

**PLANNING COMMISSION MEETING
TUESDAY, DECEMBER 10, 2024 6:00 P.M.
COUNCIL CHAMBERS
40 W MAIN ST, NEWARK, OH 43055**

AGENDA

- 1. CALL TO ORDER**
- 2. APPROVAL OF MINUTES FOR THE NOVEMBER 12, 2024 PLANNING COMMISSION MEETING**

PUBLIC HEARING

3. ZONING CHANGE FOR 2ND ST., NEWARK, OHIO

Application Number: PC-24-36
Owner: Daniel Hunt (Shiloh Missionary Baptist Church)
Applicant: Bill Morton
Current Zoning: Single-Family Residence, RL – Low Density
Proposed Zoning: MFR- Multi-Family Residence

4. ZONING CHANGE FOR 278 S. 24TH ST., NEWARK, OHIO

Application Number: PC-24-50
Owner: Mathew Stimpert
Applicant: Mathew Stimpert
Current Zoning: Single-Family Residence, RH – High Density
Proposed Zoning: TFR- Two-Family Residence

- 5. PC-24-60 Thoroughfare Plan for the City of Newark, 40 West Main Street**
Introduction of the plan, which includes Access Management and Traffic Impact Study standards,
Public Hearing with recommendation to City Council to follow.

***** To view the document, see *****
<https://www.newarkohio.gov/infrastructure/>

OLD BUSINESS

There is none this meeting.

NEW BUSINESS

6. Site Plan Review for PC-24-62 – Site Plan Review for new storage building for Weekley Electric, 1990 Mt. Vernon Road

Owner: Weekley Investments, Ltd.
 480 Welcome Road
 Newark, OH 43055
 Sean Weekley – sean.weekley@weekleyelectric.com

Architect: Northpoint

19 North 4th Street
Newark, OH 43055
Phil Claggett – phil@northpointohio.com

7. Site Plan Review for PC-24-63 – Site Plan Review for Licking Memorial Hospital Education and Event Center, 1320-1360 West Main Street

Owner: Licking Memorial Health Systems
1640 West Main Street
Newark, OH 43055
Chris Keck – ckeck@lmhealth.org

Applicant: Northpoint Ohio Architecture
19 North 4th Street
Newark, OH 43055
Phil Claggett – phil@northpointohio.com

8. Site Plan Review for PC-24-61 – Site Plan Review for Hopewell Square Apartment Development, 365-385 West Main Street

Owner: Windsor International Realty
71 Seldom Seen Road
Powell, OH 43065
Joseph Circle - joe.circle@thewindsorcompanies.com
Brayden Quincel – brayden.quincel@thewindsorcompanies.com

Engineer: Korda
1650 Watermark Drive
Columbus, OH 43215
Kevin Wirfel - Kevin.Wirfel@korda.com

9. Site Plan Review for PC-24-57 – Site Plan Review for new manufacturing facility for Packaging Corporation of America (PCA), 595 Thornwood Drive

Owner: Packaging Corporation of America
1 Field Ct.
Lake Forest, IL 60045

Developer: Fisher Construction Group
625 Fisher Lane
Burlington, WA 98233
Juan Ozuna – jmo@fishercgi.com


Engineer: Verdantas
1555 West Main Street
Newark, OH 43055
Amanda Spencer - aspencer@verdantas.com

MISCELLANEOUS – ADMINISTRATIVE APPROVALS

There are none this meeting.

THE NEXT SCHEDULED PLANNING COMMISSION MEETING WILL BE HELD ON TUESDAY, JANUARY 14, 2025, 6:00 P.M. THE DEADLINE FOR AGENDA ITEM SUBMITTAL IS MONDAY, DECEMBER 16, 2024 4:30 P.M.

BY: 

ORDINANCE NO. 24-37


AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS 2ND STREET, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID #054-207942-00.000 AND 030-092568-00.000 FROM THAT OF SINGLE-FAMILY RESIDENCE – RL-LOW DENSITY ZONING DISTRICT TO MFR – MULTI-FAMILY RESIDENCE DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO.

WHEREAS, an application for zoning classification has been filed with Council; and

WHEREAS, pursuant to Article 4.12 of the Charter of the City of Newark, Ohio, this ordinance shall be referred to the Planning Commission immediately after its first reading; and

WHEREAS, the Planning Commission shall hold a public hearing upon such application and the Clerk of Council shall cause notice of such hearing to be publicized one time at least seven (7) days prior to the date of such public hearing; and

WHEREAS, upon the return of the ordinance to Council by the Planning Commission, council shall cause a second reading to be made of this ordinance and shall take such action as is appropriate pursuant to Article 4.12 of the Charter of the City of Newark, Ohio.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF NEWARK, COUNTY OF LICKING, AND STATE OF OHIO, THAT:

Section 1: The zoning map as established by Ordinance 08-33 (A) is hereby revised by changing the zoning classification for the following described property from SINGLE-FAMILY RESIDENCE – RL-LOW DENSITY ZONING DISTRICT TO MFR – MULTI-FAMILY RESIDENCE DISTRICT, Zoning Code of the City of Newark.

SEE EXHIBIT "A" FOR LEGAL DESCRIPTION

Section 2: Pursuant to Article 4.12(C) of the Charter of the City of Newark, Ohio, a vote of at least six (6) members shall be necessary to adopt or defeat the ordinance in the event the Planning Commission has recommended approval or has made no recommendation. An affirmative vote of at least seven (7) Council members shall be necessary to adopt a zoning ordinance that the Planning Commission has recommended against approval.

Section 3: The Newark Planning Commission is hereby authorized and directed to make the change described herein on the aforementioned zoning map.

Section 4: This ordinance shall become effective at the earliest time permitted by Section 4.07 of the Charter of the City of Newark, Ohio.

Passed this _____ day of _____, 20__.

PRESIDENT OF COUNCIL

ATTEST: _____
Clerk of Council

DATE FILED WITH MAYOR: _____

DATE APPROVED BY MAYOR: _____

MAYOR

FORM APPROVED: _____
Director of Law

DESCRIPTION APPROVED: _____
Brian Morehead, Engineer

Prepared by the Office of the Director of Law

**EXHIBIT A
LEGAL DESCRIPTION
ZONING AMENDMENT**

SITUATE IN QUARTER 4, TOWN 2 NORTH, RANGE 12 WEST, CITY OF NEWARK, LICKING COUNTY, OHIO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Commencing for reference at and iron pipe found in the southeast corner of right-of-way of the intersection of South Second Street and Leonard Avenue;

thence, South 12°27'45" East, 544.40 feet, along the east right-of-way line of South Second Street to an iron pin set at the southwest corner of a tract of land owned by Buckeye Community Nineteen, LP as conveyed in Official Record, 201109290018245 and being the principal place of beginning;

thence, South 85°34'46" East, 656.24 feet, along the south line of said Buckeye Community Nineteen, LP tract and along the new zoning line, passing through an iron pin found at 559.88 feet, to a point;


thence, South 15°04'38" West, 431.56 feet, along the new zoning line to an iron pin found at the northeast corner of a tract of land owned by Loren McCauley and Valerie Cannell as conveyed in Official Record, 201505110008983;

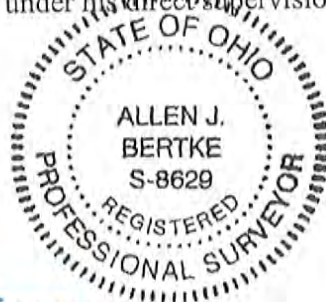
thence, North 87°18'05" West, 441.51 feet, along the north line of said Loren McCauley and Valerie Cannell to an iron pin set on the line of a tract of land owned by Shiloh Missionary Baptist Church as conveyed in Official Record 201405220009225;

thence, North 12°44'51" West, 457.79 feet, along said Shiloh Missionary Baptist Church line to the principal place of beginning.

The bearings are based on NAD 83 CORS 2011 adjustment, Ohio South Zone, ODOT VRS CORS Network.

The above description was prepared by Allen J. Bertke, Ohio Professional Surveyor Number 8629, based on a field survey performed under his direct supervision and dated August 30, 2024.

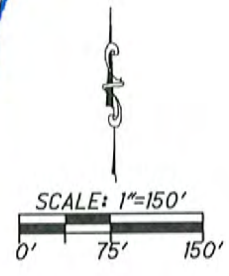
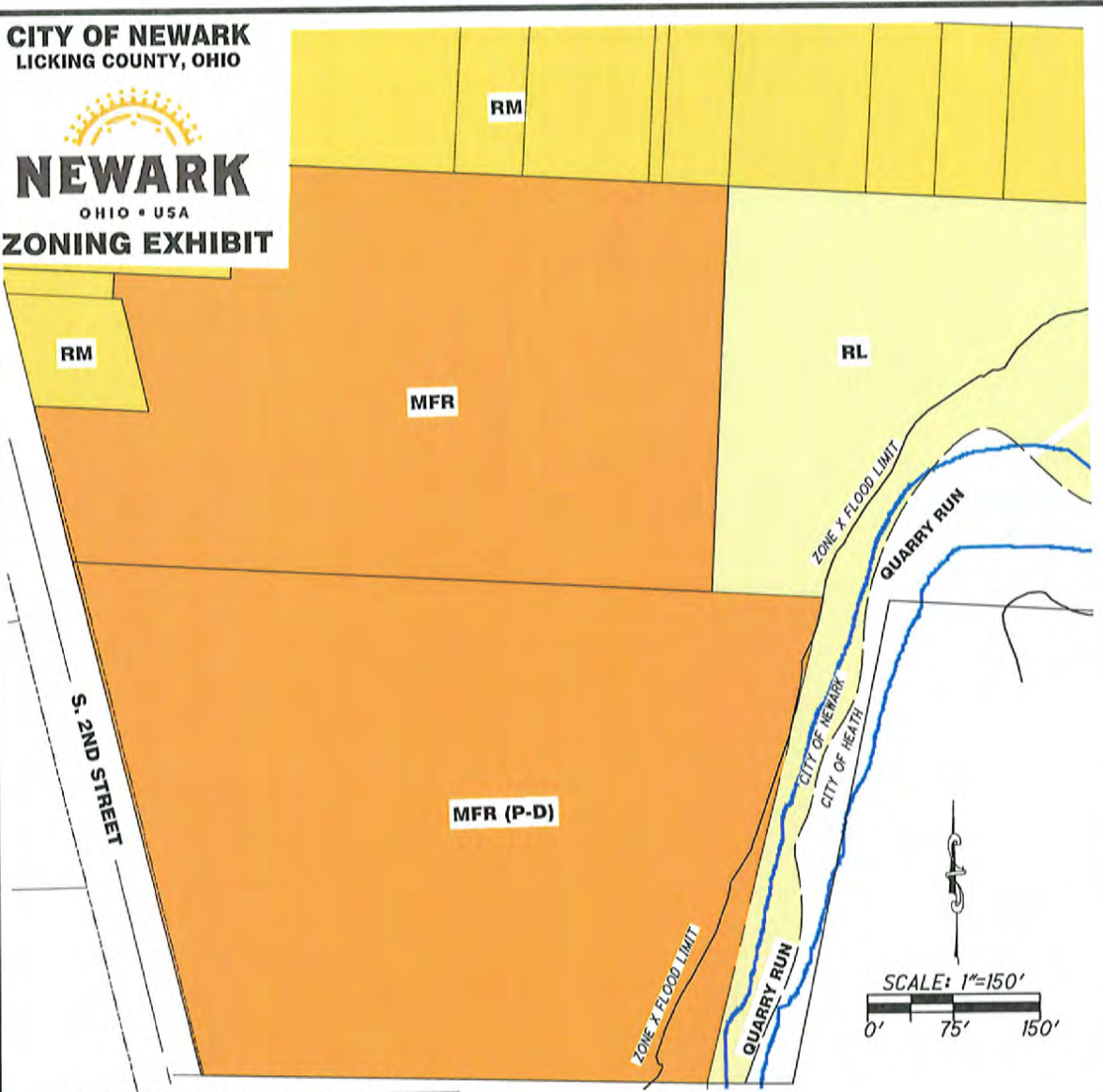

Allen J. Bertke, PS #8629



08/30/2024
Date

DESCRIPTION
APPROVED *FOR ZONING PURPOSES*
by 
Div. of Engineering
City of Newark, Ohio





CITY OF NEWARK
LICKING COUNTY, OHIO



JOB # LICNEW2401	DRAWN BY: RAP	DATE 08-30-2024
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ChoiceOne 
Engineering

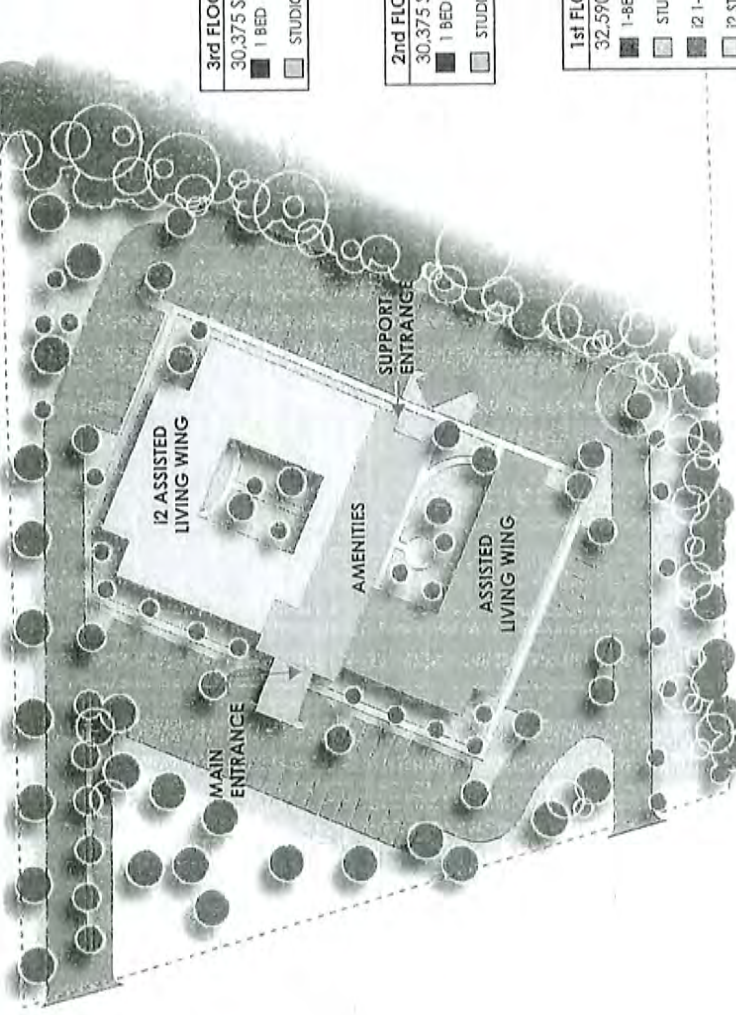
SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554
www.CHOICEONEENGINEERING.com

- ~ LEGEND ~
-  RL - LOW DENSITY SINGLE FAMILY
 -  RM - MEDIUM DENSITY SINGLE FAMILY
 -  MFR - MULTI-FAMILY RESIDENCE
 -  (P-D) PLAN DEVELOPMENT

BUILDING LEGEND	
1st FLOOR	- 32,590 SF
2nd FLOOR	- 30,375 SF
3rd FLOOR	- 30,375 SF
TOTAL	- 93,340 SF

DWELLING UNIT LEGEND	
1 BEDROOM	- 510 sf - 73 UNITS
STUDIO	- 400 sf - 30 UNITS
12 1-BED	- 510 sf - 18 UNITS
12 STUDIO	- 400 SF - 9 UNITS
TOTAL	- 130 UNITS

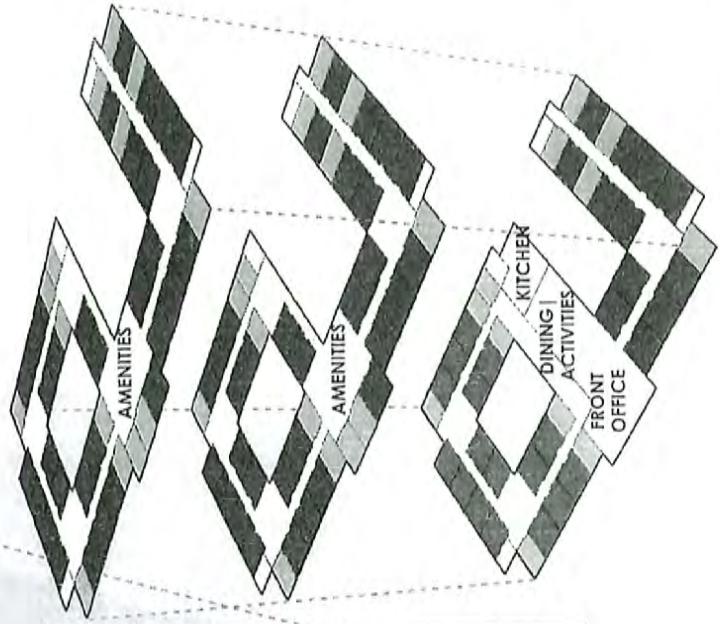
PARCEL ID: 201405220009225
 OFFICIAL RECORD: 2014-05-220009225



3rd FLOOR	
30,375 SF	
1 BED	- 31
STUDIO	- 14

2nd FLOOR	
30,375 SF	
1 BED	- 31
STUDIO	- 14

1st FLOOR	
32,590 SF	
1-BED	- 12
STUDIO	- 5
12 1-BED	- 16
12 STUDIO	- 7



NORTH

SITE AND FLOOR PLAN LAYOUT | NEWARK, OH

07.02.23



Planning Commission
 c/o Engineering Dept.
 40 West Main St, 2nd Floor
 Newark, Ohio 43055
 (740) 670-7727
 (740)349-5911 Fax

City of Newark
Planning Commission
Zoning District Change Application

Zoning File # _____
 PC Application # PC-24-36
 Date Received: Polly 9/2/24
 Received by: _____
 Amount Due: \$300.00
 Paid By: (circle one)
 Check # _____ Cash
 Receipt # _____

CITY OF NEWARK, OHIO | PLANNING COMMISSION

<input checked="" type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
<i>Owner</i>			
Property Owner: Daniel L. Hunt (Shiloh Missionary Baptist Church)		Telephone: (740) 349-9133	
Address: P.O. Box 4603		E-mail: dhunt2494@outlook.com	
City: Newark	State: Ohio	Zip: 43055	Fax:
I would prefer to have agendas mailed rather than e-mailed <input type="checkbox"/>			
<i>Applicant/Representative</i>			
Representative: Bill Morton		Same as above <input type="checkbox"/>	Telephone: (317) 606-5769
Address: 802 East 86th Street		E-mail: BMorton@leobrowngroup.com	
City: Indianapolis	State: Indiana	Zip: 46240	Fax:
I would prefer to have agendas mailed rather than e-mailed <input type="checkbox"/>			
<i>Property Location</i>			
Street Address: 2nd Street, Newark, Ohio, 43055			
Parcel Tax ID #: 054-207942-00.000 & 030-092568-00.000		Number of Acres: 13.18	
Lot Number: (if applicable)		Property Platted? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
<i>District Classification</i> (Zoning Code 08-33, see www.newarkohio.net)			
Present Zoning District:		Proposed Zoning District:	
<input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input checked="" type="checkbox"/> Single-Family Residence (Circle one) <small>RS-Suburban RL-Low Density RM-Medium Density RH-High Density</small> <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence		<input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input checked="" type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input type="checkbox"/> Single-Family Residence (Circle one) <small>RS-Suburban RL-Low Density RM-Medium Density RH-High Density</small> <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence	

Property Use

Present Use:

Undeveloped land zoned for single family. A portion of land is not designated and will need to be zoned as proposed.

Proposed Use:

Multi-family residence district for an assisted living facility.

Additional Comments

Reason For Request:

To re-designate the land to Multi-Family and designate the unzoned land that is part of the parcel number.

Required Documentation and Process Overview

- Complete Application Form – must include the notarized signature of the property owner. If a notarized signature is not present, attach an Authorization Letter from the property owner, giving the Representative permission to act on his/her behalf.
- Obtain a Tax Map and Auditor's Parcel Numbers of the parcels to be re-zoned.
Note: Tax Maps can be provided by the Engineering Department during the Engineering Review.
- Obtain a Legal Description of parcels to be re-zoned. (typically a survey description or valid deed description)
Note: Legal Description must be reviewed and stamped approved during the Engineering Review.
- Obtain a Parcel Drawing or Map showing the location of all buildings on the parcels
Note: Aerial maps can be provided by the Engineering Department during the Engineering Review.
- Call the Newark City Engineering Department to schedule an Engineering Review
Newark City Engineering Department - 40 W. Main Street (2nd Floor). (740) 670-7727
Note: The Engineering/ Zoning Authorization Signature must be obtained prior to Application processing-See Office Use below.
- Submit Application and required documentation
Newark City Engineering Department - 40 W. Main Street (2nd Floor)
Note: A \$300 Application Fee must accompany this Application. Make check payable to "City of Newark".
- Attend the Planning Commission Meetings and Council Meetings
Newark City Council Chambers, 40 W. Main Street (1st Floor).
Note: be prepared to answer Planning Commission and Council Members' questions regarding your application

Owner Acknowledgement

I hereby certify that the information provided in this application is true and factual to the best of my knowledge.

Property Owner Signature: [Signature], Trustee Date: 7/30/24

subscribed before me this 30 day of July, 2024



Notary Public [Signature] My Comm. Expires July 8, 2029 Notary Public

Engineering/Zoning Authorization – Office Use Only

Approved Denied Approved with Conditions

Engineering Signature: [Signature] Date: 9/6/24

Comments/Conditions: DESCRIPTION APPROVED FOR ZONING PURPOSES

Planning Commission Recommendation to Council – Office Use Only

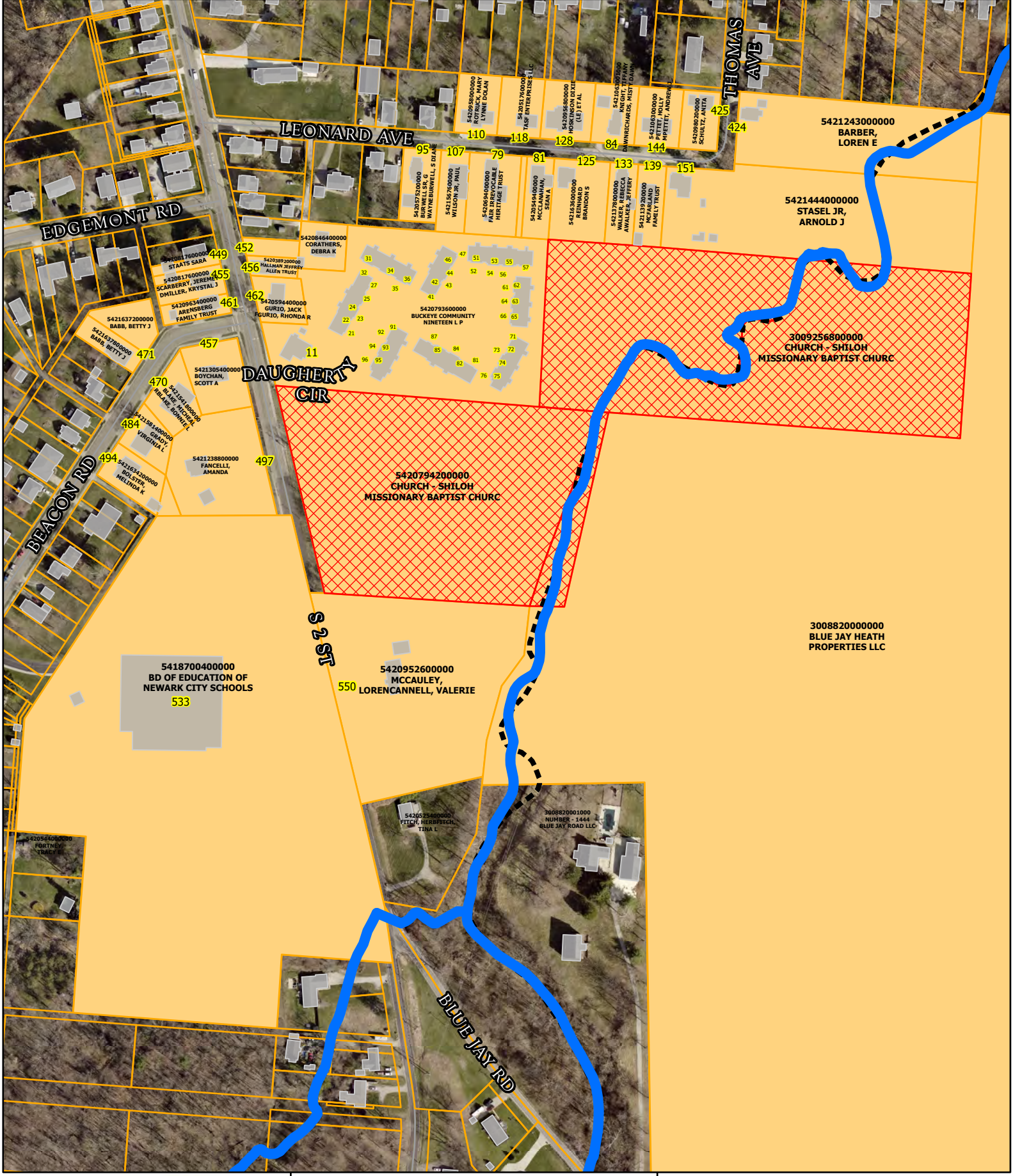
Approved Denied Approved with Conditions

Planning Director Signature: _____ Date: _____

Conditions: _____

After Planning Commission Recommendation:

- Contact the Clerk of Council regarding Council Public Hearing and Final Vote dates.
Clerk of Council's Office 40 W Main St (2nd Floor-Mayor's Office) (740) 670-7516.














