless noted.
4. All anchor bolts shall be ASTM A307 unless noted.
5. All concrete work shall be per ACI 308.3M "Building Code Requirements for Reinforced Concrete."
6. NA.
7. NA.
8. NA.
9. There is always a potential of having radon levels which exceed recommended levels set by the United States EPA. This potential is not addressed by this design. Any objections, questions, or concerns should be raised at the start of any design responsibility.
10. The concrete poured walls are required to resist the loads based on an equivalent fluid pressure lateral loading of 40 psf. This is based on a maximum water table elevation at least four feet from the outside face of the wall and backfilled with a clean gravel. Do not backfill with a high content plastic clay. A water approved drain system with a minimum 2" x 2" minimum grade 50 galvanized steel pipe shall be installed in order to maintain a wall ground contact.

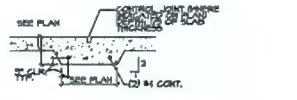
**NOTE:** Except for steel beams &/or headers. Structural shows for design intent only. Refer to manufacturer supplied structural sheets for all joints, beams, headers, and other sizes and locations.



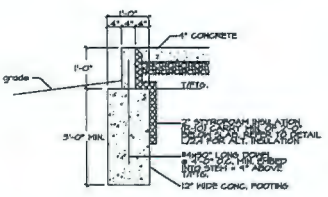
**B 1st floor plan**  
Scale: 1/4" = 1'-0"  
6\"/>



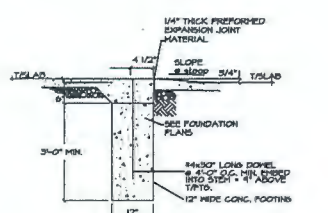
**A Slab Foundation Plan**  
Scale: 1/4" = 1'-0"



**C Thickened Slab**  
Scale: 1" = 1'-0"



**B Typical Footing**  
Scale: 1" = 1'-0"



**R Door Sill Detail**  
Scale: 1" = 1'-0"

Contractor: Stoneworks LLC  
contact: Bryan Lewis cell 740-975-6252  
Laverne Apartments  
204 Laverne Newark, OH  
3/2 BR Bedroom Hybrid Duplex Apt. Building

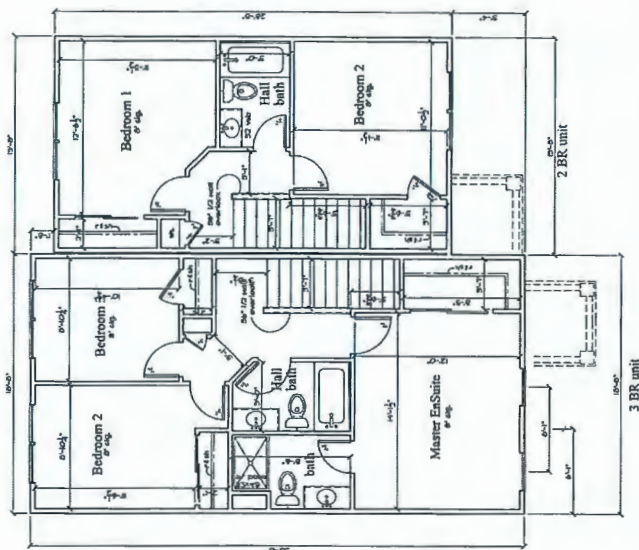
C. David Johnson  
ARCHITECT  
111 W. Lindenwood St.  
Columbus, Ohio 43215  
Architect: Bryan Lewis  
Laverne Apartments