 0 65 130 260 390 520 Feet

PARCELS
 054-207942-00.000
 030-092568-00.000
OCTOBER 8, 2024

Legend

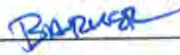
-  PROPOSED VARIANCE
-  PROPOSED VARIANCE WITHIN 300FT
-  BUILDINGS
-  PARCELS
-  STREAMS
-  CITY LIMITS

BY:



ORDINANCE NO.

221-411



AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS 278 SOUTH 24TH STREET, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID #054-223428-00.000 FROM THAT OF SINGLE-FAMILY RESIDENCE – RH-HIGH DENSITY ZONING DISTRICT TO TFR – TWO-FAMILY RESIDENCE DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO.

WHEREAS, an application for zoning classification has been filed with Council; and

WHEREAS, pursuant to Article 4.12 of the Charter of the City of Newark, Ohio, this ordinance shall be referred to the Planning Commission immediately after its first reading; and

WHEREAS, the Planning Commission shall hold a public hearing upon such application and the Clerk of Council shall cause notice of such hearing to be publicized one time at least seven (7) days prior to the date of such public hearing; and

WHEREAS, upon the return of the ordinance to Council by the Planning Commission, council shall cause a second reading to be made of this ordinance and shall take such action as is appropriate pursuant to Article 4.12 of the Charter of the City of Newark, Ohio.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF NEWARK, COUNTY OF LICKING, AND STATE OF OHIO, THAT:

Section 1: The zoning map as established by Ordinance 08-33 (A) is hereby revised by changing the zoning classification for the following described property from SINGLE-FAMILY RESIDENCE – RH – HIGH DENSITY ZONING DISTRICT TO TFR – TWO-FAMILY RESIDENCE DISTRICT, Zoning Code of the City of Newark.

SEE EXHIBIT "A" FOR LEGAL DESCRIPTION

Section 2: Pursuant to Article 4.12(C) of the Charter of the City of Newark, Ohio, a vote of at least six (6) members shall be necessary to adopt or defeat the ordinance in the event the Planning Commission has recommended approval or has made no recommendation. An affirmative vote of at least seven (7) Council members shall be necessary to adopt a zoning ordinance that the Planning Commission has recommended against approval.

Section 3: The Newark Planning Commission is hereby authorized and directed to make the change described herein on the aforementioned zoning map.

Section 4: This ordinance shall become effective at the earliest time permitted by Section 4.07 of the Charter of the City of Newark, Ohio.

Passed this _____ day of _____, 20__.

PRESIDENT OF COUNCIL

ATTEST: _____
Clerk of Council

DATE FILED WITH MAYOR: _____

DATE APPROVED BY MAYOR: _____

MAYOR

FORM APPROVED: 
Director of Law

DESCRIPTION APPROVED: _____
Brian Morehead, Engineer

Prepared by the Office of the Director of Law

DESCRIPTION APPROVED
JARED N. KNERR
LICKING COUNTY ENGINEER

TRANSFERRED

Jul 10, 2024
Michael L. Smith
LICKING COUNTY AUDITOR
SEC 319.902 COMPLIED WITH
MICHAEL L. SMITH
By: AT 624.00

Approved By JM Jul 10, 2024

02121002504029034000 02121002504029035000

02121002504029036000

InstrID:202407100011604	7/10/2024
Pages:3	F: \$42.00
Bryan A. Long	T20240011463
Licking County Recorder	

File Number: 2354065

GENERAL WARRANTY DEED

Philip W. Hummel and Tina A. Hummel, husband and wife, (Grantors), of Licking County, Ohio, for valuable consideration paid, grant, with general warranty covenants, to **Mathew Stimpert, unmarried, (Grantee)**, whose tax mailing address is: JPMorgan Chase Bank, C/O Corelogic Tax Services, PO Box 9218, Coppell, TX 75019-9236, the following real property:

Situated in the State of Ohio, County of Licking, and in the City of Newark:

Situated in the State of Ohio, County of Licking, and in the City of Newark being part of Lots 157, 158 and 159 of the Revised Plat of Wells-Miller Park Addition, Plat Book 4, page 30, and being part of the property conveyed to Deborah L. Cole by Official Record 926, page 754 and Stephen J. Cole and Deborah L. Cole by Deed Volume 722, page 538, Deed Volume 747, page 727 and Official Record 260, page 699 of the Licking County Recorder's Office, and being more particularly described as follows:

Beginning at an iron pin set at the northwesterly corner of Lot 157, said iron pin being on the easterly right of way of South 24th Street (50' R/W) and the southerly right of way of Miller Avenue (50' R/W), thence along the northerly line of Lots 157, 158 and 159, South 89 degrees 57 minutes 35 seconds East, 135.00 feet to a 1/4-inch iron pipe found at the northeasterly corner of Lot 159;

Thence along the easterly line of Lot 159, South 00 degrees 00 minutes 00 seconds East, 60.00 feet to an iron pin set;

Thence crossing through Lots 157, 158 and 159, North 89 degrees 57 minutes 35 seconds West, 135.00 feet to an iron pin set in the westerly line of Lot 157;

Designation
APPROVED *FOR ZONING PURPOSES*
By *[Signature]*
Div. of Engineering
City of Newark, Ohio

Thence along the westerly line of Lot 157, North 00 degrees 00 minutes 00 seconds West, 60.00 feet to the True Point of Beginning, containing 0.186 acres, 8,100 Square Feet, more or less. Subject to any and all easements, right of ways, conditions and restrictions of record. All iron pins set are 5/8-inch by 30-inch rebar with yellow identification caps labeled "Smart Surveying". Bearings shown herein are assumed and are intended to be used for angular purposes only and are based upon the easterly right of way of South 24th Street as being North 00 degrees 00 minutes 00 seconds West. This description was prepared by Smart Engineering and Surveying, Inc in March 2001 and is based upon actual field measurements.

Subject to any and all easements, rights of way, conditions and restrictions of record, all legal highways, zoning ordinances, rules and regulations.

More commonly known as: 278 S. 24th Street, Newark, Ohio 43055

Parcel No.: 054-223428-00.000

Prior Instrument Reference: Instrument No. 201611230026014, Licking County, Ohio.

Excepting from said general warranty covenants: (a) taxes and assessments which are not yet due and payable, (b) restrictions and easements, if any, contained of record for said premises, (c) dedicated streets and highways, (d) zoning ordinances, and (e) all coal, oil, gas and other mineral rights and interest previously transferred or reserved of record, subject to all of which this conveyance is made.



Planning Commission
 c/o Engineering Dept.
 40 West Main St, 2nd Floor
 Newark, Ohio 43055
 (740) 670-7727
 (740)349-5911 Fax

City of Newark
Planning Commission
Zoning District Change Application

Zoning File # _____
 PC Application # PC-24-50
 Date Received: 9-27-24
 Received by: P. Jones
 Amount Due: \$300.00
 Paid By: (circle one) Cash
 Check # _____
 Receipt # 162993

CITY OF NEWARK, OHIO | PLANNING COMMISSION

<input checked="" type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
Owner			
Property Owner: <u>Matthew Stimpert</u>		Telephone: <u>740-630-1714</u>	
Address: <u>278 S 24th St</u>		E-mail: <u>Stimpert Matthew1@gmail.com</u>	
City: <u>Newark</u>	State: <u>OH</u>	Zip: <u>43055</u>	Fax: _____
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/>			
Applicant/Representative			
Representative: _____		Same as above <input checked="" type="checkbox"/>	Telephone: _____
Address: _____		E-mail: _____	
City: _____	State: _____	Zip: _____	Fax: _____
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/>			
Property Location			
Street Address: <u>278 S 24th St</u>			
Parcel Tax ID #: <u>054-223428-00.006</u>		Number of Acres: <u>0.19</u>	
Lot Number: (if applicable) <u>157, 158, 159</u>		Property Platted? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
District Classification <small>(Zoning Code 08-33, see www.newarkohio.net)</small>			
Present Zoning District: <input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input checked="" type="checkbox"/> Single-Family Residence (Circle one) RS-Suburban RL-Low Density RM-Medium Density <u>RH</u> -High Density <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence		Proposed Zoning District: <input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input checked="" type="checkbox"/> Single-Family Residence (Circle one) RS-Suburban RL-Low Density RM-Medium Density RH-High Density <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input checked="" type="checkbox"/> TFR Two-Family Residence	

Property Use

Present Use: Living in detached apartment and updating house.

Proposed Use: Live in detached apartment and rent out house. Eventually rent out both units.

Additional Comments

Reason For Request: It is currently zoned for single family. Previous owner finished detached building without rezoning. I purchased 7/10/24 with the intent to rent out the house and eventually the apartment. I was not aware of the zoning laws before the purchase and want to rent it out legally.

Required Documentation and Process Overview

- Complete Application Form - must include the notarized signature of the property owner. If a notarized signature is not present, attach an Authorization Letter from the property owner, giving the Representative permission to act on his/her behalf.
Obtain a Tax Map and Auditor's Parcel Numbers of the parcels to be re-zoned. Note: Tax Maps can be provided by the Engineering Department during the Engineering Review.
Obtain a Legal Description of parcels to be re-zoned. (typically a survey description or valid deed description) Note: Legal Description must be reviewed and stamped approved during the Engineering Review.
Obtain a Parcel Drawing or Map showing the location of all buildings on the parcels. Note: Aerial maps can be provided by the Engineering Department during the Engineering Review.
Call the Newark City Engineering Department to schedule an Engineering Review. Newark City Engineering Department - 40 W. Main Street (2nd Floor). (740) 670-7727. Note: The Engineering/ Zoning Authorization Signature must be obtained prior to Application processing-See Office Use below.
Submit Application and required documentation. Newark City Engineering Department - 40 W. Main Street (2nd Floor). Note: A \$300 Application Fee must accompany this Application. Make check payable to "City of Newark".
Attend the Planning Commission Meetings and Council Meetings. Newark City Council Chambers, 40 W. Main Street (1st Floor). Note: be prepared to answer Planning Commission and Council Members' questions regarding your application

Owner Acknowledgement

I hereby certify that the information provided in this application is true and factual to the best of my knowledge

Property Owner Signature: Matthew Stora

Date: 9/27/24

Sworn and subscribed before me this 27 day of September, 2024

My Commission Expires: October 26, 2025

Danielle Balligan

Notary Public



Engineering/Zoning Authorization - Office Use Only

Approved [checked]

Denied []

Approved with Conditions []

Engineering Signature: Dan Michel

Date: 10/29/2024

Comments/Conditions: Description approved for zoning purposes.

Planning Commission Recommendation to Council - Office Use Only

Approved []

Denied []

Approved with Conditions []

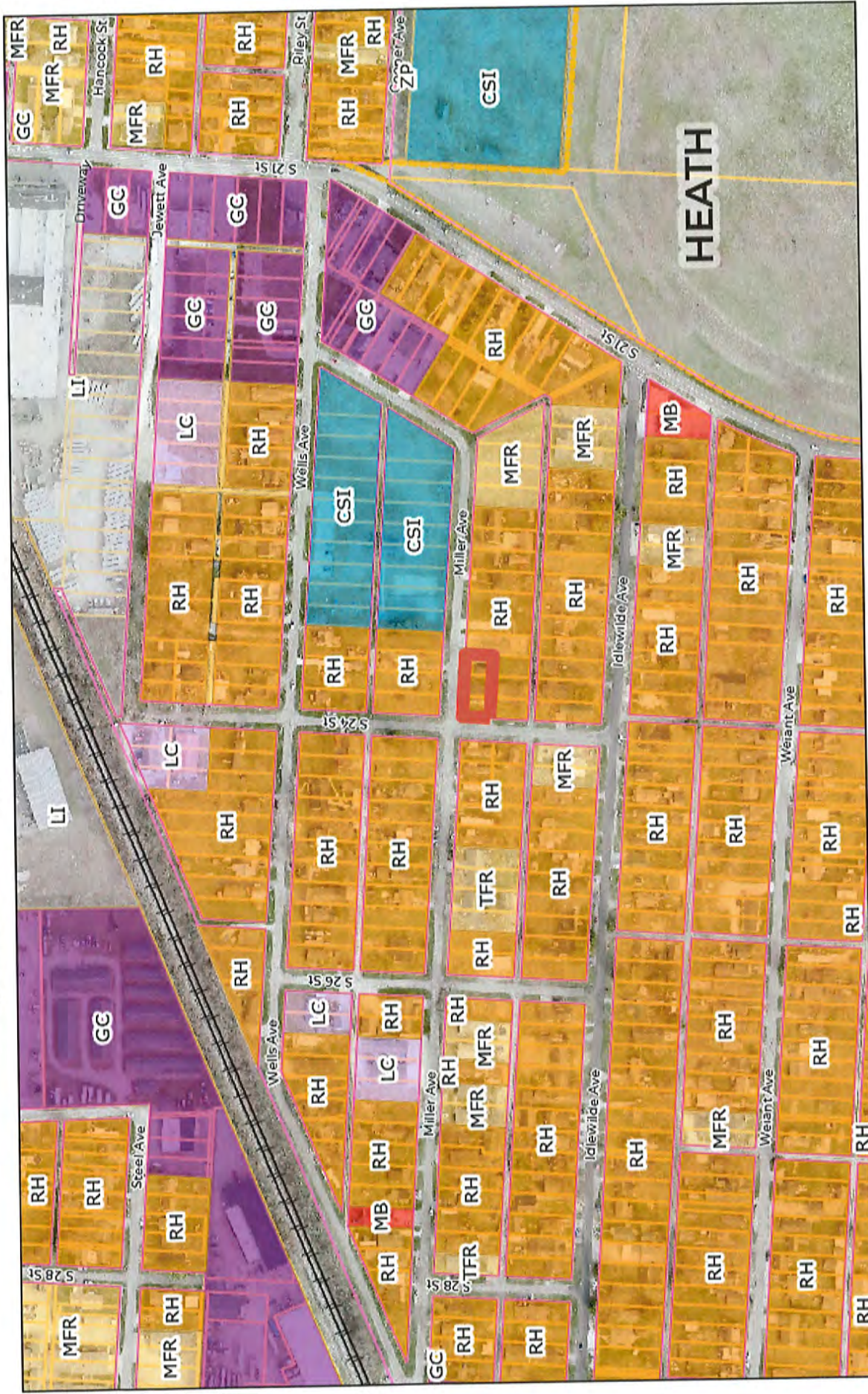
Planning Director Signature: _____ Date: _____

Conditions: _____

After Planning Commission Recommendation:

- Contact the Clerk of Council regarding Council Public Hearing and Final Vote dates. Clerk of Council's Office 40 W Main St (2nd Floor-Mayor's Office) (740) 670-7516.

Proposed Zoning Change - 278 South 24th St



10/29/2024, 8:54:41 AM

1:4.573

0 162.5 325 650 ft

0 45 90 180 m

Zoning Classification

- RH - High Density Single Family Residence District
- TFR - Two Family Residence District
- MFR - Multi-Family Residence District
- LC - Limited Commercial District
- MB - Medium Intensity Business District
- CSI - Church, School, Institutional District
- LI - Limited Industrial District
- GC - General Commercial District
- ZP - Zoning Pending

Michael L. Smith, Auditor
Roy Van Atta, Treasurer

- Map
- BOR
- Card
- CAUV
- Documents
- Land
- Map
- Parcel
- Pictometry
- Sketch
- Street View
- Structures
- Transfers
- Values
- Help
- Login



FIND YOUR PARCEL

Owner:

Tractable Searching?



054-223428-00.000
STIMPert MATHEW
278 S 24TH ST
NEWARK, OH 43055

Acres: 0.19
LOT 157 PT, 158 PT & 159
PT WELLS & MILLER PARK
ADD

Land: \$28,500
Improv: \$83,900
Total: \$112,400

Transfer Date: 07/10/2024
Amount: \$208,000
Conveyance: 1779
Valid Sale: Yes

Homestead: No
Owner Occ: No

Foreclosure: No
On Contract: No
Bankruptcy: No
Tax Lien: No


- BOR
- CAUV
- Dog License
- Downloads
- Forms
- GIS
- Homestead
- Taxes
- Other

For questions or suggestions regarding OnTrac, contact the Licking County Auditor's Office by clicking here. By accessing or using this web site, you agree to be bound by these Terms and Conditions. Using a low screen resolution? Try our Mobile Version.



278 S 24TH ST
 NOVEMBER 20, 2024

Legend

-  PROPOSED VARIANCE
-  PROPOSED VARIANCE WITHIN 300FT
-  BUILDINGS
-  PARCELS



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

DECEMBER 10, 2024 PLANNING COMMISSION MEETING

Application:

1. **PC FILE 24-62: SITE PLAN FOR WAREHOUSE – STORAGE BUILDING FOR WEEKLEY ELECTRIC, 1990 MT. VERNON ROAD**

Staff Report & Recommendations:

Overview:

The applicant intends to build a 9,000 S.F. storage building annex, north of the existing buildings on this site.

The Site Plan Review Committee submitted comments on 12/3/2024 regarding this application. Reviewers included:

Mark Mauter, Development Director	Adam Bernard, Utilities Engineer
Brandon Metzger, Fire Chief	Lindsey Brighton, Stormwater Utility
Aaron Holman, NFD	Nick Shultz, Street and Traffic Engineer
Erik McKee, Police Chief	Don Hiltner, Senior Engineer
Craig Riley, Deputy Police Chief	Brian Morehead, City Engineer
Brandon Fox, Water Administrator	George Carter, Zoning Inspector

A. Zoning District:

This site is zoned General Commercial District (GC); the proposed use is a permitted use.

Floodplain - The building site is not located in a floodplain area, however there is floodplain located on the far eastern side of this parcel.

B. Safety Division Review:

The Police Division has no concerns with this proposal.

The Fire Division has not submitted any review comments at this time. Any additional comments / requirements will be provided at the PC meeting.

C. Height Restrictions:

There are no height restrictions in the GC District.

D. Lot Area & Setbacks:

Parcel is approximately 359,370 S.F. +/-, with 7.3% building coverage, which meets the lot area requirements.

The site plan shows the 1970 and 1990 Mt Vernon properties as one parcel; this is not the case according to County mapping. If this is desired, then a lot combination should be filed for approval.

The lot configuration will have an impact on the side setbacks, which need further review.

Additionally, the distance between the proposed and existing building is 5' under the zoning regulation, and should be corrected.

E. Off-Street Parking & Loading:

Based on the proposed building area, 5 parking spaces are required. The plan submitted shows no specific spaces, but has a large gravel area north of the proposed building.

F. Corner Lots:

No structures are proposed at this time in the lot corner area.



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

G. Landscaping, Buffering & Greenspace:

The landscaping requirement consists of 7000 +/- SF of green space (Lawn) and greater than 1750 SF of the green space area shall be ground cover (planting areas) as required by the Zoning Code. In addition, 3 trees are required on the site. It appears that the existing landscaping on the site meets the code requirements.

H. Public & Private Roadways – Access Management:

No changes to the driveway approaches are shown. Access to the site is via a private access easement running along the east side of the railroad tracks. The City has not reviewed the rights or requirements that pertain to that easement, and assumes that the owner is aware of those requirements.

I. Site Signage:

No additional signage has been submitted with the proposal.

J. Traffic Control / Street / Right-of-Way Issues:

No other comments at this time.

K. Engineering / Utilities:

No specific services to the buildings have been proposed; there are no public water or sanitary sewer services available on the east side of Mt Vernon Road at this location. Any private water or sewer disposal services would need approval of Licking County Health Dept.

There has been no stormwater management plan submitted, and this should be submitted, reviewed and approved prior to zoning approval.

L. Other Standards/Regulations

No other comments at this time.

Recommendations:

This proposal meets all of the technical requirements. On that basis, staff recommends conditional approval of the Site Plan for this development, provided the following issues are addressed:

1. Resolution of Fire Dept comments and requirements.
2. Resolution of lot combination and resulting setback impacts, including the distance between the buildings.
3. Compliance with City's Stormwater Management requirements, including post-construction.

If approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

Planning Commission Action on Recommendation:

- _____ Approved As Submitted
- _____ Approved As Noted, With Contingencies
- _____ Denied

Planning Director _____ Date _____

ABBREVIATIONS

Table of abbreviations for building codes, including terms like AFF, AG, AGG, AL, ALT, ALUM, ANCH, ANGLE, BEARING, etc.

BUILDING CODE INFORMATION

NEW BUILDING ADDITION ALTERATION

GOVERNING CODE: OHIO BASIC BUILDING CODE

PREVIOUS OBCC PERMIT NO. N/A

AREA DATA

Table with columns EXISTING and NEW for Area Data. Values: 9,000, N/A, N/A, 9,000.

AREA MODIFICATION

NOT APPLICABLE

USE GROUP

Table with columns EXISTING and NEW for Use Group. Value: S-1.

BUILDING DATA

SINGLE USE OR MIXED USE NONSEPARATED TYPE OF CONSTRUCTION: V B

Table with columns EXISTING and NEW for Building Data. Values: 1 STORY 20'-0", 2 STORIES 40'-0".

Table with columns EXISTING and NEW for Special Use and Occupancy. Values: N/A, N/A, N/A, N/A.

OCCUPANT AND EGRESS DATA

Table with columns FLOOR / S.F. PER PERSON, OCCUPANT LOAD, OTHER LOADS, TOTAL. Values: 30, 30.

Table with columns NUMBER OF EXITS, GENERAL LIMITATIONS, TYPES & LOCATIONS OF EGRESS, EXIT ACCESS TRAVEL DISTANCE, EXIT ACCESS CORRIDORS, INTERIOR STAIRWAYS, RAMPS, MEANS OF EGRESS DOORWAYS, DOOR HARDWARE, HORIZONTAL EXITS, GUARDS, HANDRAILS, EXIT SIGNS AND LIGHTS, MEANS OF EGRESS LIGHTING, ACCESS TO ROOF.

THIS SET OF CONSTRUCTION DOCUMENTS IS FOR THE PURPOSE OF OBTAINING PLAN APPROVAL FROM THE CODE DEPARTMENT HAVING JURISDICTION...

FIRE PROTECTION

Table of Fire Protection requirements including exterior walls, fire separation distance, loadbearing ratings, fire separation assemblies, fire fire-resistant construction, fire protection systems, and interior finishes.

STRUCTURAL DATA

Table of Structural Data including floor loads, roof loads, ground snow load, wind loads, seismic use group, spectral response coefficients, site class, design base shear, and partition loads.

SHEET INDEX

Table with columns COVER and sheet numbers A-1, A-2, A-3.

GENERAL NOTES

GENERAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE CONTRACT DOCUMENTS AND SPECIFICATIONS CONSULT PROJECT ARCHITECT.

THE ARCHITECT IS RESPONSIBLE ONLY FOR ITEMS SHOWN & SPECIFIED IN THE ATTACHED SET OF WORKING DRAWINGS. ALL CONTRACTORS TO FOLLOW ALL APPLICABLE BUILDING CODES, ORDINANCES & APPROVED BUILDING CONSTRUCTION PRACTICES FOR ITEMS NOT DETAILED OR SPECIFIED.

THE GENERAL CONTRACTOR SHALL SCHEDULE / COORDINATE ALL DELIVERY DATES OF MATERIALS, ACCESSORIES AND INSTALLATION REQUIREMENTS OF SPECIFIED ITEMS WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION.

ALL MATERIALS AND FABRICATION OR INSTALLATION OF SAME, SHALL COMPLY WITH THE TECHNICAL AND INDUSTRY STANDARDS AND SPECIFICATIONS FOR EACH APPROPRIATE DIVISION OF WORK & THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS RELATING TO EXISTING CONDITIONS ON THE PROJECT SITE.

ALL CONTRACTORS SHALL BE GIVEN THE OPPORTUNITY TO VISIT THE SITE AND INVESTIGATE & FIELD VERIFY EXISTING CONDITIONS AND LOCATE ALL UTILITIES. REPORT ANY DISCREPANCIES AND / OR OMISSIONS TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

INFORMATION SHOWN IN THIS SET OF WORKING DRAWINGS TO BE USED BY THE GENERAL CONTRACTOR TO DETERMINE THE EXTENT OF WORK FOR WHICH HE IS BIDDING ON AND RESPONSIBLE FOR.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL TRADES TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND TO PROVIDE A COMPLETE AND PROPER JOB.

ALL WORK IS TO BE DONE WITH THE APPROPRIATE TOOLS & MATERIALS. THE ARCHITECT HAS THE RIGHT TO REJECT ANY WORK NOT DONE PROPERLY.

CONTRACTOR MAY ELECT TO OFFER OPINIONS, ADVICE OR ALTERNATE MATERIALS. THESE ITEMS WILL BE REVIEWED AND DISCUSSED TO DETERMINE MERIT IN CHANGE OF WORK. ANY COST SAVINGS WILL BE CREDITED TO OWNER & ANY ADDITIONAL COSTS WILL BE BILLED TO THE OWNER. A CHANGE ORDER FORM MUST BE COMPLETED IN ORDER TO ALTER CONSTRUCTION BID. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS ARE TO BE APPROVED IN WRITING PRIOR TO EXECUTING WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND REMOVAL OF ALL TEMPORARY SERVICES REQUIRED DURING THE WORK. ENERGY BILLS FOR ELECTRICITY AND TEMPORARY HEAT, AND WATER USAGE BILLS ARE TO BE PAID FOR BY THE OWNER.

THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF ALL WORKERS & THE SAFE CONDITIONS OF THE CONSTRUCTION SITE IN GENERAL. PROVIDE & MAINTAIN ALL NECESSARY TEMPORARY BARRICADES, SHORING AND LIGHTING. THE CONTRACTOR IS RESPONSIBLE FOR ALL SECURITY OF HIS MATERIALS, EQUIPMENT AND TOOLS.

IN THE EVENT THERE ARE DISCREPANCIES, AMBIGUITIES OR OMISSIONS FROM THE SPECIFICATIONS OR DRAWINGS, OR SHOULD THERE BE DOUBT AS TO THE INTENT OF THE OUTLINE SPECIFICATIONS OR WORKING DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. IF THE CONTRACTOR DOES NOT OBTAIN SUCH CLARIFICATION, HE SHALL REPAIR OR REPLACE ANY SUCH WORK INSTALLED INCORRECTLY WITH-OUT ANY ADDITIONAL COST TO THE OWNER.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSION TAKES PRECEDENCE.

THE GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE FOR OBTAINING AND MAINTAINING LIABILITY INSURANCE AND WORKERS COMPENSATION. THE OWNER IS RESPONSIBLE FOR OBTAINING & PAYING FOR THE BUILDING / PROPERTY INSURANCE.

UPON ACCEPTANCE OF THE CONTRACT, THE CONTRACTOR IS TO PREPARE A SCHEDULE FOR THE PROPOSED WORK. THIS SCHEDULE MUST BE REVIEWED AND ACCEPTED BY THE OWNER AND ARCHITECT.

ALL WORK SHALL BE WARRANTED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION. PROVIDE LONGER WARRANTIES WHERE SPECIFIED FOR INDIVIDUAL COMPONENTS.

ALL DIMENSIONS ON PLANS ARE TAKEN TO FACE OF STUDS OR MASONRY OR FACE OF EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED OR DETAILED. IF ANY DISCREPANCIES BETWEEN CORRESPONDING DIMENSIONS ARE ENCOUNTERED BETWEEN PLAN AND DETAIL, NOTIFY THE ARCHITECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS OF ALL EXISTING CONDITIONS AS NECESSARY TO ENSURE COMPLIANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS. ALL NEW CASEWORK TO BE FABRICATED FROM FIELD DIMENSIONS.

ALL SYSTEMS ARE TO BE INSTALLED NEATLY, ORDERLY AND IN A WORKMANLIKE MANNER. ALL WIRING IS TO BE IN CONDUIT. ALL SYSTEMS ARE TO BE RUN PARALLEL TO AND PERPENDICULAR TO THE BUILDING STRUCTURE. ALL DEVICES ARE TO BE ARRANGED LOCALLY (I.E. CENTERED, ALIGNED HORIZONTALLY AND OR VERTICALLY).

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ALL FIRE-RATED SPACES / ASSEMBLIES TO THE REQUIREMENTS OF APPLICABLE CODES. PROVIDE FIRE DAMPERS AND ACCESS PANELS FOR DUCTS AND A/C FIXTURES WHEN PASSING THROUGH THESE SPACES. PROVIDE APPROPRIATE FIRE-RATED ENCLOSURES BEHIND RECESSED LIGHT FIXTURES WHERE REQUIRED.

ALL NEW EQUIPMENT LOCATIONS, MOUNTING HEIGHTS AND BLOCKING REQUIREMENTS SHOWN HEREON ARE GIVEN FOR GENERAL INFORMATION ONLY AND ARE SUBJECT TO APPROVAL BY THE EQUIPMENT SUPPLIER.

DO NOT CHANGE THE WORK IN ANY WAY FROM THAT SHOWN ON THE DRAWINGS, UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER AND / OR ARCHITECT.

THERE SHALL BE NO EXPOSED PIPE, CONDUITS, DUCTS, AND VENTS IN DESIGNATED FINISHED SPACES, UNLESS NOTED AS EXPOSED CONSTRUCTION ON FINISH SCHEDULE.

WHERE FACTORY-PRIMED ITEMS OCCUR, SUCH AS GRILLES, DIFFUSERS, METAL TRIM AND ACCESSORIES, ETC. PAINT TO MATCH THE ADJACENT SURFACES AS DIRECTED BY THE ARCHITECT.

PERFORM FINAL CLEANING AT THE END OF EACH PHASE OF WORK. REMOVE ALL TRASH AND DEBRIS FROM THE SITE. WASH ALL TILE, LAMINATE AND GLASS SURFACES, LIGHT & PLUMBING FIXTURES, ETC. DUST AND SWEEP TO REMOVE ALL DIRT. REMOVE TEMPORARY LABELS. PROJECT IS TO BE COMPLETED, CLEAN AND IN MOVE-IN CONDITION.

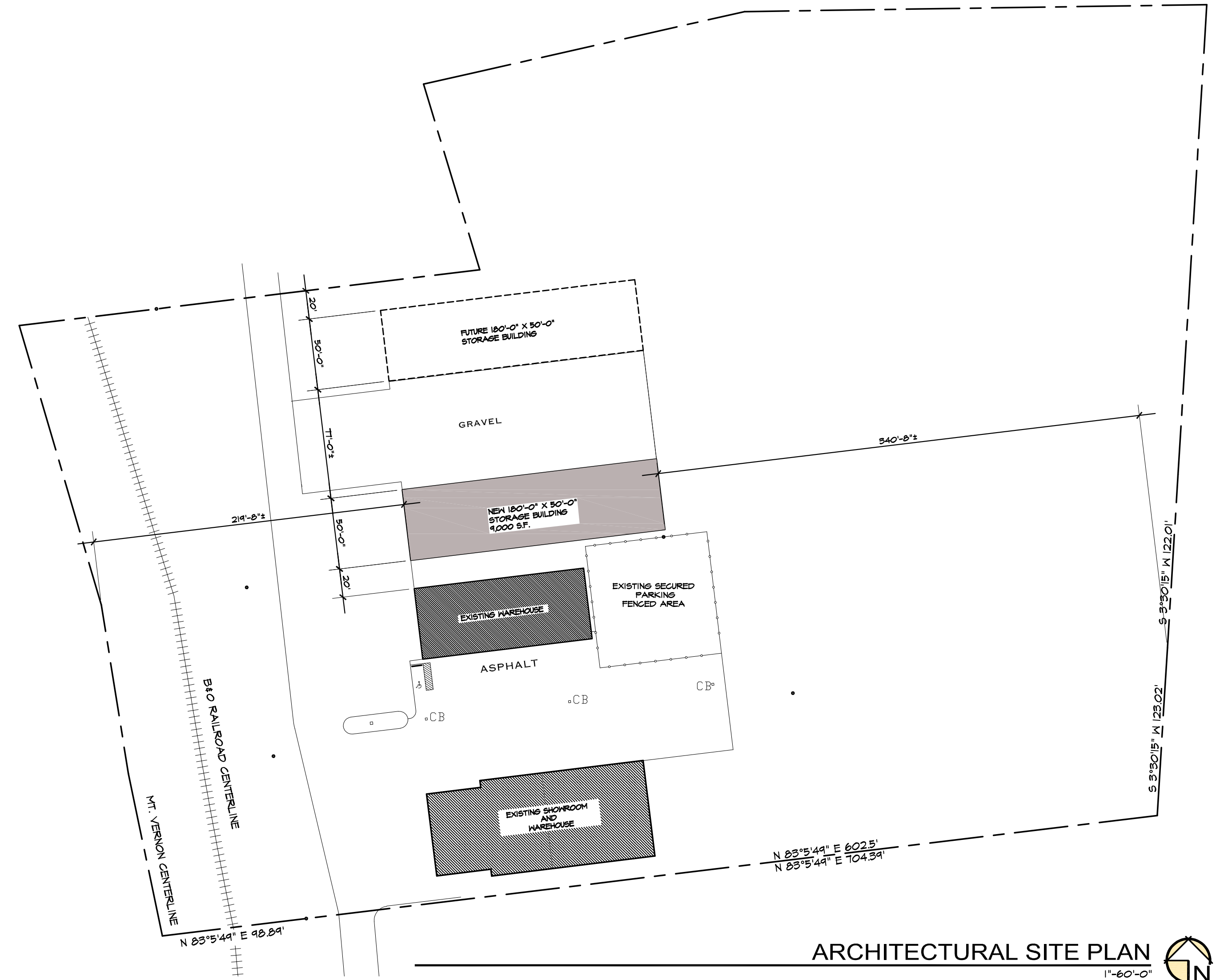
OBTAIN FIELD MEASUREMENTS OF ALL COMPONENTS AND INSURE ALL APPLICABLE CLEARANCES & TOLERANCES PRIOR TO THE PREPARATION OF SHOP DRAWINGS.

GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS ON SPECIFIED FIXTURES AND EQUIPMENT FOR OWNER AND ARCHITECT'S REVIEW BEFORE COMMENCING FABRICATION AND ORDERING. PROVIDE (5) COPIES.

WEEKLEY ELECTRIC STORAGE BUILDING II

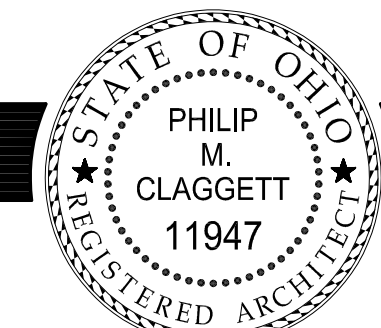
1990 MT VERNON RD

NEWARK, OHIO 43055



ARCHITECTURAL SITE PLAN

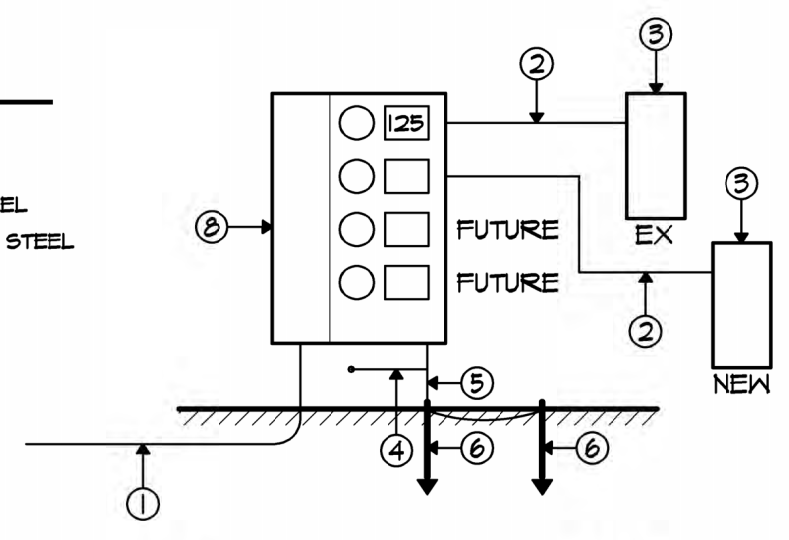
NORTHPOINT



Philip M. Claggett, License # 11947 Expiration Date 12 / 31 / 2024

SERVICE RISER NOTES

- 1 EXISTING TO A.E.P. TRANSFORMER
- 2 (1) SET OF (3) 1/2 SER. AL.
- 3 125 AMP 120/240V MAIN LUG SINGLE PHASE 24 CIRCUIT PANEL
- 4 EXISTING #4 GROUND TO BUILDING WATER LINE OR BUILDING STEEL
- 5 EXISTING GROUNDING - #4 SERVICE GROUND
- 6 EXISTING 8" X 5/8" COPPER CLAD GROUND ROD
- 7 EXISTING 4 GANG METER CENTER W/BREAKERS AS SHOWN
- 8 EXISTING METER BASE



SERVICE RISER DIAGRAM
N.T.S.

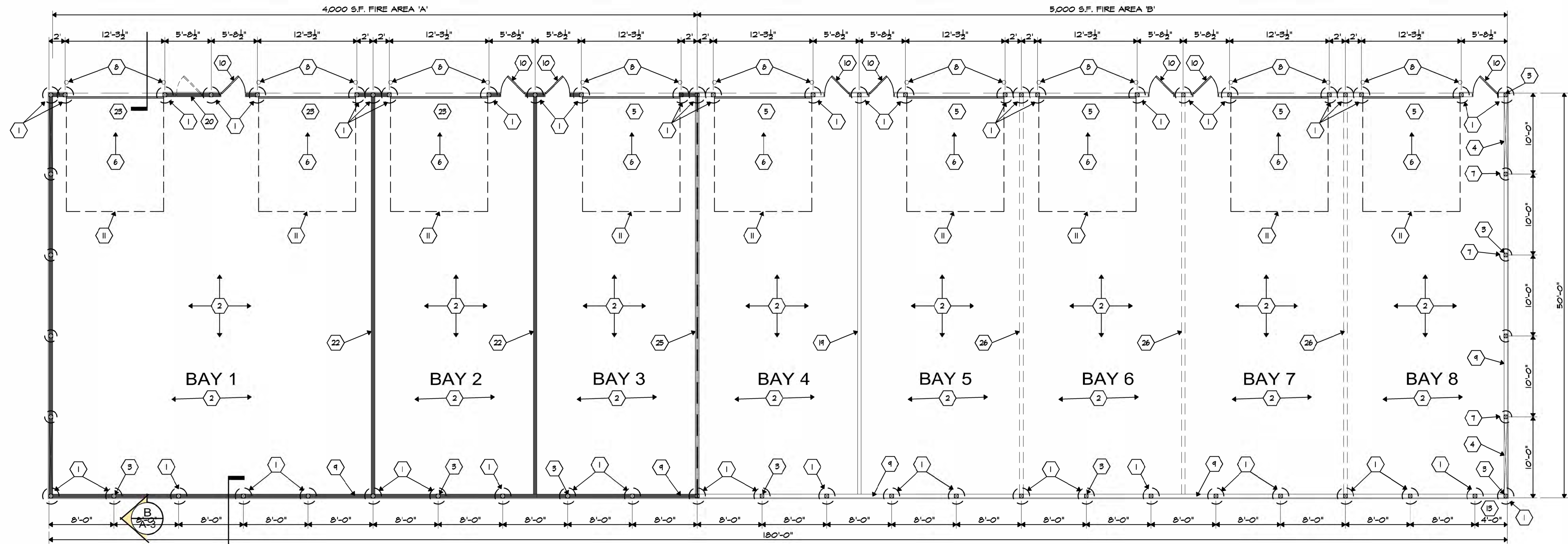
ELECTRICAL PANEL

Ckt. No.	Load Description	Brkr. Size	Wire Size	N.E.C. W/TS		Phase	N.E.C. W/TS		Load Description	Brkr. Size	Wire Size	Ckt. No.	Ckt. No.
				W/TS #1	W/TS #2		W/TS #1	W/TS #2					
1	EXTERIOR LIGHTING	20/1	12-2 w/g	1,200	A	0.746	1/2HP GARAGE DR. OPENS. UNIT #	20/1	12-2 w/g	2	2	2	2
3	* SPARE *	-	-	-	B	0.373	1/2HP GARAGE DR. OPENS. UNIT #	20/1	12-2 w/g	4	4	4	4
5	* SPARE *	-	-	-	A	0.746	1/2HP GARAGE DR. OPENS. UNIT #	20/1	12-2 w/g	6	6	6	6
7	* SPARE *	-	-	-	B	0.373	1/2HP GARAGE DR. OPENS. UNIT #	20/1	12-2 w/g	8	8	8	8
9	* SPARE *	-	-	-	A	0.373	1/2HP GARAGE DR. OPENS. UNIT #	20/1	12-2 w/g	10	10	10	10
11	CGE RECEPT	20/1	12-2 w/g	5,960	B	1.840	DEDICATED 20A/120V RECEPT. UNIT #	20/1	12-2 w/g	12	12	12	12
13	CGE RECEPT	20/1	12-2 w/g	5,960	A	1.840	DEDICATED 20A/120V RECEPT. UNIT #	20/1	12-2 w/g	14	14	14	14
15	HEATER UNIT 1	20/1	12-2 w/g	1,200	B	1.840	DEDICATED 20A/120V RECEPT. UNIT #	20/1	12-2 w/g	16	16	16	16
17	HEATER UNIT 2	20/1	12-2 w/g	1,200	A	1.840	DEDICATED 20A/120V RECEPT. UNIT #	20/1	12-2 w/g	18	18	18	18
19	HEATER UNIT 3	20/1	12-2 w/g	1,200	B	1.840	DEDICATED 20A/120V RECEPT. UNIT #	20/1	12-2 w/g	20	20	20	20
21	-	-	-	-	A	1.840	DEDICATED 20A/120V RECEPT. UNIT #	20/1	12-2 w/g	22	22	22	22
23	-	-	-	-	B	1.840	DEDICATED 20A/120V RECEPT. UNIT #	20/1	12-2 w/g	24	24	24	24
25	-	-	-	-	A	1.840	DEDICATED 20A/120V RECEPT. UNIT #	20/1	12-2 w/g	26	26	26	26
27	-	-	-	-	B	1.840	DEDICATED 20A/120V RECEPT. UNIT #	20/1	12-2 w/g	28	28	28	28
29	-	-	-	-	A	-	-	-	-	30	30	30	30
31	-	-	-	-	B	-	-	-	-	32	32	32	32
33	-	-	-	-	A	-	-	-	-	34	34	34	34
35	-	-	-	-	B	-	-	-	-	36	36	36	36
37	-	-	-	-	A	-	-	-	-	38	38	38	38
39	-	-	-	-	B	-	-	-	-	40	40	40	40
N.E.C. Connected Totals:				7,559 kw	2,790	1,395	1,395						

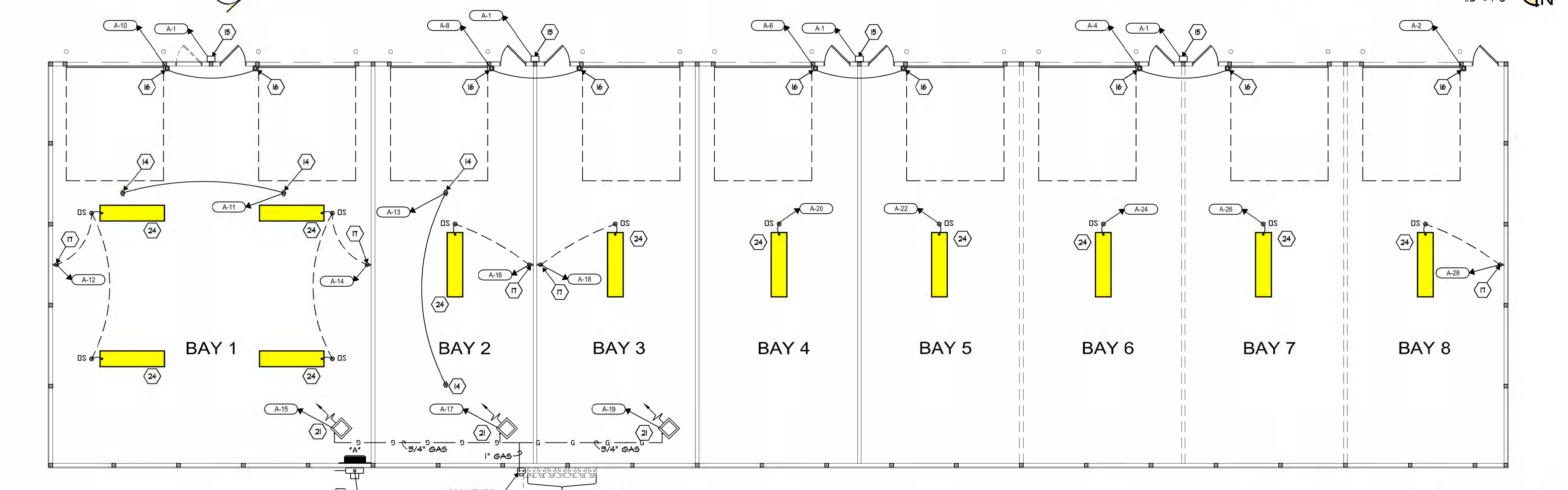
AS - Powerlink AS Breaker PA - Handle Padlock Attachment
 LI - Handle lock-off device GFI - Ground Fault Circuit Interrupter
 ST - Short Trip Type HACR - Heating, A/C & Refrigeration
 AUX - Auxiliary Contacts SF - Subfeed

REMARKS:
 1. PROVIDE AND INSTALL A LOCK-ON BREAKER.
 2. CIRCUIT VIA TIME CLOCK.
 3. 2-WIRE W/ GND., NEUTRAL MUST BE GROUNDED AND RECEPT. PROPERLY POLARIZED.

GENERAL NOTES:
 1. ALL BREAKERS TO BE HEAVY DUTY SWITCHING TYPE.
 2. BOLT-ON.