12x3 1/2 x 4 1/2  
A2.0  
3-20-22 revised, 1/4" legible revised set

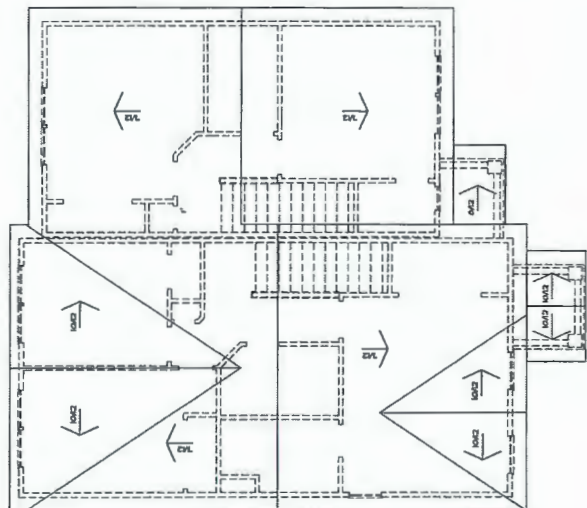


PRINT DATE:	SCALE:	DATE:	BY:
2-10-22	AS SHOWN	2-10-22	DJ
2-10-22	AS SHOWN	2-10-22	DJ

C. David Johnson License # 123456  
 Profession: Civil Engineer



**2nd floor plan**  
 Scale: 1/8" = 1'-0"  
 8" wall shows (typ.)



**ROOF PLAN**  
 Scale: 1/8" = 1'-0"  
 NOTE: ROOF SHEDDING SHALL BE INDICATED WITH SLOPING OR EDGE CLIPS WITH SURFACES OR TRIMMED ARE 3/4" DIA. OR EQUIVALENT.  
 ALL WALLS AND ROOFS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD.

**GENERAL NOTES**

- TRUSSES SHALL BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF OHIO. TRUSSES SHALL BE SPECIFICALLY FOR ROOF AND THE TRUSS PLATE TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:  
 TOP GABLED LOAD  
 • 20 PSF  
 BOTTOM GABLED LOAD  
 • 5 PSF  
 TOTAL LOAD  
 • 25 PSF
- TRUSS MANUFACTURER SHALL FIELD INCLUDE EXISTING TRUSSES PRIOR TO FABRICATION FOR VERIFICATION OF MANUFACTURE. TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR DELIVERY, REVIEW AND APPROVAL PRIOR TO MANUFACTURE.
- TRUSS MANUFACTURER TO DESIGN AND DETAIL ALL REQUIRED MEMBERS IN THE STATE OF OHIO. TRUSSES SHALL BE PROVIDED WITH AMERICAN CLIP AT END OF EACH TRUSS TO THE TOP PLATE.
- REFER TO SHEET 20.2 FOR TRUSS PROFILES.
- PROVIDE (2) 2X4x8 JACK BRUSH WALK & SAIL OTHERWISE.
- PROVIDE (2) 2X12x8 1/2" x 1/2" x 1/2" FULLER HEADER LOCATED UNLESS NOTED OTHERWISE.
- INDICATE AND AT LOCATION OF POINTE D'ANGLE AND

Contractor: Stonefields LLC  
 contact: Bryan Lewis cell: 740-975-6232  
 Livernie Apartments  
 204 Livernie Newark, OH  
 3/2 BR Bedroom Hybrid Duplex Style Building, LLC

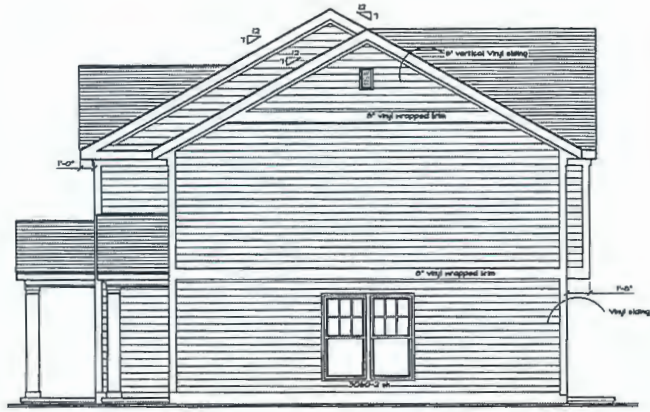
C. David Johnson  
 ARCHITECT  
 11111 Lakeside Blvd.  
 Columbus, OH 43240  
 614-291-1111

2-10-22  
 David Johnson License # 123456  
 Profession: Civil Engineer

PRINT DATES	
DATE	TYPE
2-14-22	1/4" liganda random cut
3-25-22	1/4" liganda random cut