FOUNDATION / FRAMING / FLOOR PLAN
1/8" = 1'-0"



ELECTRICAL / MECH FLOOR PLAN
1/8" = 1'-0"

CODED NOTES

- 1 AUGER FOUNDATION PIERS 24" DIA. 60" DEEP AND PROVIDE 12" THICK FOURED CONCRETE COLUMN PAD (3,000 PSI) PAD SHALL BEAR ON UNDISTURBED SOIL.
- 2 5" FOURED CONCRETE SLAB W/ 6x6 14/1.4 MIN. ON 4" WASHED GRAVEL - CONCRETE TO BE 3000 PSI MIN. - SMOOTH FINISH & SPRAY W/ HARDENER WHILE DRYING SAM CUT 1/2" X 1/2" DEEP CONTROL JOINTS @ 15'-0" +/-
- 3 (4) PLY 2x6 WOOD W/ LOWER 12" TREATED TO 0.60 CGA FOR PERMANENT WOOD FOUNDATIONS W/ PVC 700 PROTECTOR SLEEVE
- 4 "X" BRACING - BASED ON SIMPSON WB43C BRACINGS.
- 5 12'-0" X 14'-0" OVERHEAD DOOR (NON-INSULATED)
- 6 SLOPE FLOOR TO OVERHEAD DOORS - PROVIDE RAIN LIP @ O.H. DOOR SILL.
- 7 AUGER FOUNDATION PIERS 18" DIA. X 60" DEEP AND PROVIDE 12" THICK FOURED CONCRETE COLUMN PAD. COLUMN PAD (3,000 PSI) PAD SHALL BEAR ON UNDISTURBED SOIL.
- 8 4" DIA. BOLLARD - 7'-0" L (3'-6" +/- EXPOSED) 12" AUGURED HOLE FILL WITH CONCRETE DOME TOP TO SHED WATER (TYP. OF 2 @ EA. O.H. DOOR - EXTERIOR)
- 9 STACK (2) 2x12 #1 SYP EA. SIZE 6x6 - SEE DETAIL A/A-5.
- 10 3070 INSULATED MTL. DOOR & ENTRY HARDWARE - AND DEAD BOLT
- 11 LINE OF O.H. DOOR IN OPEN POSITION
- 12 2x6 @ 16" O.C. FULL HEIGHT W/ METAL LINER EA. SIDE. CONTRACTOR OPTION 4x4 POSTS @ 4'-0" W/ LINER PANEL HORIZ. EA. SIDE.
- 13 200A 120/250V 1PH ELECTRIC AND WEATHER PROOF LOAD PANEL - SEE RISER AND PANEL SCHEDULE
- 14 REMOTE LIGHT KIT LOCATION PROVIDE POWER DUPLEX RECEPTACLE - CONSULT OWNER
- 15 EXTERIOR LED EQUIV. 400W WALL PAK - PROVIDE PHOTO CELL.
- 16 OVERHEAD DOOR OPERATOR - "LIFTMASTER" 8500 SERIES HALL MOUNT GARAGE DOOR OPER. WITH REMOTE LIGHT. PROVIDE POWER DUPLEX RECEPTACLE 48" BELOW GARAGE DOOR HEAD HT. AND CENTER UNDER OPER.
- 17 20 AMP OUTLET.
- 18 PROVIDE A SINGLE PAVED SOLID A.D.A. PARKING SURFACE WITH STRIPING TO DIMENSIONS SHOWN - SEE SITE PLAN
- 19 INTERIOR WALL ALT. 4x4 @ 8'-0" O.C. W/ 2x6 GIRTS @ 24" O.C. AND METAL LINER PANEL ON ONE SIDE
- 20 UNIT HEATER - GAS FIRED BASED ON 'REZINOR' MODEL ' WIND GUARD - GRAVITY-VENTED 800B 70,000 BTUH INPUT 60,000 BTUH OUTPUT 12" GAS CONNECTION VENT W/ 8" OVAL - MOUNT @ 12'-0" A.F.F. AND ANGLE ALL REQUIRED CLEARANCES = TOP-6" FLUE-6" SIDE-18" REAR-24"
- 21 INTERIOR WALL @ CONDITIONED SPACE. 4x4 @ 8'-0" O.C. W/ 2x6 GIRTS @ 24" O.C. AND METAL LINER PANEL ON ONE SIDE WITH R-20 INSULATION.
- 22 12'-0" X 14'-0" OVERHEAD DOOR (INSULATED)
- 23 8'-0" STRIP LIGHT WITH MOTION DETECTION
- 24 INTERIOR SHR FIRE WALL - SEE WALL KEY
- 25 FUTURE INTERIOR WALL - SEE WALL SCHEDULE AND CODED NOTE 19 FOR CONSTRUCTION OPTIONS

FIRE BLOCKING NOTES:
 1. INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS, BOTH HORIZONTAL AND VERTICALLY.
 2. CONCEALED WALL SPACES HORIZONTALLY AT 10 FEET INTERVALS AND AT CEILING AND FLOOR LEVELS.

DRAFT-STOPPING IN BE INSTALLED IN ATTICS AND CONCEALED ROOFS SO HORIZONTAL AREAS DO NOT EXCEED 5,000 S.F.

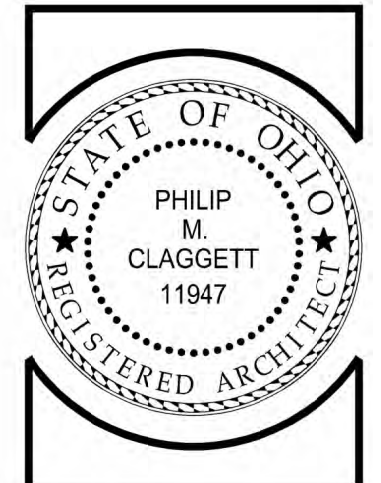
PLACE PLACARD ON EXTERIOR OF BUILDING STATING BUILDING IS NOT APPROVED FOR STORING OF MOTOR VEHICLES OVER 10,000 G.V.W.

GENERAL NOTES:
 ROOF TRUSS LAYOUT TO BE PROVIDED BY ROOF TRUSS MANUFACTURER. PROVIDE SHOP DRAWINGS OF MOST ECONOMICAL LAYOUT FOR REVIEW BY OWNER / ARCHITECT FOR COORDINATION WITH FOUNDATION / BEARING COMPONENTS & PROVISIONS REQUIRED - THE FRAMING SHOWN IS SUGGESTED BEARING, BEAM AND OR GIRDER TRUSS LOCATIONS
 PROVIDE DRAFTSTOPPING SHALL BE INSTALLED IN ATTIC SPACE SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 5,000 SQ. FT.
 PROVIDE FIREBLOCKING IN COMBUSTIBLE CONCEALED LOCATIONS (WALL CAVITY AND ATTIC / EAVE) COMPLYING WITH SECTION T11 SHALL BE INSTALLED IN THE LOCATIONS SPECIFIED IN SECTIONS T11.2 THROUGH T11.2.7

TYP. ROOM FINISHES
 FLOOR - SEALED CONCRETE
 BASE - NONE
 WALLS - MTL. LINER PANEL (WHITE)
 CEILING - MTL. LINER PANEL (WHITE 24 GA.)

WALL KEY

- CONDITIONED SPACE:
 6x6 @ SPACING SHOWN AND HORIZONTAL 2x6 PURLINS @ 24" O.C. VERTICALLY BOTH SIDES W/ R-20 (MIN) BATT INSULATION - LINE INSIDE OF WALLS W/ METAL LINER PANEL FULL HEIGHT
- INTERIOR WALLS : 2x6 STUDS @ 24" O.C. WITH METAL LINER PANEL ONE SIDE (RUN HORIZONTAL) W/ R-20 (MIN.) BATT INSULATION
- 6x6 @ SPACING SHOWN AND HORIZONTAL 2x6 PURLINS @ 24" O.C. VERTICALLY BOTH SIDES - LINE INSIDE OF WALLS W/ METAL LINER PANEL FULL HEIGHT
- INTERIOR WALLS : 2x6 STUDS @ 24" O.C. WITH METAL LINER PANEL ONE SIDE (RUN HORIZONTAL)
- 2x6 @ 16" O.C. STUD WALL UP TO ROOF DECK - CLAD EACH SIDE WITH METAL LINER PANEL OVER (3) LAYERS 5/8" TYP. "X" DRYWALL (3) HR. FIRE RATED PARTITION WALL
- FUTURE INTERIOR WALLS : 2x6 STUDS @ 24" O.C. WITH FUTURE LINER PANEL EA. SIDE (HORIZONTAL RUN)



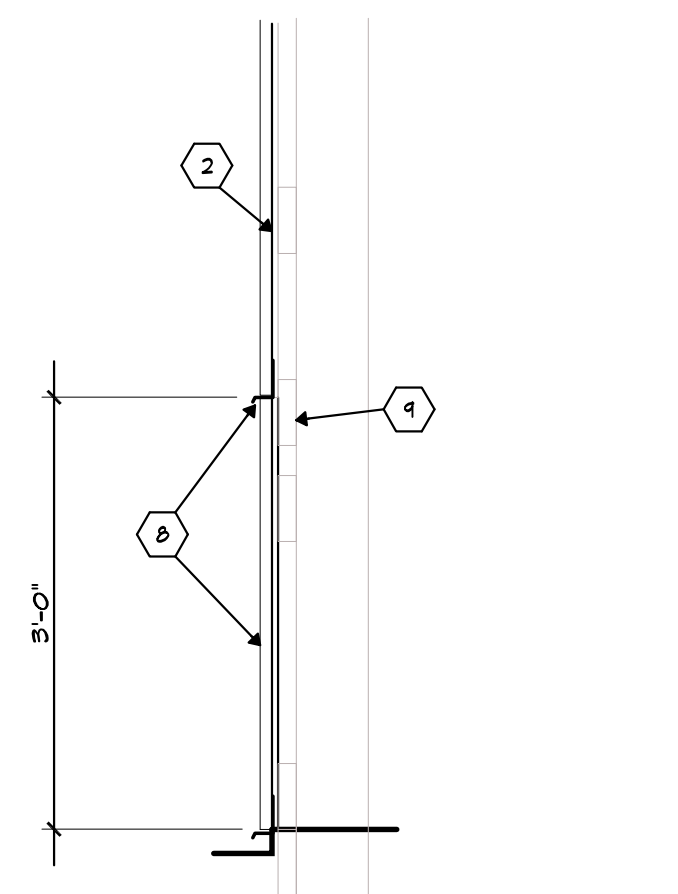
Weekley Electric LLC
 Storage Building II
 Newark, OH 43055
 1990 Mt Vernon Road



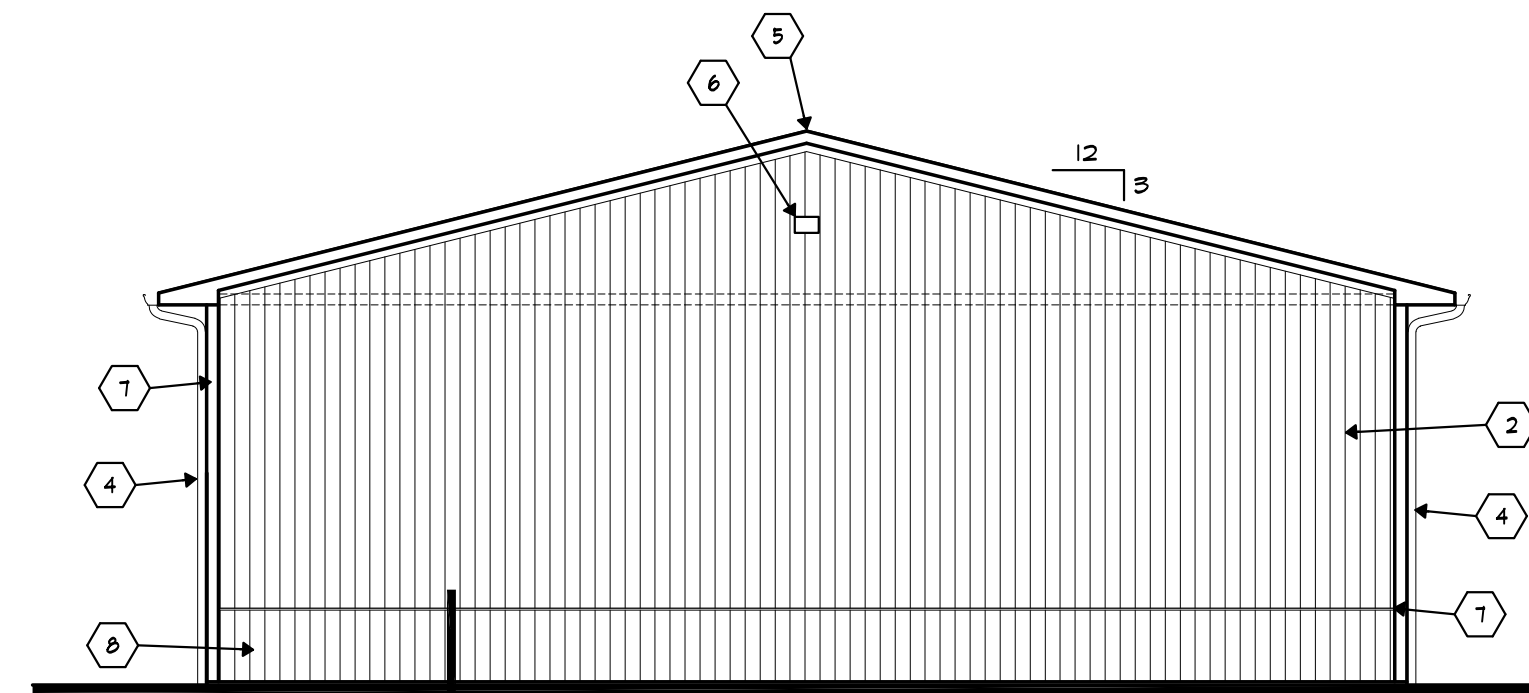
BRIDGING THE GAP BETWEEN
Art & TECHNOLOGY
 19 NORTH 4th STREET
 NEWARK, OHIO 43055
 TEL: (740) 349-3222
 FAX: (740) 349-3221

DRAWN BY	KRC
CHECKED BY	PMG
COMMISSION NO.	24052
DATE	4 SEPTEMBER 2024
REVISIONS	

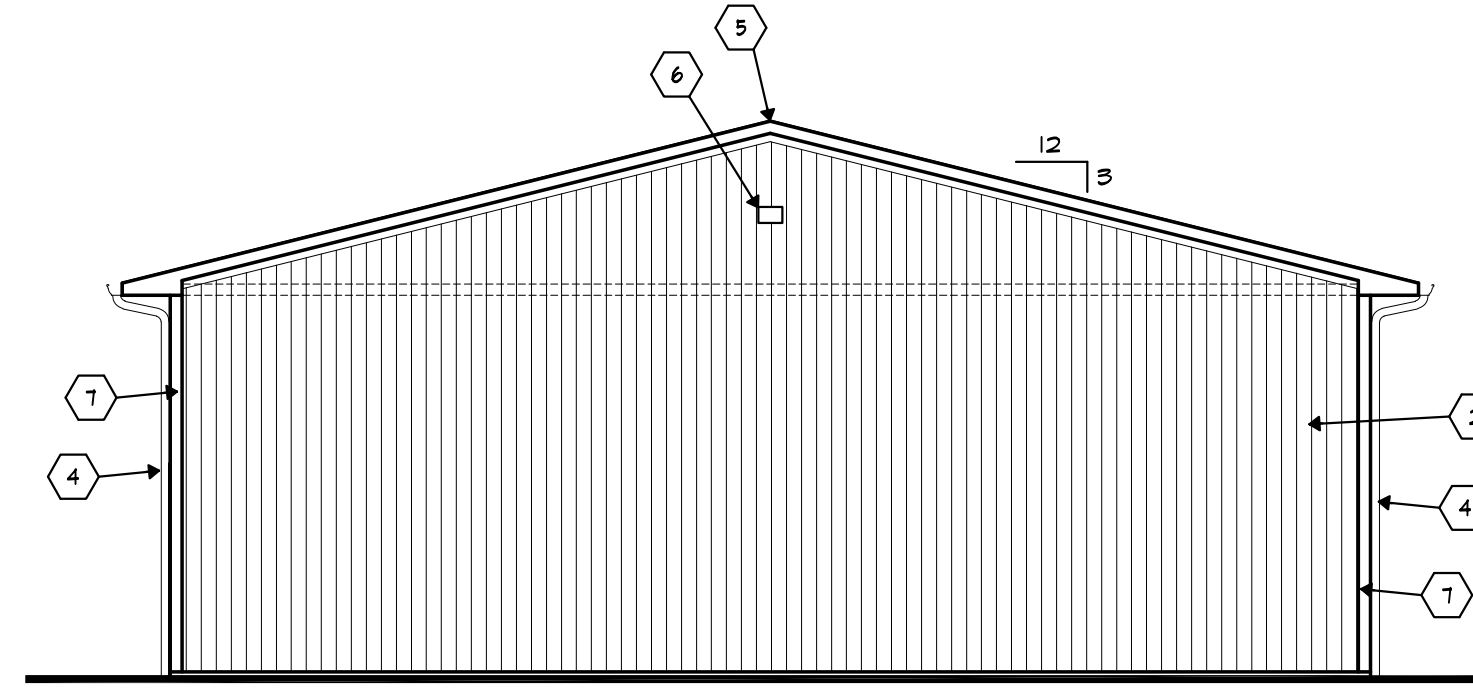
© COPYRIGHT PHILIP M. CLAGGETT ARCHITECT OHIO NO. 11947
 SHEET No. **A-1**
 OF 3 SHEETS



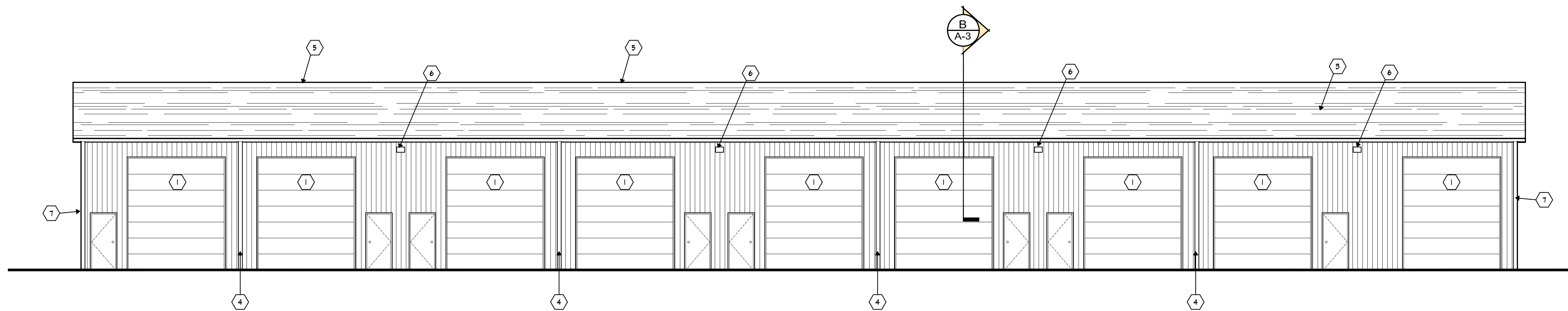
SIDING TRANSITION **A**
3/4" = 1'-0"



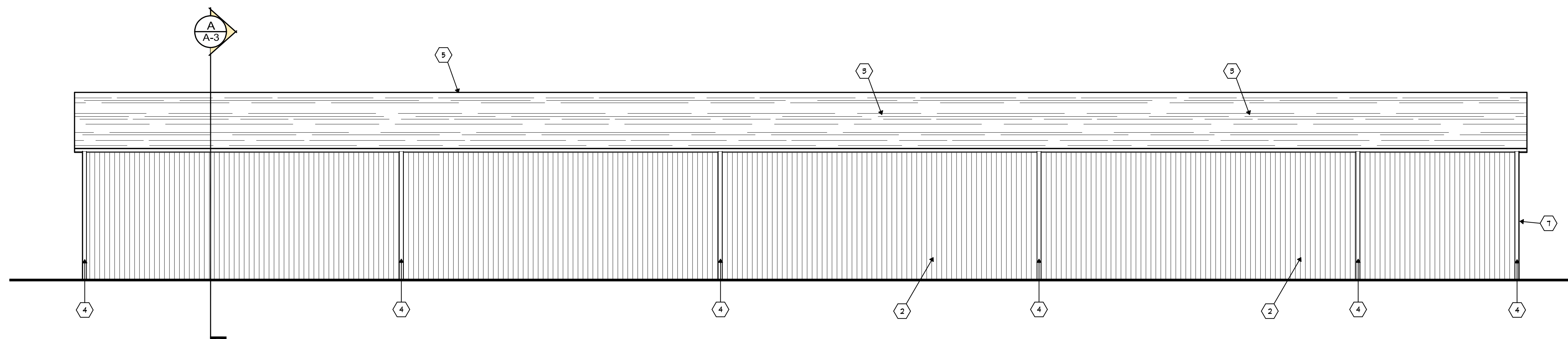
ST. RT. 13 ELEVATION WEST ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



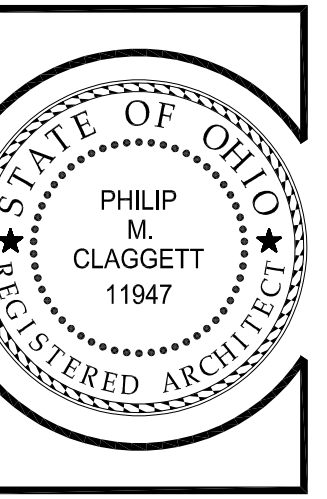
NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

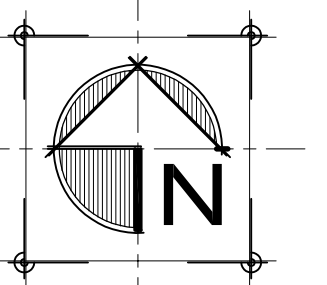
CODED NOTES

- ① 12'-0" x 14'-0" H. OVERHEAD DOOR (AS SELECTED BY OWNER - SEE PLAN FOR INSULATED BAYS)
- ② METAL SIDING - SEE WALL SECTION) COLOR AS SELECTED BY OWNER.
- ③ 50 YEAR DIMENSIONAL SHINGLES - OVER 1/2" O.S.B. WITH PLYWOOD CLIPS AND 30# FELT
- ④ 6" OGEE ALUMINUM GUTTER W/ ALUM. DOWNSPOUTS DRAINING ON CONCRETE SPLASH BLOCKS - SEE ELEVATIONS FOR LOCATION OF DOWNSPOUTS
- ⑤ CONTINUOUS RIDGE VENT
- ⑥ EXTERIOR 400W WALL PAK - PROVIDE PHOTO CELL.
- ⑦ 6" METAL CORNER TRIM
- ⑧ COLOR CHANGE IN METAL SIDING AT 36" A.F.F. WITH TREATED 3" PLYWOOD BACKUP TO ALLOW FOR FUTURE CULTURED STONE. INSTALL BREAK METAL TERMINATION DRIP 1-1/2" OUT TO COVER STONE UNDER SIDING ON TOP - SEE DIAGRAM THIS SHEET - CONSULT OWNER ON COLOR
- ⑨ PROVIDE ADDITIONAL BLOCKING AS REQUIRED



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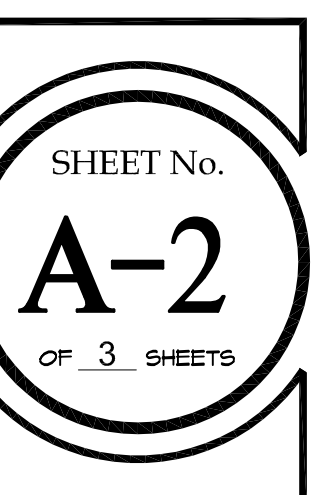
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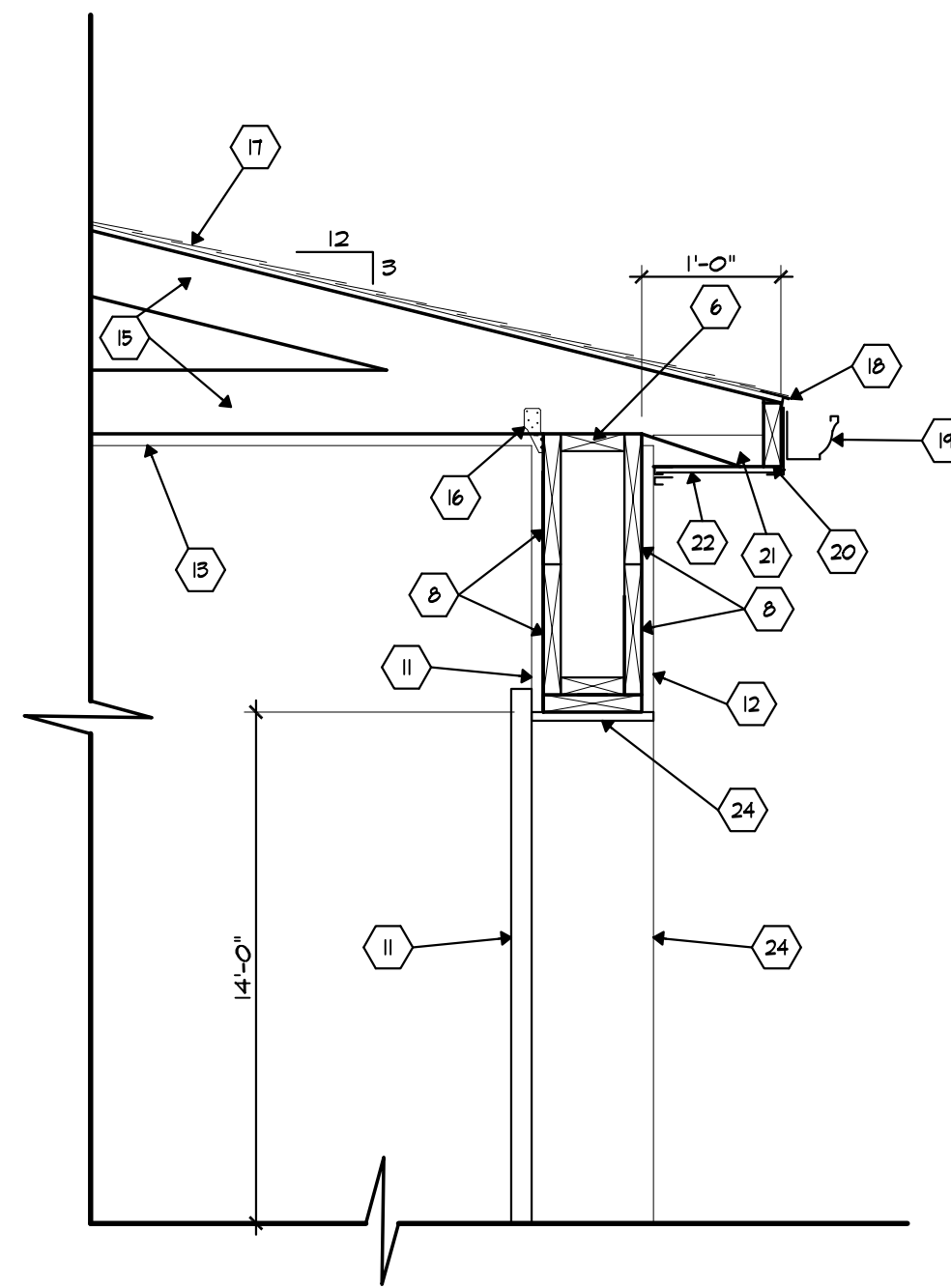
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<input type="checkbox"/>	DESIGN DEVELOPMENT SET
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<input type="checkbox"/>	OWNER'S FINAL REVIEW SET
<input type="checkbox"/>	CONSTRUCTION DOCUMENT SET
<input type="checkbox"/>	BID SET
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<input type="checkbox"/>	RECORD "AS BUILT" SET

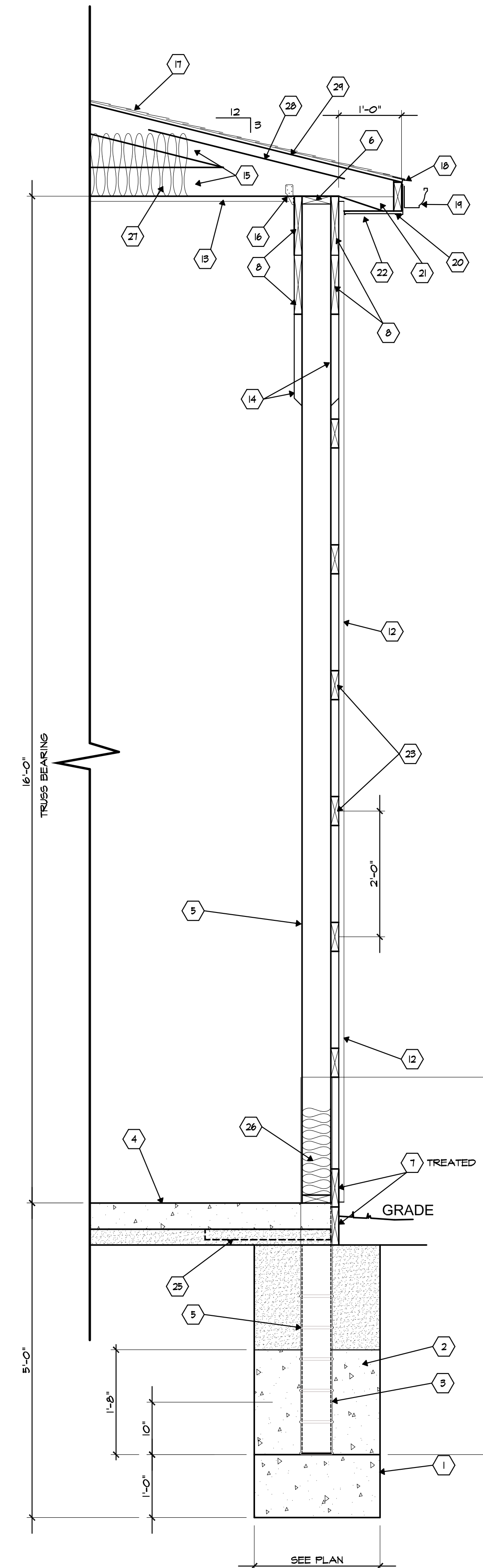
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ARCHITECT
OHIO NO. 11947





B GARAGE DOOR HEADER
3/4" = 1'-0"



A TYP. WALL SECTION
3/4" = 1'-0"

CODING NOTES

- 1 PROVIDE 12" THICK POURED CONCRETE COLUMN PAD. (3000 PSI) PAD SHALL BEAR ON UNDISTURBED SOIL.
- 2 PROVIDE POURED CONCRETE COLLAR UP 20" AND COMPACTED 304 IN 6" LIFTS UP TO GRADE
- 3 6'-0" PVC "POST PROTECTOR" SLEEVE
- 4 6" POURED CONCRETE SLAB W/ 6x6 14/4 W/M. ON 4" WASHED GRAVEL - CONCRETE TO BE 3000 PSI MIN. - SMOOTH FINISH & SPRAY W/ HARDENER WHILE DRYING
- 5 (4) FLY 2x6 WOOD W/ LOWER 12" TREATED TO O&O CGA FOR PERMANENT WOOD FOUNDATIONS
- 6 2x6 BETWEEN WOOD BEAM TO PROVIDE FIRE BLOCKING.
- 7 (2) T&G 2x6 TREATED PERIMETER GRADE ASSEMBLY.
- 8 (2) 2x12 SYP #1 STACKED FOR TRUSS BEARING - PROVIDE SOLID 2x6 BLOCKING @ 24" EA. TRUSS LOC. - SECURE TO 6x6 W/ (5) 5" LONG LEDGERLOK EA. MEMBER EA. END.
- 9 PROVIDE TRUSS BRACING PER MANUFACTURER'S INSTALLATION INSTRUCTIONS
- 10 24 GA. MTL. LINER WALL PANEL FULL HEIGHT.
- 11 O.H. DOOR - SEE PLAN FOR SIZE
- 12 26 GA. METAL SIDING - COLOR AS SELECTED BY CONSULT OWNER
- 13 24 GA. MTL. LINER PANEL @ CEILING (WHITE)
- 14 2x6 BEARING BLOCK EA. SIDE OF 6x6 (18" L) ANCHOR TO POST W/ POLE BARN SPIKES @ 3" O.C. 2 ROWS EA. SIDE.
- 15 50'-0" WOOD TRUSS @ 24" O.C. W/ 5/12 PITCH AND 12" OVERHANG.
- 16 FASTEN TRUSS TO TOP PLATES USING (3) 16d NAILS MIN. AND (2) SIMPSON "H2.5A GLIP" @ EACH LOCATION
- 17 50 YEAR DIMENSIONAL SHINGLES OVER 7/16" O.S.B. WITH PLYWOOD GLIPS AND 50# FELT
- 18 METAL DRIP EDGE
- 19 6" OSEE ALUMINUM GUTTER W/ ALUM. DOWNSPOUTS DRAINING ON CONCRETE SPLASH BLOCKS - SEE ELEVATIONS FOR LOCATION OF DOWNSPOUTS
- 20 2x6 FASCIA WRAP W/ BREAK METAL.
- 21 2x4 SOFFIT FRAMING @ 24" O.C.
- 22 PERFORATED MTL. SOFFIT
- 23 2x6 GIRTS @ 24" O.C. EA. SIDE - SECURE W/ (3) 16d NAILS.
- 24 WRAP O.H. DOOR OPENING W/ BREAK METAL.
- 25 PROVIDE 2'-0" HORIZONTAL R-10 FOAM INSULATION AT PERIMETER OF SLAB-ON-GRADE IN CONDITIONED UNITS.
- 26 PROVIDE R-20 BATT INSULATION IN WALLS OF CONDITIONED UNITS.
- 27 PROVIDE R-30 BATT INSULATION IN CEILING OF CONDITIONED UNITS.
- 28 PROVIDE EAVE BAFFLES AS REQUIRED FOR 2" OF UNINTERRUPTED AIR FLOW FROM SOFFIT TO RIDGE VENT
- 29 PROVIDE ICE DAM 24" BEYOND INSIDE OF WALL

FIRE BLOCKING NOTES:
1. INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS, BOTH HORIZONTAL AND VERTICALLY.
2. CONCEALED WALL SPACES HORIZONTALLY AT 10 FEET INTERVALS AND AT CEILING AND FLOOR LEVELS.

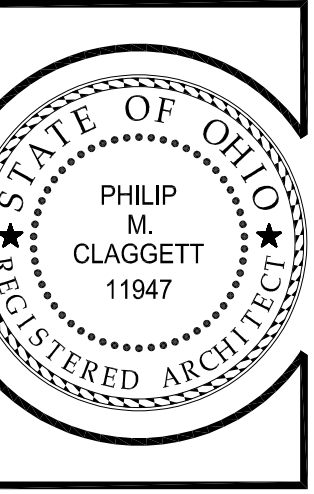
DRAFT-STOPPING IS BE INSTALLED IN ATTICS AND CONCEALED ROOFS SO HORIZONTAL AREAS DO NOT EXCEED 3000 S.F.

POST[™] protector

UPLIFT COMPARISON

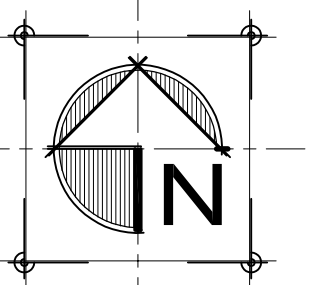
- POST WITH (2) 1/2" x 12" REBAR
2480 LBS.
- BASED ON 18" x 36" 3500 LB. CONCRETE BACKFILL
- POST WITH **POST[™] protector**
3000 LBS.
- AFFIX POST PROTECTOR WITH PROVIDED LAG SCREWS/WASHERS
- BASED ON 18" x 36" 3500 LB. CONCRETE BACKFILL
- POST PROTECTOR WITH TAMPED AVERAGE SOIL BACKFILL WILL ACHIEVE UPLIFT PROTECTION OF APPROXIMATELY 1000 LBS.

George T. Dimoss, P.E.



Weekley Electric LLC
Storage Building II
Newark, OH 43055
1990 Mt Vernon Road

NORTHPOINT
OHIO ARCHITECTURE



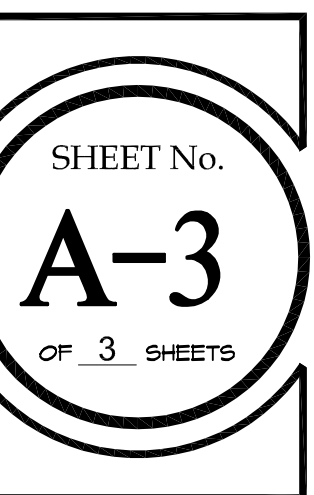
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<input type="checkbox"/>	SCHEMATIC DESIGN SET
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ARCHITECT
OHIO NO. 11947





CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

DECEMBER 10, 2024 PLANNING COMMISSION MEETING

Application:

1. **PC FILE 24-63: SITE PLAN FOR LICKING MEMORIAL HOSPITAL EDUCATION & EVENT CENTER, 1320-1360 WEST MAIN STREET**

Staff Report & Recommendations:

Overview:

The applicant intends to build a 33,500 S.F. education and event center building, north of the existing buildings on this site.

The Site Plan Review Committee submitted comments on 12/3/2024 regarding this application. Reviewers included:

Mark Mauter, Development Director	Adam Bernard, Utilities Engineer
Brandon Metzger, Fire Chief	Lindsey Brighton, Stormwater Utility
Aaron Holman, NFD	Nick Shultz, Street and Traffic Engineer
Erik McKee, Police Chief	Don Hiltner, Senior Engineer
Craig Riley, Deputy Police Chief	Brian Morehead, City Engineer
Brandon Fox, Water Administrator	George Carter, Zoning Inspector

A. Zoning District:

This site is zoned General Office District (GO); the proposed use is a permitted use.

Floodplain - The building site is not located in a floodplain area.

B. Safety Division Review:

The Police Division has no concerns with this proposal.

The Fire Division has not submitted any review comments at this time. Any additional comments / requirements will be provided at the PC meeting.

C. Height Restrictions:

There are no height restrictions in the GO District, at this specific location.

D. Lot Area & Setbacks:

Parcel is approximately 1,174,891 S.F. +/-, with 18% building coverage, which meets the lot area requirements.

The site plan shows the building across two parcels. My understanding is this issue will be resolved with a lot split and combination after change in ownership of one of the parcels.

E. Off-Street Parking & Loading:

Based on the proposed building area, 167 parking spaces are required and 305 spaces are proposed, which meet the requirements.

F. Corner Lots:

No structures are proposed at this time in the lot corner area.

G. Landscaping, Buffering & Greenspace:

The landscaping requirement consists of 14,183 +/- SF of green space (Lawn) and greater than 3545 SF of the green space area shall be ground cover (planting areas) as required by the Zoning Code. In addition, 7 trees are required on the site. A landscaping plan will need to be submitted to review for compliance.



**CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT**

- H. Public & Private Roadways – Access Management:
No changes to the driveway approaches are shown. Access to the building will be off McMillen Drive, via the existing Hospital Drive, which is a private driveway.
- I. Site Signage:
No additional signage has been submitted with the proposal.
- J. Traffic Control / Street / Right-of-Way Issues:
No other comments at this time.
- K. Engineering / Utilities:
Engineering and Water staff will review the detailed water, sanitary and stormwater management plans; these have not yet been submitted for review as part of this package. Engineering will follow up for compliance prior to construction.

There has been no stormwater management plan submitted, and this should be submitted, reviewed and approved prior to zoning approval.
- L. Other Standards/Regulations
No other comments at this time.

Recommendations:

This proposal meets all of the technical requirements. On that basis, staff recommends conditional approval of the Site Plan for this development, provided the following issues are addressed:

1. Resolution of Fire Dept comments and requirements.
2. Resolution of lot combination and ownership changes.
3. Landscaping Plan for zoning compliance.
4. Construction plan approval for sanitary, water and stormwater designs.
5. Compliance with City's Stormwater Management requirements, including post-construction.

If approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

Planning Commission Action on Recommendation:

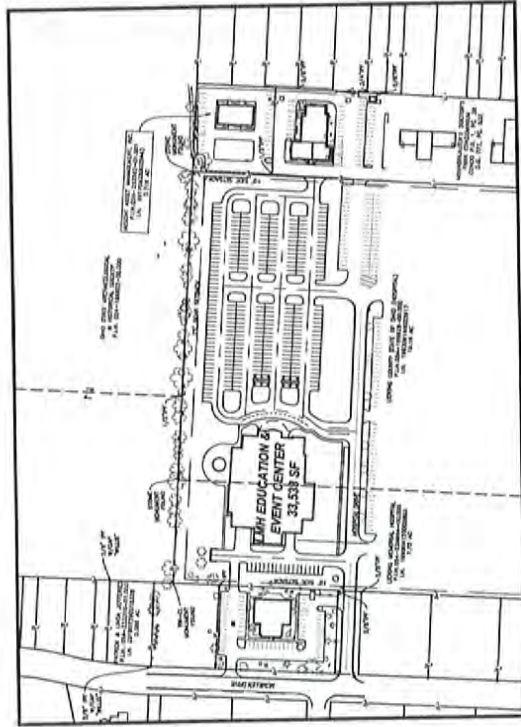
- Approved As Submitted
- Approved As Noted, With Contingencies
- Denied

Planning Director

Date



CITY OF NEWARK
 LICKING COUNTY, OHIO
**LICKING MEMORIAL HOSPITAL
 EDUCATION & EVENT CENTER**
 1320 WEST MAIN STREET



INDEX OF SHEETS

CIVIL: SEE SHEET 1/1
 ELECTRICAL: SEE SHEET 1/2
 MECHANICAL: SEE SHEET 1/3
 PLUMBING: SEE SHEET 1/4
 STRUCTURAL: SEE SHEET 1/5
 SITE: SEE SHEET 1/6
 CONSTRUCTION: SEE SHEET 1/7
 FINISHES: SEE SHEET 1/8
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 DETAILS: SEE SHEET 1/11
 SCHEDULES: SEE SHEET 1/12
 NOTES: SEE SHEET 1/13
 LEGEND: SEE SHEET 1/14
 TITLE: SEE SHEET 1/15

OWNER/DEVELOPER:
 LICKING MEMORIAL HOSPITAL
 1320 WEST MAIN STREET
 NEWARK, OHIO 43055

ARCHITECT:
 SANDS BECKER ARCHITECTS
 1000 WEST MAIN STREET
 NEWARK, OHIO 43055
 614-521-1140
 WWW.SANDSBECKER.COM

CIVIL ENGINEER:
 JOHN J. SANDS, P.E.
 1000 WEST MAIN STREET
 NEWARK, OHIO 43055
 614-521-1140
 WWW.SANDSBECKER.COM

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 NOTES: SEE SHEET 1/13
 LEGEND: SEE SHEET 1/14
 TITLE: SEE SHEET 1/15



GRAPHIC SCALE
 1" = 100'
 1/4" = 25'



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 NEWARK, OHIO 43055
 614-521-1140
 WWW.SANDSBECKER.COM

**1320 WEST MAIN STREET
 LICKING MEMORIAL HOSPITAL
 EDUCATION & EVENT CENTER**
 NEWARK, OHIO 43055
 614-521-1140



**LICKING MEMORIAL HOSPITAL
 EDUCATION & EVENT CENTER**
 1320 W. MAIN ST.
 NEWARK, OHIO 43055



GRAPHIC SCALE
1" = 40'-0"

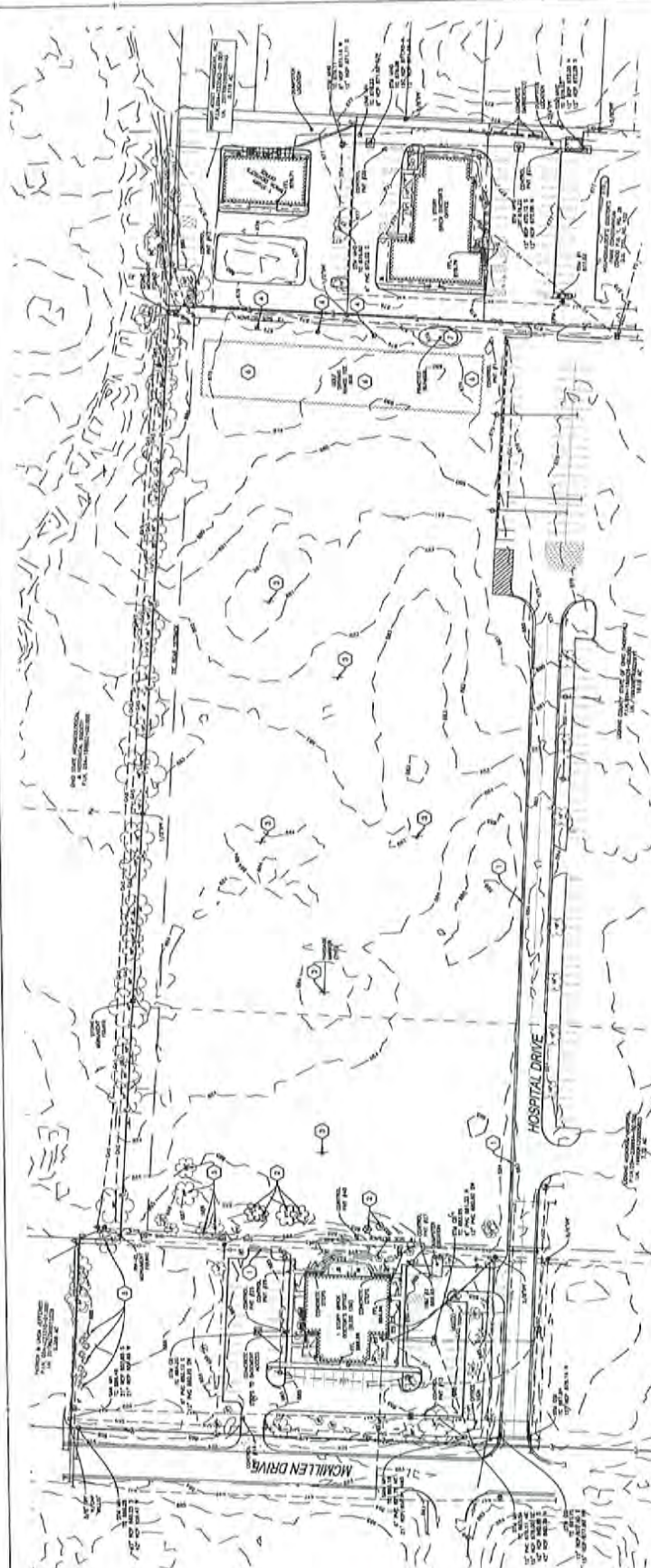


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DEMOLITION REMAINS

- 1. DEMOLITION REMAINS TO BE REMOVED.
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UTILITIES
EXISTING UTILITIES, THE INFORMATION FROM CONDUCTING SURVEYS, FIELD SURVEYS, AND THE INFORMATION PROVIDED BY THE OWNER, IS THE BASIS OF THE UTILITY INFORMATION SHOWN ON THIS PLAN. THE INFORMATION IS NOT GUARANTEED TO BE COMPLETELY ACCURATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE AGENCIES OF ANY UTILITIES TO BE MOVED OR DELETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE AGENCIES OF ANY UTILITIES TO BE MOVED OR DELETED.

POINT #	DESCRIPTION	NORTHING	EASTING
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13	MAG NAIL	7468547.237	1981753.672
14	MAG NAIL	7468119.613	1981753.250
20	MAG NAIL	7468668.877	1982245.374
21	MAG NAIL	746502.650	1982240.374
25	MAG NAIL	746777.250	1981833.221
26	MAG NAIL	746773.679	1981891.040
27	MAG NAIL	746893.301	1981883.755
40	MAG SPIKE	746705.814	1981923.276

CONTROL POINT INFORMATION
SOURCE: EPOCH MARK TWP 3
EASTING: 7465981.136
NORTHING: 1982782.074
EPOCH MARK TWP 3
EASTING: 7465981.136
NORTHING: 1982782.074
EPOCH MARK TWP 3
EASTING: 7465981.136
NORTHING: 1982782.074

BENCHMARKS
SOURCE: EPOCH MARK TWP 3
EASTING: 7465981.136
NORTHING: 1982782.074
EPOCH MARK TWP 3
EASTING: 7465981.136
NORTHING: 1982782.074
EPOCH MARK TWP 3
EASTING: 7465981.136
NORTHING: 1982782.074

HORIZONTAL REFERENCE BASIS OF BEARINGS
BEARINGS ARE BASED ON THE NATIONAL GRID SYSTEM
- ALL BEARINGS ARE REFERENCED TO THE NATIONAL GRID SYSTEM
- ALL BEARINGS ARE REFERENCED TO THE NATIONAL GRID SYSTEM

BENCHMARK REFERENCE
BENCHMARKS ARE REFERENCED TO THE NATIONAL GRID SYSTEM
- ALL BENCHMARKS ARE REFERENCED TO THE NATIONAL GRID SYSTEM
- ALL BENCHMARKS ARE REFERENCED TO THE NATIONAL GRID SYSTEM

SURVIVORS NOTES
- ALL FIELD WORK WAS PERFORMED FOR THE PROPERTY.
- ALL FIELD WORK WAS PERFORMED FOR THE PROPERTY.
- ALL FIELD WORK WAS PERFORMED FOR THE PROPERTY.
- ALL FIELD WORK WAS PERFORMED FOR THE PROPERTY.