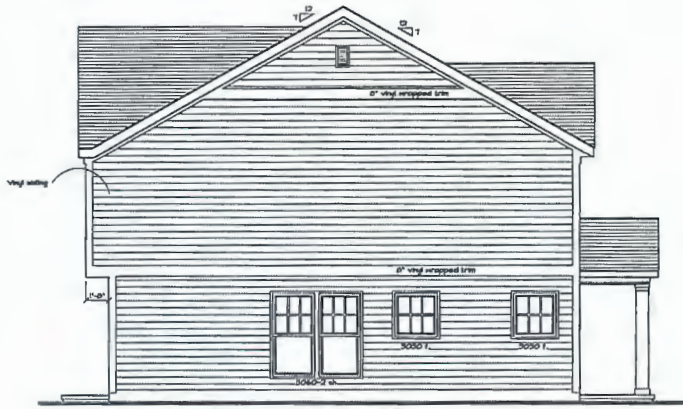
C. David Johnson License # 9158  
Expire Date: 12/31/23



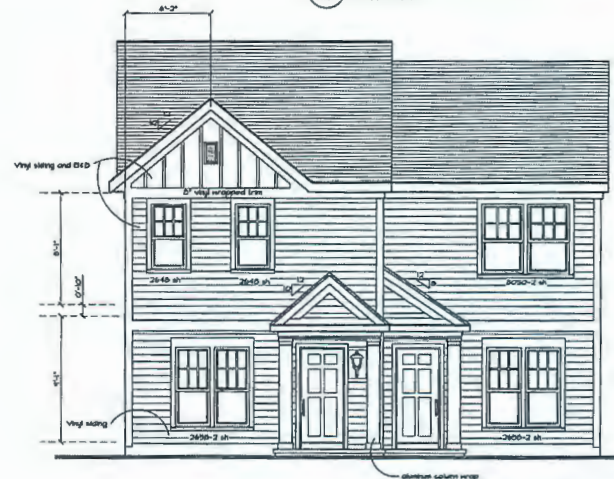
**B** Right SIDE ELEVATION  
Scale: 1/4" = 1'-0"