LEGEND

1	PROPERTY LINE
2	STORM LINE
3	SEWER LINE
4	WATER LINE
5	GAS LINE
6	TELEPHONE LINE
7	CABLE TV LINE
8	TELEPHONE LINE
9	CABLE TV LINE
10	TELEPHONE LINE
11	CABLE TV LINE
12	TELEPHONE LINE
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35	CABLE TV LINE
36	TELEPHONE LINE
37	CABLE TV LINE
38	TELEPHONE LINE
39	CABLE TV LINE
40	TELEPHONE LINE

ABBREVIATIONS
R1 REINFORCED CONCRETE PIPE
S1 SANDSTONE
S2 SANDSTONE
S3 SANDSTONE
S4 SANDSTONE
S5 SANDSTONE
S6 SANDSTONE
S7 SANDSTONE
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S100 SANDSTONE



LICKING MEMORIAL HOSPITAL
EDUCATION & EVENT CENTER

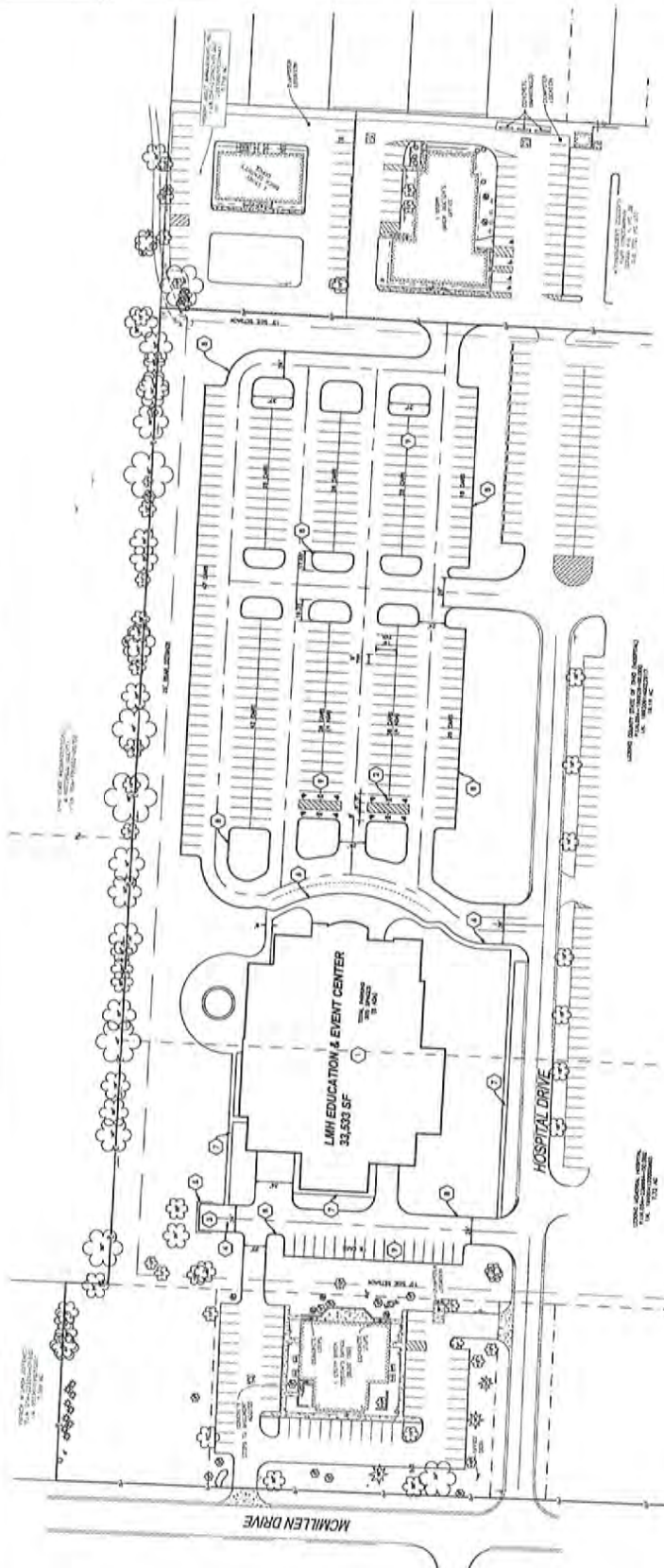


GRAPHIC SCALE
1" = 40'-0"

DATE: 11/17/07



SANDS DECKER ARCHITECTURE
1450 OLIVE STREET
COLUMBUS, OHIO 43202
(614) 437-4892
427 North Broad Street
Columbus, OHIO 43215
(614) 222-1212
321 Main Street
Zanesville, Ohio 43085
(740) 831-1140



- 1 SITE REVISIONS**
1. REVISIONS TO ARCHITECTURAL & STRUCTURAL PLANS
 2. REVISIONS TO MECHANICAL & ELECTRICAL PLANS
 3. REVISIONS TO SANITARY & GAS PLANS
 4. REVISIONS TO PLUMBING PLANS
 5. REVISIONS TO CONCRETE FOUNDATION PLANS
 6. REVISIONS TO CONCRETE WALLS & FOUNDATIONS
 7. REVISIONS TO CONCRETE FLOOR SLABS
 8. REVISIONS TO CONCRETE ROOF SLABS
 9. REVISIONS TO CONCRETE CURBS & WALLS
 10. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 11. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 12. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 13. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 14. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 15. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 16. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 17. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 18. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 19. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 20. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
- MISC. NOTES**
- 1. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 - 2. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 - 3. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 - 4. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 - 5. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
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 - 17. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 - 18. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 - 19. REVISIONS TO CONCRETE DRIVEWAYS & PATHS
 - 20. REVISIONS TO CONCRETE DRIVEWAYS & PATHS



**CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT**

DECEMBER 10, 2024 PLANNING COMMISSION MEETING

Application:

1. ***PC FILE 24-61: SITE PLAN FOR THE HOPEWELL SQUARE APARTMENT DEVELOPMENT, 365-385 WEST MAIN STREET, AT SOUTH 11TH STREET***

Staff Report & Recommendations:

Overview:

The applicant intends to build a 132-unit multi-family apartment development at the southeast corner of West Main Street at South 11th Street.

The Site Plan Review Committee submitted comments on 12/3/2024 regarding this application. Reviewers included:

Mark Mauter, Development Director	Adam Bernard, Utilities Engineer
Brandon Metzger, Fire Chief	Lindsey Brighton, Stormwater Utility
Aaron Holman, NFD	Nick Shultz, Street and Traffic Engineer
Erik McKee, Police Chief	Don Hiltner, Senior Engineer
Craig Riley, Deputy Police Chief	Brian Morehead, City Engineer
Brandon Fox, Water Administrator	George Carter, Zoning Inspector

A. Zoning District:

This site is zoned Downtown Commercial District (DC); the proposed use is a permitted use.

Flood Zones: The entire site is located in the 500 year Flood Plain, with small portions of the parcel in the 100 year Future Conditions Flood Plain area. This development will be required to meet the regulations of the Flood Insurance Ordinance of the City. A flood plain permit may need to be issued for this site; a site plan with the flood boundaries shown should be submitted for review and approval.

B. Safety Division Review:

The Police Division has no issues with the proposed structure.

Fire Dept has some comments regarding turning radius needed for fire trucks, and pavement striping and fire hydrants needed, and these details will be addressed on the detailed construction plans. Their review is not complete at the time of this writing.

C. Height Restrictions:

There are no height restrictions in the DC District.

D. Lot Area & Setbacks:

Parcel is approximately 120,661 S.F. +/-, with 32% building coverage, which meets the lot area requirements of 100% maximum coverage.

E. Off-Street Parking & Loading:

Code requires 0 parking spaces for the entire development, and 122 spaces are specifically proposed.

F. Corner Lots:

Apartment structures are proposed at this time in the lot corner areas. There do not appear to be any issues with sight distance.



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

- G. Landscaping, Buffering & Greenspace:
The landscaping requirement consists of 0 +/- SF of green space and 0 SF of ground cover required by the Zoning Code. In addition, 0 trees are required on the site. No landscaping plan has been submitted at this time.
- H. Public & Private Roadways – Access Management:
All of the proposed streets and driveways are privately owned and maintained by the development. The new private driveway approaches into the development from South 11th Street are shown 24' wide.
- I. Site Signage:
No additional signage has been submitted with the proposal. Signage will need to be approved as a separate Zoning approval.
- J. Traffic Control / Street / Right-of-Way Issues:
This plan shows some of the improvements that were agreed to on the previous plan, which included a City project to improve South 11th Street and the traffic signal there, to accommodate the increased traffic from this development. This also includes a dedication of additional right-of-way to construct those improvements.
- While improvements to the east side of South 11th Street and south side of West Main Street and north side of Jefferson Street are viewed as part of this development, the Developer and City should consider a Development Agreement to improve the remainder of those streets at the same time. The scope of the City / Developer work at this location needs to be clarified before construction begins.
- K. Engineering / Utilities:
Engineering and Water staff are reviewing the detailed water, sanitary and stormwater management plans; these have been submitted for review as part of this package. Engineering will follow up for compliance prior to construction.
- The Developer should be aware that there will need to be a post-construction Operation and Maintenance Plan for the underground stormwater detention. This will need to be a stand-alone document, separate from the construction plans, and it will be recorded along with the deed.
- L. Other Standards/Regulations
No other comments at this time.

Recommendations:

This proposal meets all of the technical requirements. On that basis, staff recommends conditional approval of the Site Plan for this multi-family development, provided the following issues are addressed:

1. Resolution of Fire Dept comments and requirements.
2. Resolution of the street, traffic and right-of-way issues at the intersection of West Main Street and South 11th Street.
3. Resolution of the water, sanitary and stormwater design requirements.
4. Compliance with City's Stormwater Management requirements, including post-construction.



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

If approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

As with some other large developments, we would be willing to consider incremental approval of these items, in order to move the project forward, as some of these items may take a longer time to work through. When approved by Planning Commission, the zoning certificate will be granted after the above conditions are resolved / met to the satisfaction of Zoning and Engineering Departments.

Planning Commission Action on Recommendation:

- Approved As Submitted
- Approved As Noted, With Contingencies
- Denied

Planning Director

Date

CITY OF NEWARK, LICKING COUNTY, OHIO
 HOPEWELL SQUARE
 KORDA PROJECT 2024-0421

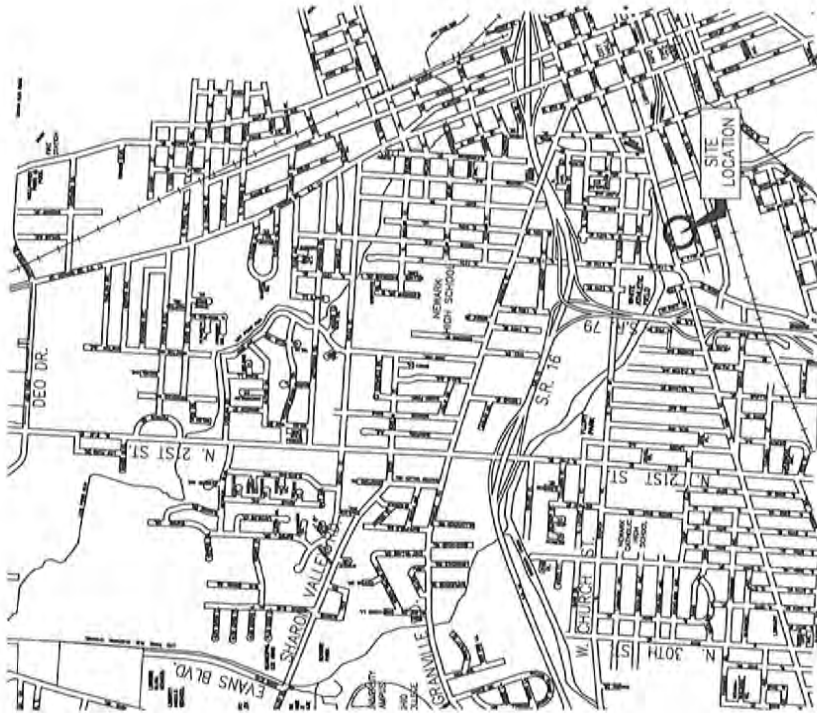
PROJECT DESCRIPTION:
 HOPEWELL SQUARE LOCATED AT 365, 375, 385, WEST MAIN STREET IN NEWARK. THE PROJECT SITE IS APPROXIMATELY 2.65 ACRES IN SIZE, AND IS BOUNDED BY WEST MAIN STREET ON THE NORTH, THE YARD AT NEWARK STATION ON THE EAST, JEFFERSON STREET ON THE SOUTH AND SOUTH 11TH STREET ON THE WEST.

THE PROJECT INCLUDES NEW THREE-STORY MULTIFAMILY DEVELOPMENT BUILDINGS AND ASSOCIATED PARKING, SIDEWALK, AND OTHER AMENITIES. ADDITIONAL STREETSCAPE AND PARK SPACE IMPROVEMENTS WILL BE CONDUCTED AS PART OF THIS PROJECT. REFER TO NEWARK CITY PROJECT 2021-24 FOR ALL STREETSCAPE IMPROVEMENTS.

INDEX OF SHEETS

- C0.00 TITLE SHEET
- C0.01 DEMOLITION PLAN
- C1.01 STAKING PLAN
- C1.02 STAKING DETAILS
- C2.01 GRADING & STORM SEWER PLAN
- C2.02 STORM SEWER PROFILES
- C2.03 STORM SEWER DETAILS
- C2.04 ADS DETAILS
- C2.05 ADS DETAILS
- C2.06 EROSION & SEDIMENT CONTROL PLAN
- C2.07 EROSION & SEDIMENT CONTROL DETAILS
- C3.01 UTILITY PLAN
- C3.02 UTILITY PROFILES
- C3.03 UTILITY PROFILES

Approved Date	_____	Director of Public Service
Approved Date	_____	Stormwater Utility Coordinator
Approved Date	_____	Water Administrator
Approved Date	_____	City Engineer



PLANS PREPARED BY:
KORDA
 KORDA NEUMETH ENGINEERING
 LOCATION MAP
 LATITUDE: 40°31'4.4"
 LONGITUDE: -82°25'0"

KORDA
 KORDA NEUMETH ENGINEERING
 11111 KENTWOOD DRIVE
 COLUMBUS, OHIO 43241
 PHONE: 614.233.8800
 FAX: 614.233.8801
 WWW.KORDA.COM

Project Date: 11.07.2024
 Project Number: 24-154
 Sheet Number: C0.00



DEVELOPMENT
 ARCHITECTURE
 COLLABORATIVE
 1515 SHAMBERG RD
 COLUMBUS, OH 43212
 PHONE: (614) 274-6964

Contractor: KORDA Neumeth Engineering
 Date: 11/07/2024
 Project: HOPEWELL SQUARE
 Scale: AS SHOWN



THE WINDSOR COMPANIES
 HOPEWELL SQUARE MULTI-FAMILY
 MULTIPLE ADDRESSES (SEE PLAN)
 SITE TITLE SHEET

Project Number: _____
 Project Name: _____
 Project Location: _____
 Project Date: _____
 Project Status: _____
 Project Manager: _____
 Project Engineer: _____
 Project Designer: _____
 Project Checker: _____
 Project Approver: _____
 Project Client: _____
 Project Contact: _____



DEVELOPMENT
ARCHITECTURE
COLLABORATIVE

1525 CHAMBERS ST
COLUMBUS, OH 43212
MICHELLE (614) 270-9824

CONSULTANT OF RECORD: (Seal)
DANIEL M. KORDA
REGISTERED PROFESSIONAL ENGINEER
IN THE STATE OF OHIO
NO. 10814
EXPIRES 12/31/2024



DEMOLITION PLAN

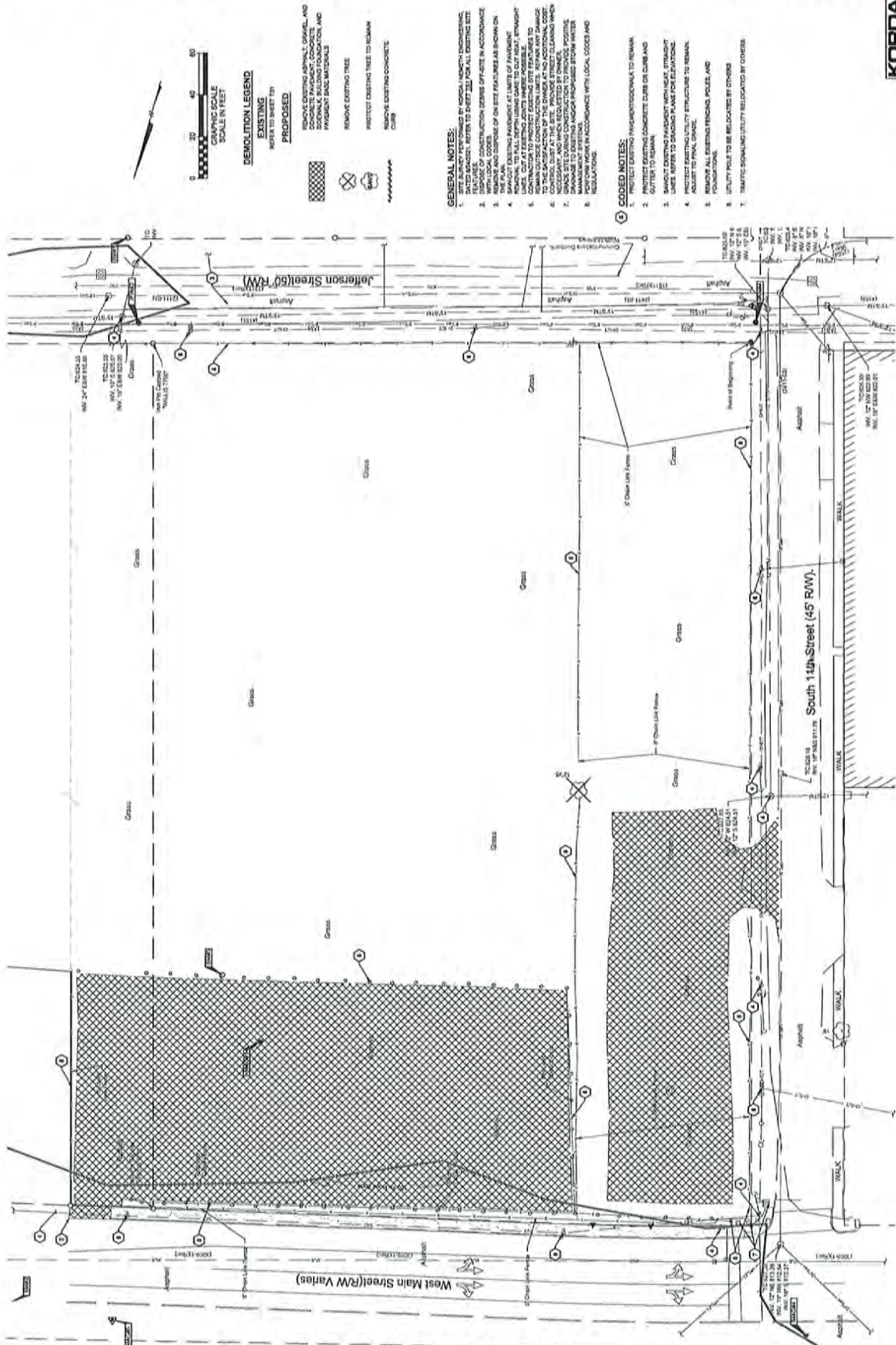
THE WINDSOR COMPANIES
HOPEWELL SQUARE MULTI-FAMILY
MULTIPLE ADDRESSES (SEE PLAN)

Sheet Number: _____

Project Number: _____

Project Name: _____

Project Number: 11.01.2024
Project Number: 24-154
Sheet Number: C0.01



DEMOLITION LEGEND

- EXISTING
REFERS TO SHEET 10
- PROPOSED
- REMOVE EXISTING ASPHALT, GRAVEL, AND CONCRETE PAVEMENT, CONCRETE FOUNDATION, AND EXISTING CURB
 - REMOVE EXISTING TREE
 - PROTECT EXISTING TREE TO REMAIN
 - REMOVE EXISTING CONCRETE CURB

GENERAL NOTES:

1. PROTECT EXISTING UTILITIES TO REMAIN. REFER TO SHEET 10 FOR ALL EXISTING UTILITIES.
2. PROTECT EXISTING CONCRETE CURB OR CURB AND GUTTER TO REMAIN.
3. SWAGOT EXISTING PAVEMENT WITHIN STIPPLED LINES. REFER TO DRIVING PLANS FOR ELEVATION ADJUST TO FINAL GRADE.
4. PROTECT EXISTING UTILITY STRUCTURES TO REMAIN. REFER TO FINAL GRADE.
5. REMOVE ALL EXISTING FENCING, POLES, AND FOUNDATIONS.
6. UTILITIES TO BE RELOCATED BY OTHERS.
7. TRAFFIC SIGNALING UTILITY RELOCATED BY OTHERS.

CODED NOTES:

1. PROTECT EXISTING CONCRETE CURB OR CURB AND GUTTER TO REMAIN.
2. SWAGOT EXISTING PAVEMENT WITHIN STIPPLED LINES. REFER TO DRIVING PLANS FOR ELEVATION ADJUST TO FINAL GRADE.
3. REMOVE ALL EXISTING FENCING, POLES, AND FOUNDATIONS.
4. UTILITIES TO BE RELOCATED BY OTHERS.
5. TRAFFIC SIGNALING UTILITY RELOCATED BY OTHERS.



DEVELOPMENT
ARCHITECTURE
COLLABORATIVE

1515 SHAWNEE RD
COLLINGSWOOD, NJ 07112
PHONE: (856) 271-2984

CONTRACT NO. 24-134
PROJECT NO. 24-134
DATE: 11.01.2024



THE WINDSOR COMPANIES
HOPEWELL SQUARE MULTI-FAMILY
MULTIPLE ADDRESSES (SEE PLAN)

STAKING PLAN
PROJECT INFORMATION

NO.	DESCRIPTION
1	STAKING PLAN
2	FOUNDATION PLAN
3	FLOOR PLAN
4	SECTIONAL ELEVATIONS
5	MECHANICAL PLAN
6	ELECTRICAL PLAN
7	PLUMBING PLAN
8	PAVING PLAN
9	LANDSCAPE ARCHITECTURE
10	CONTRACT ADMINISTRATION
11	CONSTRUCTION ADMINISTRATION
12	OPERATION AND MAINTENANCE MANUAL

PROJECT NUMBER	DATE
24-134	11.01.2024
24-134	11.01.2024
24-134	11.01.2024

NO.	DESCRIPTION
1	STAKING PLAN
2	FOUNDATION PLAN
3	FLOOR PLAN
4	SECTIONAL ELEVATIONS
5	MECHANICAL PLAN
6	ELECTRICAL PLAN
7	PLUMBING PLAN
8	PAVING PLAN
9	LANDSCAPE ARCHITECTURE
10	CONTRACT ADMINISTRATION
11	CONSTRUCTION ADMINISTRATION
12	OPERATION AND MAINTENANCE MANUAL



GRAPHIC SCALE
SCALE IN FEET

STAKING LEGEND

EXISTING
PROPOSED

HEAVY DUTY ASPHALT PER DETAIL A.C. 1.2
LIGHT DUTY ASPHALT PER DETAIL A.C. 1.2
MULL & OVERLAY PER DETAIL A.C. 1.2
CONCRETE PAVEMENT OR SBR/GRIT PER DETAIL A.C. 1.2
PAVEMENT OVERLAY PER DETAIL A.C. 1.2
GRASS PER DETAIL A.C. 1.2

PROPERTY LINE
BOLLARD WALL
CURB
CURB AND GUTTER
PAVEMENT MARKING
WALK
BASEMENT
PAINTED INHELICOPTER SYMBOL
HANDCAPPED PARKING SIGN