**C** Rear ELEVATION  
Scale: 1/4" = 1'-0"



**D** Left SIDE ELEVATION  
Scale: 1/4" = 1'-0"



**A** FRONT ELEVATION  
Scale: 1/4" = 1'-0"

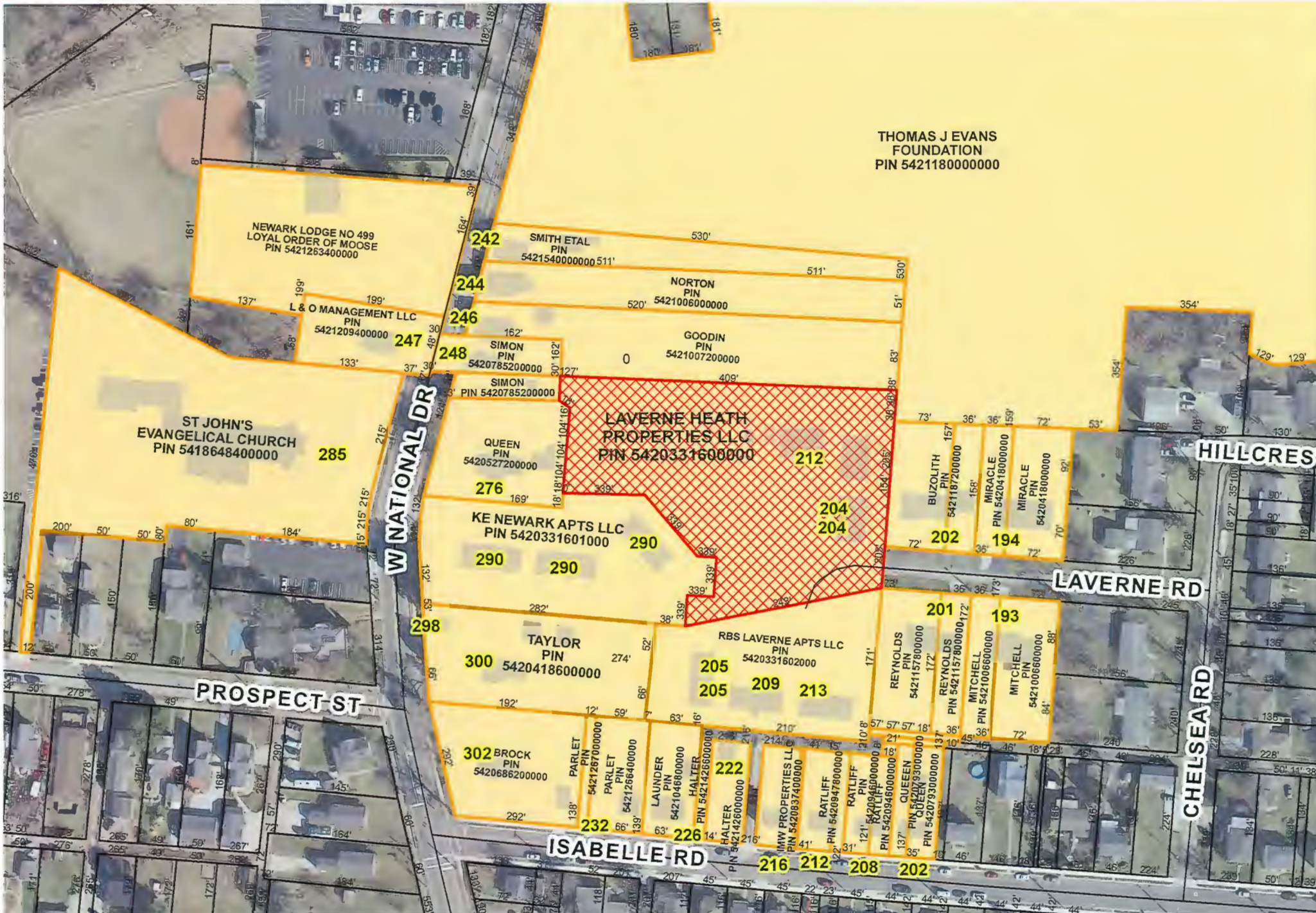
NOTE: UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE AS SHOWN. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL FINISHES SHALL BE AS SHOWN. ALL MATERIALS SHALL BE AS SHOWN. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL FINISHES SHALL BE AS SHOWN.

Note: The exterior walls of this structure are continuously sheathed with 5/8" or 2500' 7' OSB to comply with the structural requirements using nailed C&S. Any nail areas shall require alternate bracing methods. These garage corner wall details are typical and labeled as the specific method req'd. This sheathing shall extend 1' to the finished floor of the walls. The wall joints shall be anchored to the foundation wall w/ 2" dia. anchor bolts @ 4' o.c. These anchor bolts shall be located between 1' to 1 1/2' from the corners or on either side of door or window at intervals prior to all joints. The method of C&S shall be as specified in the notes. The method of C&S shall be as specified in the notes.

Contractor: Swoonworks LLC  
contact: Bryan Lewis cell 740-975-6232  
Laverne Apartments  
204 Laverne Newark, OH  
3/2 BR Bedroom Hybrid Duplex Apt. Building

C. David Johnson  
AIA  
ARCHITECT  
Professional Seal  
No. 9158  
Expire Date: 12/31/23

3.0



THOMAS J EVANS  
FOUNDATION  
PIN 542118000000

NEWARK LODGE NO 499  
LOYAL ORDER OF MOOSE  
PIN 5421263400000

ST JOHN'S  
EVANGELICAL CHURCH  
PIN 5418648400000

LAVERNE HEATH  
PROPERTIES LLC  
PIN 5420331600000

KE NEWARK APTS LLC  
PIN 5420331601000

RBS LAVERNE APTS LLC  
PIN 5420331602000

BROCK  
PIN 5420686200000

ISABELLE RD

LAVERNE RD

CHELSEARD



1 inch = 150 feet  
APRIL 6, 2022

202-212 LaVerne Rd

- Legend**
- █ Stream
  - █ Proposed Variance Within 200ft
  - Building Outlines
  - PARCELS
  - XXX Proposed Variance