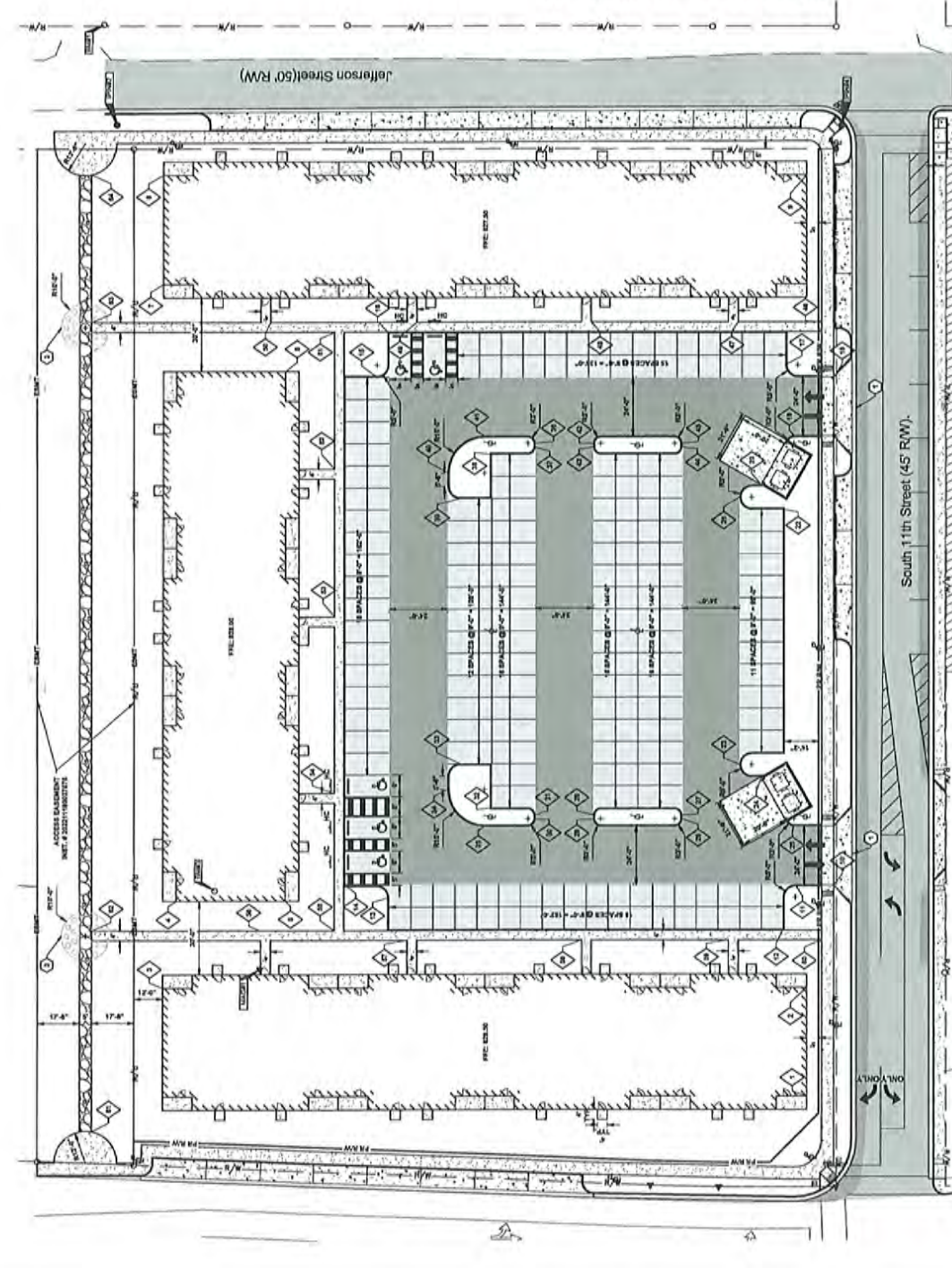


CODED NOTES:

- MANHOLE COVERS PER DETAIL A.C. 1.2
- STORM DRAINS PER DETAIL A.C. 1.2
- INVERTS AND MANHOLE

GENERAL NOTES:

- ALL DIMENSIONS AND COORDINATES ARE GIVEN TO FACE OF CURB AND FACE OF SIDEWALK UNLESS OTHERWISE NOTED.
- CONCRETE AND SIDEWALK SHALL BE 12" UNLESS OTHERWISE NOTED.
- PROVIDE STRENGTH AND FINISH AS SHOWN PER DETAIL FROM A.C. 1.2.
- BRICK TYPICAL LINE WIDTH SHALL BE 4" UNLESS OTHERWISE NOTED.
- LENGTH UNLESS OTHERWISE NOTED.
- ALL UTILITY LOCATIONS SHALL BE SHOWN AND ARE TO BE PROTECTED BY ALL CONSTRUCTION.
- PAVEMENT SHALL BE AS SHOWN PER DETAIL FROM A.C. 1.2.
- STRAIGHT LINES: PROVIDE PAVEMENT BROADENING PER DETAIL FROM A.C. 1.2.
- PAVEMENT SHALL BE AS SHOWN PER DETAIL FROM A.C. 1.2.
- MARKET JOINT: PROVIDE PRE-CAST/CAST-IN-PLACE JOINT FILLER.
- PROTECT ALL UTILITIES AND STRUCTURES FROM DAMAGE BY CONSTRUCTION.
- PROTECT ALL ACCESSIBLE PARKING SIGNS AND MARK.
- ADDRESS MARKING SIGNS PER CITY OF NETWORK. FINAL LOCATION OF SIGNS SHALL BE DETERMINED BY THE CITY OF NETWORK.
- MARKET JOINTS AND VERTICAL CURVES TO ADJUST TO ADJACENT PAVEMENT.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE SURVEY NOT RECORDED.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE SURVEY ONLY. PROVIDE CONTROL POINTS PER DETAIL A.C. 1.2. PROVIDE ELEVATION DATA FOR ALL CONTROL POINTS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE SURVEY ONLY. PROVIDE ELEVATION DATA FOR ALL CONTROL POINTS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE SURVEY ONLY. PROVIDE ELEVATION DATA FOR ALL CONTROL POINTS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE SURVEY ONLY. PROVIDE ELEVATION DATA FOR ALL CONTROL POINTS.



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STAKING	EASING	STAKING	EASING
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STAKING	EASING	STAKING	EASING
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STAKING	EASING	STAKING	EASING
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STAKING	EASING	STAKING	EASING
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STAKING	EASING	STAKING	EASING
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4	748232.27	189774.21	748232.27

STAKING	EASING	STAKING	EASING
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4	748232.27	189774.21	748232.27

STAKING	EASING	STAKING	EASING
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2	748232.27	189774.21	748232.27
3	748232.27	189774.21	748232.27
4	748232.27	189774.21	748232.27



DEVELOPMENT
ARCHITECTURE
COLLABORATIVE

1501 SANDHILLS AV
COLUMBIA, MO 65215
PHONE: (616) 272-8824

CONTRACT NO. 2018-001
PROJECT NO. 2018-001
DATE: 11/15/2018
BY: [Signature]

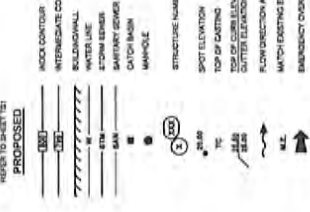


THE WINDSOR COMPANIES
HOPEWELL SQUARE MULTI-FAMILY
MULTIPLE ADDRESSES (SEE PLAN)
GRADING & STORM SEWER PLAN

Project Information

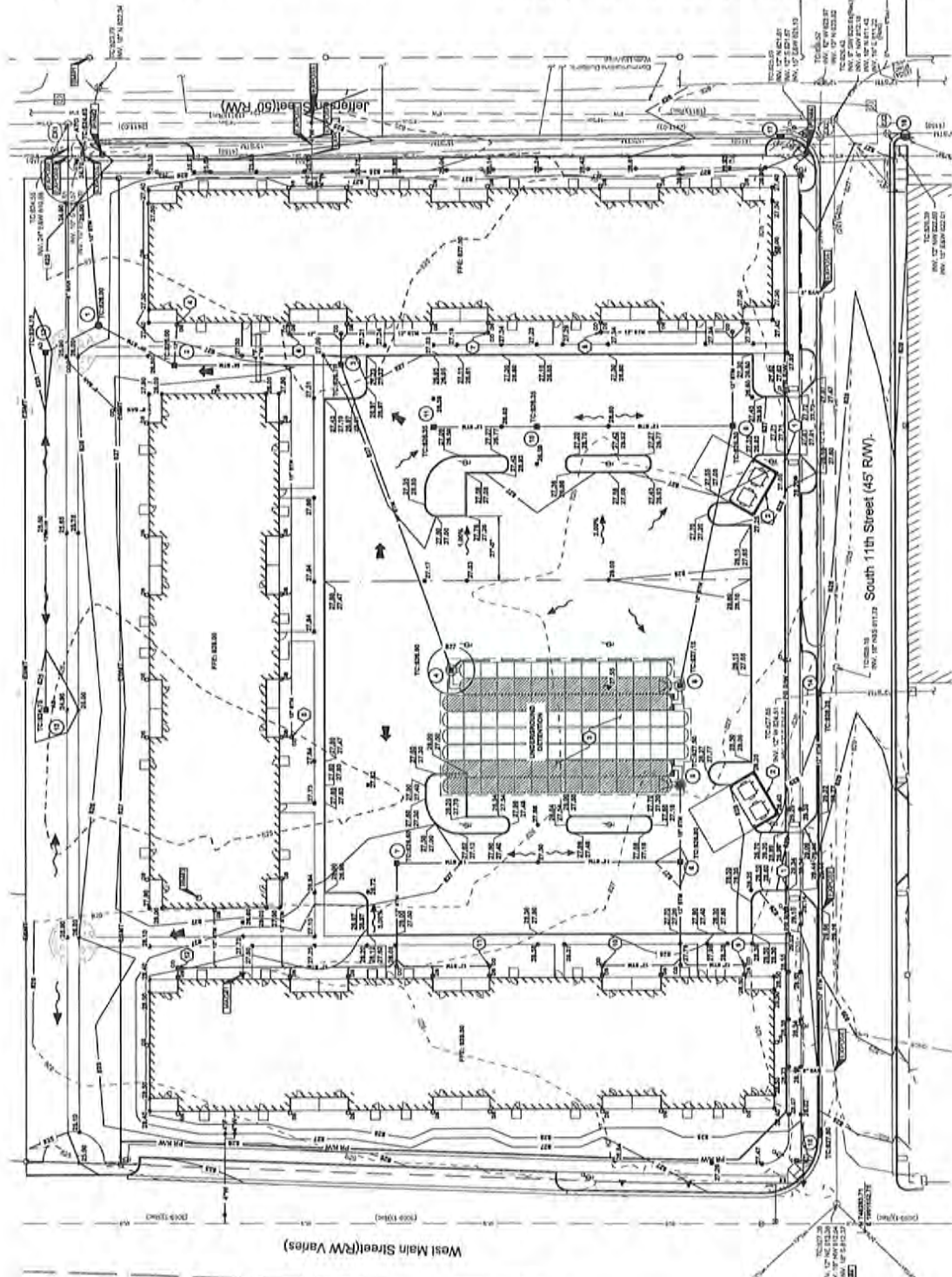
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Project Date:	
Project Location:	
Project Status:	
Project Manager:	
Project Engineer:	
Project Designer:	

project date: 11/15/2018
project number: 24.144
sheet number:
sheet title: C2.01



GENERAL NOTES:

1. PROVIDE CURB IN FOUR DIRECTIONS AT CURB MAKE IN PREVIOUS SHEETS TO MATCH ADJACENT PAVEMENT ELEVATION AT FACE OF CURB AND SIDEWALK ELEVATION AS SHOWN.
2. CONSTRUCTION WORK WILL NOT BE PERMITTED WITHOUT APPROVED ELEVATIONS AND STANDARD CONNECTION DIMENSIONS. IN CASE OF DISCREPANCY, CONTACT THE CITY OF NEWBURGH ENGINEERING DEPARTMENT FOR CLARIFICATION.
3. SOIL EROSION AND STABILIZATION SHALL BE PERMITTED IN ACCORDANCE WITH THE CITY OF NEWBURGH SPECIFICATIONS. CITY OF NEWBURGH SPECIFICATIONS SHALL BE REFERRED TO FOR ANY CONSTRUCTION AND STABILIZATION REQUIREMENTS.
4. SOIL EROSION AND STABILIZATION SHALL BE PERMITTED IN ACCORDANCE WITH THE CITY OF NEWBURGH SPECIFICATIONS. CITY OF NEWBURGH SPECIFICATIONS SHALL BE REFERRED TO FOR ANY CONSTRUCTION AND STABILIZATION REQUIREMENTS.
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EXISTING FILL SOIL REMOVAL NOTES:

1. REMOVE EXISTING FILL SOILS UNDER NEW WALLS AND EXISTING 6" EXTENDING TO EXISTING FOUNDATION. PLACE FILL MATERIAL WITH TESTING AGENCY. TESTING AGENCY SHALL PROVIDE REPORT TO THE ENGINEER. TESTING AGENCY SHALL PROVIDE REPORT TO THE ENGINEER. TESTING AGENCY SHALL PROVIDE REPORT TO THE ENGINEER. TESTING AGENCY SHALL PROVIDE REPORT TO THE ENGINEER.
2. PLACE FILL IN ACCORDANCE WITH SPECIFICATION SECTION 21.01.01 OF PROS FOR FILL PLACEMENT. WITHIN SOIL AND PREPARE SURFACE PER SPECIFICATION SECTION 21.01.01 OF PROS FOR FILL PLACEMENT. WITHIN SOIL AND PREPARE SURFACE PER SPECIFICATION SECTION 21.01.01 OF PROS FOR FILL PLACEMENT. WITHIN SOIL AND PREPARE SURFACE PER SPECIFICATION SECTION 21.01.01 OF PROS FOR FILL PLACEMENT.
3. PLACE FILL IN ACCORDANCE WITH SPECIFICATION SECTION 21.01.01 OF PROS FOR FILL PLACEMENT. WITHIN SOIL AND PREPARE SURFACE PER SPECIFICATION SECTION 21.01.01 OF PROS FOR FILL PLACEMENT. WITHIN SOIL AND PREPARE SURFACE PER SPECIFICATION SECTION 21.01.01 OF PROS FOR FILL PLACEMENT. WITHIN SOIL AND PREPARE SURFACE PER SPECIFICATION SECTION 21.01.01 OF PROS FOR FILL PLACEMENT.
4. ENGINEER FOR PLACEMENT OF SHALLOW SPREAD FOUNDATIONS AND SOIL ON NEW FILL MATERIALS PER THE EXISTING FILL SOIL WILL BE ACCEPTABLE AS FILL MATERIAL. PROVIDE ANY ADDITIONAL SOIL AS REQUIRED FOR FOUNDATION CONSTRUCTION. DISPOSE OF ANY UNDESIRABLE FILL OF SETS IN ACCORDANCE WITH LOCAL CODES.
5. FOR SECOND PURPOSES, REMOVE EXISTING 6" OF EXISTING FILL SOIL BELOW THE EXISTING FOUNDATION AND SPREADS. 6" BELOW THE BUILDING GRADE.

EARTHWORK NOTES:

REFER TO COLLECTIVE ASSESSMENT REPORT, CD PROJECT NO. 21-02020, DATED 08/03/2018 FOR SITE SOIL REMOVAL AND TESTING AGENCY. TESTING AGENCY SHALL PROVIDE REPORT TO THE ENGINEER. TESTING AGENCY SHALL PROVIDE REPORT TO THE ENGINEER. TESTING AGENCY SHALL PROVIDE REPORT TO THE ENGINEER. TESTING AGENCY SHALL PROVIDE REPORT TO THE ENGINEER.

1. CONTRACTOR SHALL TEST AND DOCUMENT EXISTING TOPSOIL. THROUGHOUT THE SITE PRIOR TO CONSTRUCTION, CONTRACTOR SHALL TEST AND DOCUMENT EXISTING TOPSOIL. THROUGHOUT THE SITE PRIOR TO CONSTRUCTION, CONTRACTOR SHALL TEST AND DOCUMENT EXISTING TOPSOIL. THROUGHOUT THE SITE PRIOR TO CONSTRUCTION, CONTRACTOR SHALL TEST AND DOCUMENT EXISTING TOPSOIL.
2. FIT THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT ANY DOWNGRADE OPERATIONS NECESSARY FOR EARTHWORK ACTIVITIES AS SPECIFIED IN SPECIFICATION SECTION 21.01.01.

CODED NOTES:

1. CONCRETE CURB TO FILL CURB BY 4"
2. CONCRETE CURB TO FILL CURB BY 4"
3. CONCRETE CURB TO FILL CURB BY 4"
4. APPROVED SOIL
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100. APPROVED SOIL

11/15/2018
24.144
C2.01



DEVELOPMENT
ARCHITECTURE
COLLABORATIVE

1515 CHAMBERS RD
COLLETTA, OH 43212
PHONE (614) 27-8884

Contract # 2024-10 (Stormwater)
Project # 2024-10 (Stormwater)
Drawings are the property of
Development Architecture Collaborative
and shall remain confidential and
not be used, copied, or otherwise
reproduced without written
consent of Development Architecture
Collaborative.



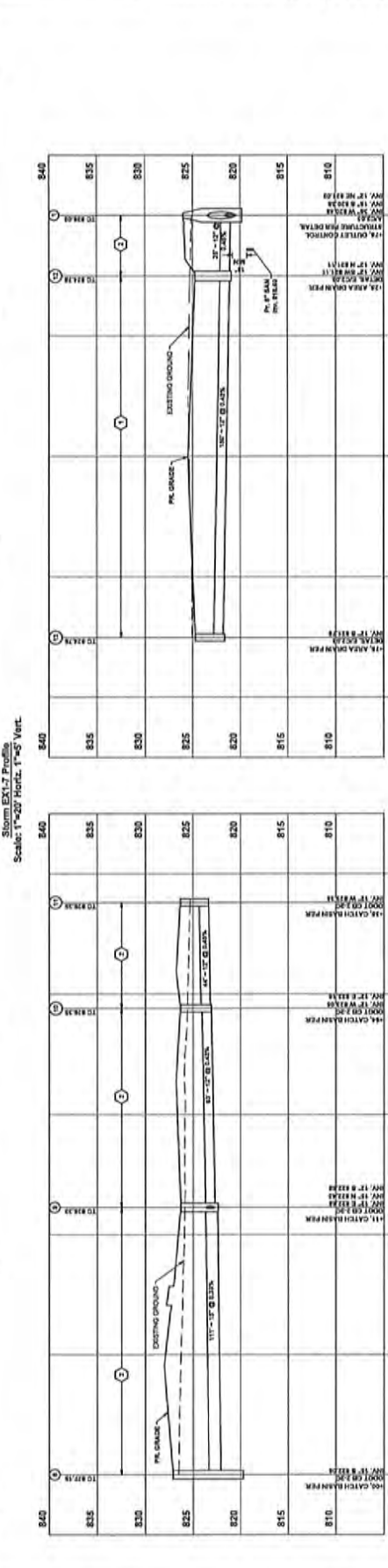
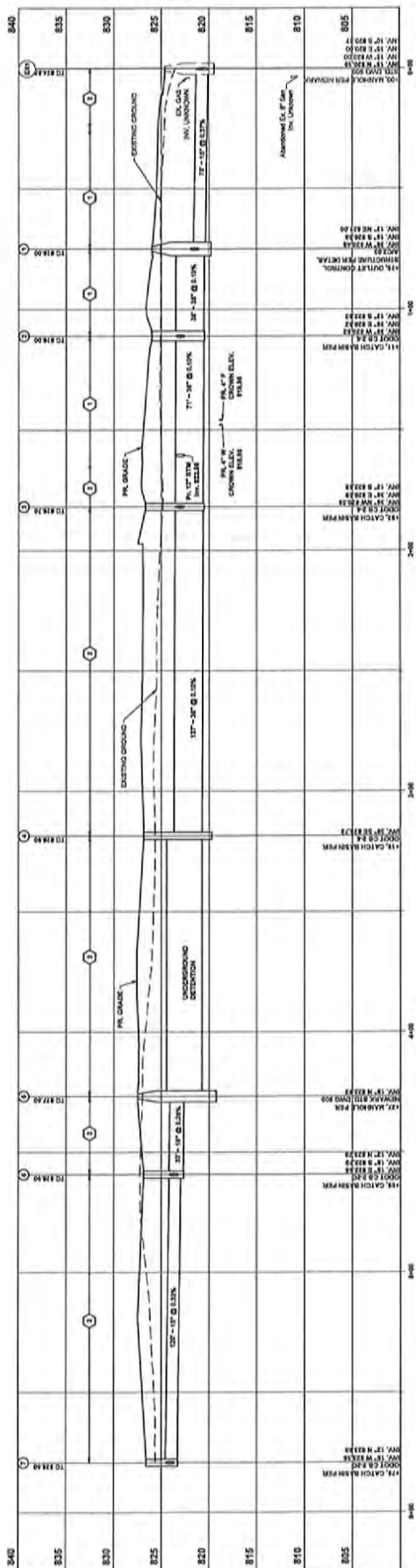
THE WINDSOR COMPANIES
HOPEWELL SQUARE MULTI-FAMILY
MULTIPLE ADDRESSES (SEE PLAN)
STORM SEWER PROFILES

Sheet Name: _____
Project Revision: _____

Project Date: 11.01.2024
Project Number: 24-144
Sheet Number: _____
C2.02



CODED NOTES:
1. EXISTING STORM SEWER PROFILES
2. PROFILES WITH COMPACTED GRANULAR MATERIAL PER CHAC ITEM 42





DEVELOPMENT
ARCHITECTURE
COLLABORATIVE

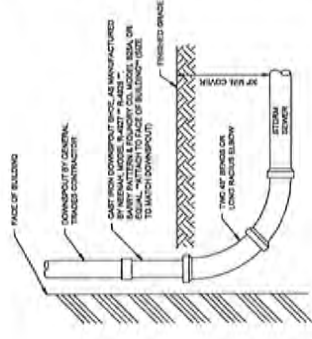
1551 EAST 91st A.E.
COLUMBIA, OH 43212
PHONE: (614) 271-8824

CONSULTING ENGINEER
KORDA ENGINEERING INC.
10010 WOODLAND DRIVE
COLUMBUS, OH 43240
PHONE: (614) 497-3100

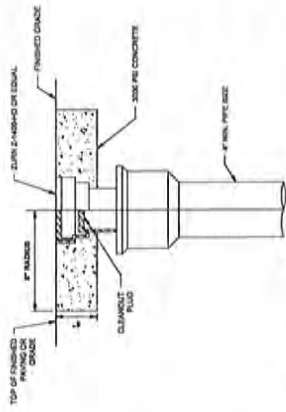


THE WINDSOR COMPANIES
HOPEWELL SQUARE MULTI-FAMILY
MULTIPLE ADDRESSES (SEE PLAN)
STORM SEWER DETAILS
Sheet Number: _____
Project Number: _____

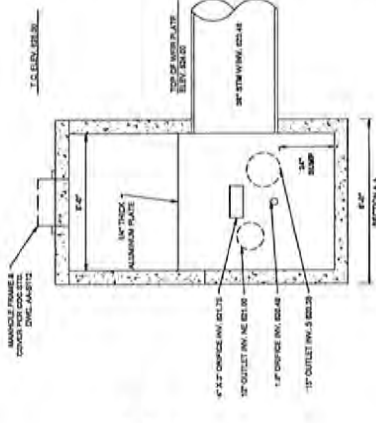
project date: 11.01.2024
project number: 24-144
sheet number: C2.03



C DETAIL
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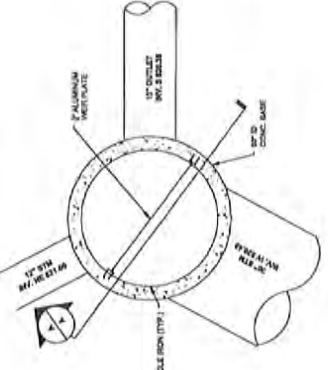


B DETAIL
EXTERIOR CLEANOUT
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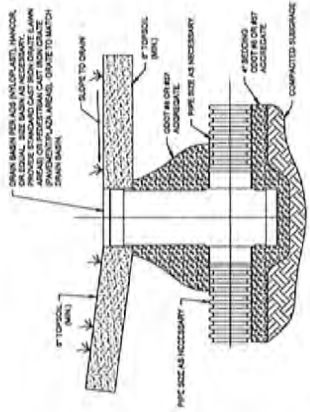


A DETAIL
OUTLET CONTROL STRUCTURE
N.T.S.

- NOTE:
1. MANHOLE FRAME AND COVER SHALL BE 24\"/>

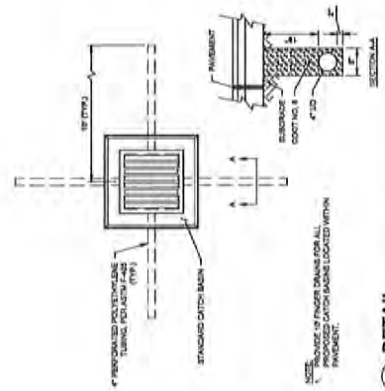


D DETAIL
PAVEMENT UNDERDRAIN
N.T.S.



- NOTE:
1. PIPE AND FITTINGS SHALL BE SMOOTH INTERIOR POLYETHYLENE PIPE LAPPED IN 2\"/>

E DETAIL
DRAIN BASIN
N.T.S.



F DETAIL
CATCH BASIN
N.T.S.



DEVELOPMENT
ARCHITECTURE
COLLABORATIVE

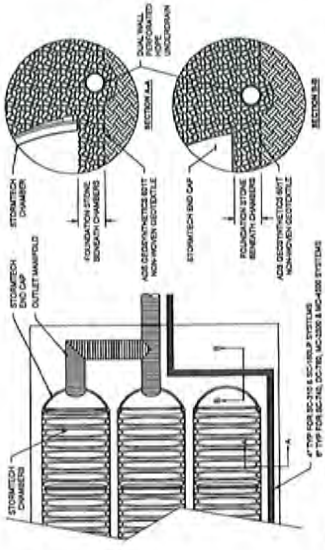
1335 CHAMBERS ST
COLUMBIA, GA 31212
PHONE: (716) 275-8524
WWW.DAC-CO.COM

FOR THE RECORD: THIS PROJECT WAS DESIGNED BY DEVELOPMENT ARCHITECTURE COLLABORATIVE AND ENGINEERED BY KORDA ENGINEERING INC. THE WORK SHALL BE SUBJECT TO THE WORK, CODES OF OTHER AGENCIES AND THE REQUIREMENTS OF THE CONTRACT.

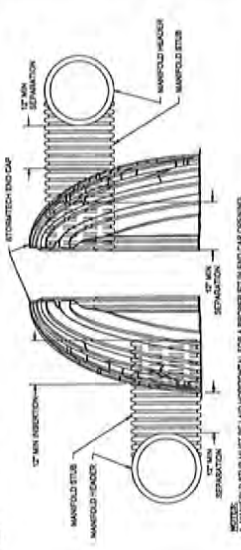


THE WINDSOR COMPANIES
HOPEWELL SQUARE MULTI-FAMILY
MULTIPLE ADDRESSES (SEE PLAN)
ADS DETAILS

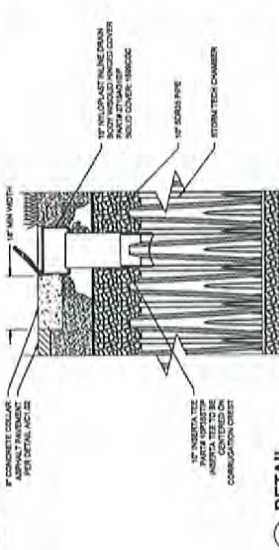
PROJECT NUMBER:
PROJECT DATE: 11.01.2024
PROJECT NUMBER: 24-144
SHEET NUMBER: C2.05



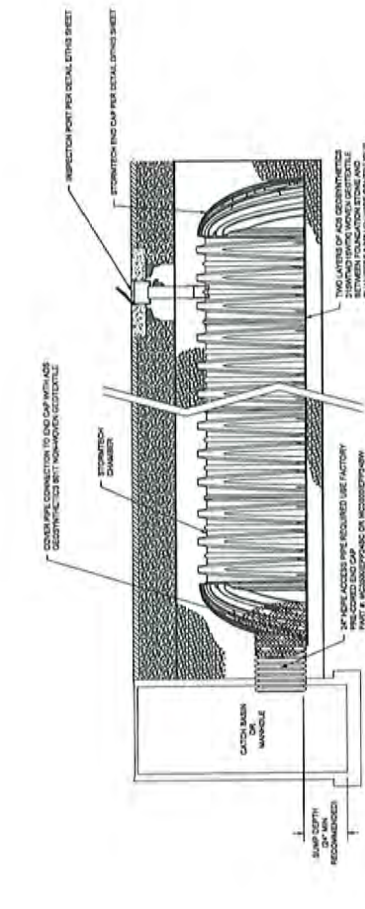
C DETAIL UNDERDRAIN



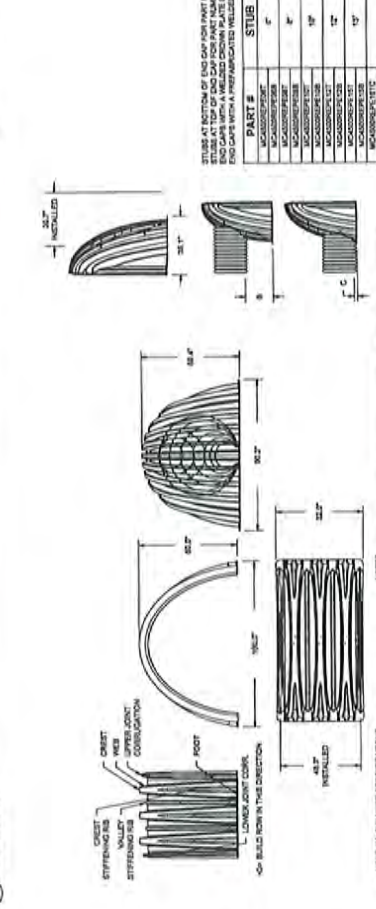
D DETAIL END CAP INSERTION



E DETAIL 10\"/>



A DETAIL ISOLATOR ROW



B DETAIL MC-3500 TECHNICAL SPECIFICATIONS

STUBS AT BOTTOM OF END CAPS FOR PART NUMBERING SHALL BE 1/2\"/>

PART #	STUB	B	C
MC3500/100	1\"/>		

NOTE: ALL DIMENSIONS ARE NOMINAL.

NTS

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MINIMUM CHAMBER SPECIFICATIONS
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1216 CHAMBERS RD
 COLUMBUS, OH 43215
 PHONE: (614) 271-1884

DESIGNED BY: DEVELOPMENT ARCHITECTURE COLLABORATIVE
 DRAWING NO.: 24-144
 DATE: 11/01/2024



UTILITY PLAN
 HOPEWELL SQUARE MULTI-FAMILY
 MULTIPLE ADDRESSES (SEE PLAN)
 THE WINDSOR COMPANIES

PROJECT NUMBER:	24-144
PROJECT NAME:	HOPEWELL SQUARE MULTI-FAMILY
PROJECT ADDRESS:	1216 CHAMBERS RD, COLUMBUS, OH 43215
DATE:	11/01/2024
SCALE:	AS SHOWN
DRAWN BY:	DAVID J. PAPPAS
CHECKED BY:	DAVID J. PAPPAS
DATE:	11/01/2024

PROJECT NO: 11/01/2024
 PROJECT NUMBER: 24-144
 SHEET NUMBER: C3.01



UTILITY LEGEND

REFER TO SHEET:

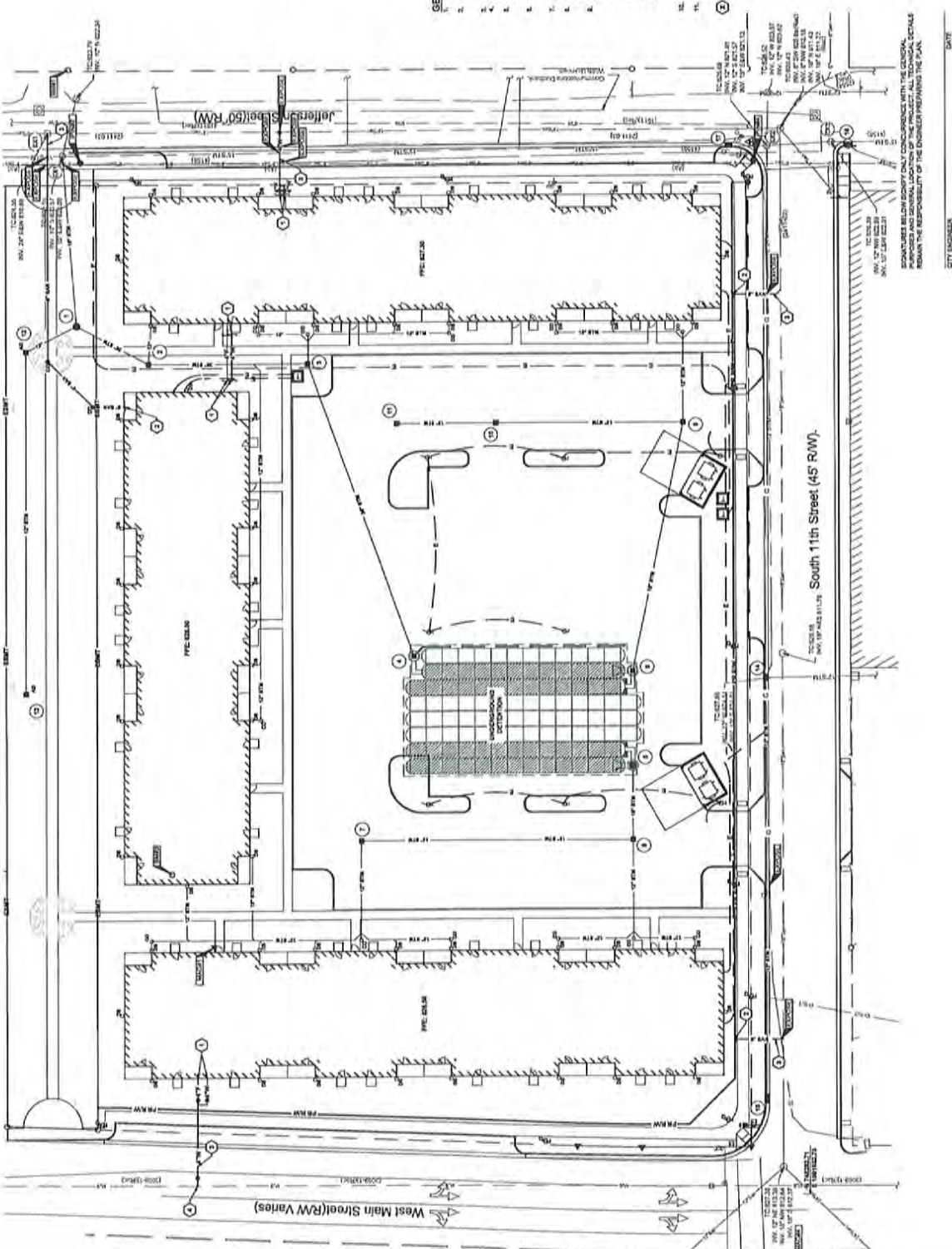
WATER LINE	W
SEWER LINE	S
STORM SEWER	SS
SANITARY SEWER	SSW
GAS	G
CLEAN OUT	CO
POST INDICATING VALVE	P
ELECTRICAL VALVE	E

GENERAL NOTES:

1. DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB OR EXISTING UTILITIES TO CENTER OF FACE OF BUILDING. UTILITIES COORDINATES SHALL BE COORDINATED WITH ALL ADJACENT UTILITIES. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. RETURN TO SHEETS OR CALLS FOR OTHER UTILITY INFORMATION. SHEET CALLS FOR UTILITY INFORMATION SHALL BE REFERRED TO SHEET CALLS FOR UTILITY INFORMATION.
2. ALL UTILITIES SHALL BE INSTALLED TO THE OUTSIDE OF ANY FOUNDATION WALL OR ANY WALLS OR PARTS THEREOF.
3. SANITARY SEWER SHALL BE INSTALLED ON RESTRAINED MECHANICAL JOINT PIPE AT EACH VALVE, THE FITTING, OR CHANGE IN DIRECTION OF PIPE.
4. SOIL JOINTS, FOUNDATION DRAINAGE, AND OTHER CLEAN WATER UTILITIES SHALL BE INSTALLED TO THE OUTSIDE OF ANY FOUNDATION WALL OR ANY WALLS OR PARTS THEREOF.
5. ALL UTILITIES SHALL BE INSTALLED TO THE OUTSIDE OF ANY FOUNDATION WALL OR ANY WALLS OR PARTS THEREOF.
6. WHERE HAND PROPOSED FOR A PROPOSED UTILITY TO BE UNDERGROUND UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING UTILITY. THE CONTRACTOR SHALL LOCATE THE EXISTING UTILITY BY EXCAVATION TO THE UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES EXPOSED DURING CONSTRUCTION.
7. ALL UTILITIES SHALL BE INSTALLED TO THE OUTSIDE OF ANY FOUNDATION WALL OR ANY WALLS OR PARTS THEREOF.
8. ALL UTILITIES SHALL BE INSTALLED TO THE OUTSIDE OF ANY FOUNDATION WALL OR ANY WALLS OR PARTS THEREOF.
9. ALL UTILITIES SHALL BE INSTALLED TO THE OUTSIDE OF ANY FOUNDATION WALL OR ANY WALLS OR PARTS THEREOF.
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11. ALL UTILITIES SHALL BE INSTALLED TO THE OUTSIDE OF ANY FOUNDATION WALL OR ANY WALLS OR PARTS THEREOF.

CODED NOTES:

1. ALL UTILITIES SHALL BE INSTALLED TO THE OUTSIDE OF ANY FOUNDATION WALL OR ANY WALLS OR PARTS THEREOF.
2. SANITARY SEWER SHALL BE INSTALLED ON RESTRAINED MECHANICAL JOINT PIPE AT EACH VALVE, THE FITTING, OR CHANGE IN DIRECTION OF PIPE.
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4. ALL UTILITIES SHALL BE INSTALLED TO THE OUTSIDE OF ANY FOUNDATION WALL OR ANY WALLS OR PARTS THEREOF.



CITY ENGINEER: _____ DATE: _____
 CITY SERVICE DIRECTOR: _____ DATE: _____
 CITY ENGINEER/UTILITY: _____ DATE: _____
 CITY WATER/SEWER/STORMWATER: _____ DATE: _____

CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. RETURN TO SHEETS OR CALLS FOR OTHER UTILITY INFORMATION. SHEET CALLS FOR UTILITY INFORMATION SHALL BE REFERRED TO SHEET CALLS FOR UTILITY INFORMATION.

- CODED NOTES:**
- 1. UNIFORMED SHADINGS
 - 2. UNIFORMED SHADINGS
 - 3. UNIFORMED SHADINGS



**DEVELOPMENT
ARCHITECTURE
COLLABORATIVE**

1155 CHAMBERS RD
COLUMBUS, OH 43212
PHONE: (614) 275-8244
WWW.DAC-CO.COM

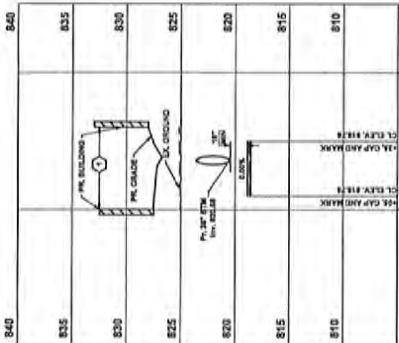


THE WINDSOR COMPANIES
HOPEWELL SQUARE MULTI-FAMILY
MULTIPLE ADDRESSES (SEE PLAN)
UTILITY PROFILES

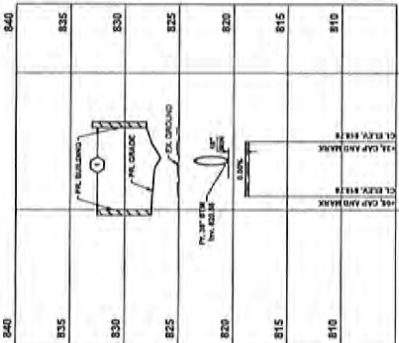
Project Name: _____
Project Number: _____

KORDA
KORDA NATHAN ENGINEERS
1000 N. HIGHWAY 100
SUITE 200
COLUMBUS, OHIO 43241

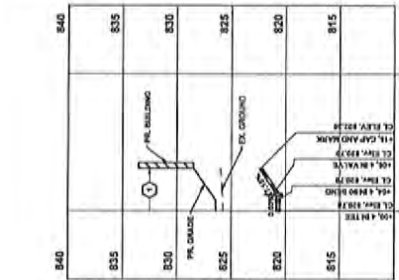
Project Date: 11.01.2024
Project Number: 24-144
Sheet Number: _____
C3.03



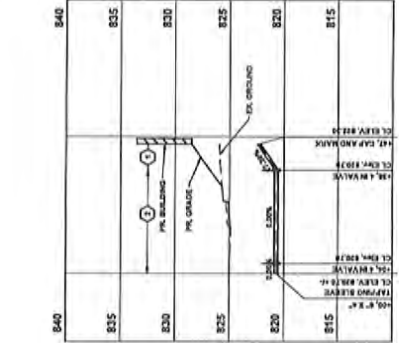
WATER-BUILDING Z TO Y 4 IN Profile
Scale: 1"=20' Horiz. 1"=5' Vert.



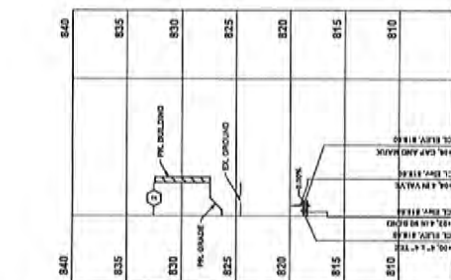
WATER-BUILDING Z TO Y 4 IN FIRE Profile
Scale: 1"=20' Horiz. 1"=5' Vert.



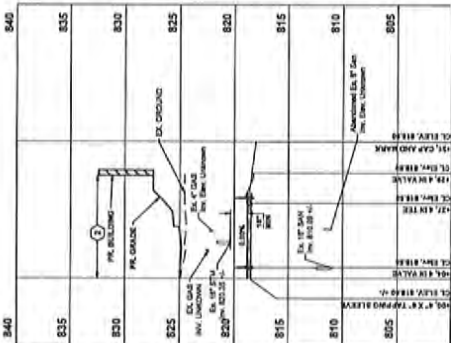
WATER-W MAIN 4 IN Profile
Scale: 1"=20' Horiz. 1"=5' Vert.



WATER-W MAIN 4 IN FIRE Profile
Scale: 1"=20' Horiz. 1"=5' Vert.



WATER-JEFFERSON 4 IN Profile
Scale: 1"=20' Horiz. 1"=5' Vert.



WATER-JEFFERSON 4 IN FIRE Profile
Scale: 1"=20' Horiz. 1"=5' Vert.



**CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT**

DECEMBER 10, 2024 PLANNING COMMISSION MEETING

Application:

1. *PC FILE 24-57: SITE PLAN FOR NEW MANUFACTURING FACILITY FOR PACKAGING CORPORATION OF AMERICA (PCA), 595 THORNWOOD DRIVE*

Staff Report & Recommendations:

Overview:

The applicant intends to build new 556,304 SF manufacturing facility on this site. This plan is an update from the previously approved plan from April 2020.

The Site Plan Review Committee submitted comments on 12/3/2024 regarding this application. Reviewers included:

Mark Mauter, Development Director	Adam Bernard, Utilities Engineer
Brandon Metzger, Fire Chief	Lindsey Brighton, Stormwater Utility
Aaron Holman, NFD	Nick Shultz, Street and Traffic Engineer
Erik McKee, Police Chief	Don Hiltner, Senior Engineer
Craig Riley, Deputy Police Chief	Brian Morehead, City Engineer
Brandon Fox, Water Administrator	George Carter, Zoning Inspector

A. Zoning District:

This site is zoned General Industrial District (GI); the proposed use is a permitted use.

Flood Zones: This structure is not located in the 100-year Floodplain Area.

B. Safety Division Review:

The Police Division has no issues with the proposed structure.

Fire Dept has some comments regarding turning radius needed for fire trucks, and pavement striping and fire hydrants needed, and these details will be addressed on the detailed construction plans.

C. Height Restrictions:

There are some height restrictions in this district, however no building elevations nor other dimensions have been submitted. These details will need further review.

D. Lot Area & Setbacks:

Parcel is approximately 3,423,380 S.F. +/- (78.59 acres), with 17% building coverage, which meets the lot area requirements. The proposed structure meets the setback requirements.

E. Off-Street Parking & Loading:

A BZA variance was granted (BZA-19-005) that reduces the requirement down to 320 parking spaces for the new development on this site, and 361 new spaces are specifically proposed.

F. Corner Lots:

There are no structures proposed in the corner lot areas.

G. Landscaping, Buffering & Greenspace:

The landscaping requirement consists of 144,876 +/- SF of green space (Lawn) and greater than 36,219 SF of the green space area shall be ground cover (planting



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

areas) as required by the Zoning Code. In addition, 111 trees are required on the site. None of these details are shown on this plan. A landscaping plan is required to show these items meet the Zoning Code.

- H. Public & Private Roadways – Access Management:
The revised plan shows 2 driveways, with turn lanes on Thornwood Drive, and the remaining details will be addressed on the construction plans.
The City is currently in design on roadway improvements to Thornwood Drive including additional right-of-way, turn lanes, a roundabout at Faye Drive, and other improvements in order to preserve the Thornwood corridor for future traffic connectivity between SR16 and SR79 to the south. With no other details at this point, we have no concerns with traffic management at this site, and we will be working through these issues before approving any construction plans.
- I. Site Signage:
No additional signage has been submitted with the proposal. Signage will need to be approved as a separate Zoning approval.
- J. Traffic Control / Street / Right-of-Way Issues:
This plan shows an assumed amount of additional right-of-way on Thornwood Drive for the roadway and utility improvements; we will be working through these details as the roadway construction plans progress. PCA has been cooperative during the discussion of dedicating additional right-of-way for this project.
- K. Engineering / Utilities:
Engineering and Water staff will be reviewing the detailed water, sanitary and stormwater management plans; these have been submitted for review as part of this package. Engineering will follow up for compliance prior to construction.
- L. Other Standards/Regulations
As with several other large developments in the past, we recommend the City negotiate development agreements with PCA to outline all of the infrastructure issues that this site will require.

Recommendations:

Staff recommends conditional approval of the Site Plan in order to grant Zoning approval of the site, provided the following issues are addressed:

1. Fire Department comments are addressed on the construction plans.
2. Building elevation drawings to consider for zoning compliance.
3. Landscaping Plan for zoning compliance.
4. Review and development of plan to address traffic impacts and roadway improvements that will be required for this development, coordinated with City project.
5. Construction plan approval for sanitary, water and stormwater designs.

As with some other large developments, we would be willing to consider incremental approval of these items, in order to move the project forward, as some of these items may take a longer time to work through. When approved by Planning Commission, the zoning certificate will be granted after the above conditions are resolved / met to the satisfaction of Zoning and Engineering Departments.



**CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT**

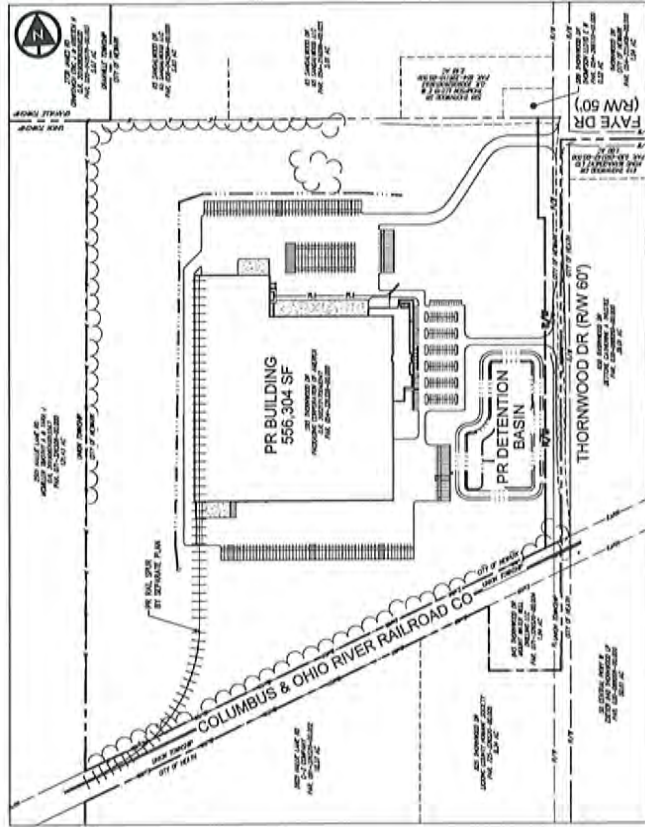
Planning Commission Action on Recommendation:

- Approved As Submitted
- Approved As Noted, With Contingencies
- Denied

Planning Director

Date

CONSTRUCTION PLANS FOR: PCA-THORNWOOD CITY OF NEWARK, LICKING COUNTY, OHIO



INDEX MAP
SCALE 1" = 200'

DRAWING SCALE
1" = 200'

DEVELOPER
PCA-THORNWOOD GROUP
100 WEST MAIN STREET
NEWARK, OH 43055-3929
P: 614-333-3300

OWNER
PACKAGING CORP OF AMERICA (PCA)
1 N. FIELD ST., 11TH FLOOR
CINCINNATI, OH 45202
P: 513-381-3800

PLANS PREPARED BY:



JAMES T. WATSON, P.E. 01333 DATE

THE STANDARD DRAWINGS LISTED ON THESE PLANS SHALL BE CONSIDERED A PART THEREOF

OHIO DEPARTMENT OF TRANSPORTATION
STANDARD CONSTRUCTION DRAWINGS

CITY OF NEWARK STANDARD CONSTRUCTION DRAWINGS	
SD-1	SEWERAGE
SD-2	STORMWATER
SD-3	WATER
SD-4	WATER
SD-5	WATER
SD-6	WATER
SD-7	WATER
SD-8	WATER
SD-9	WATER
SD-10	WATER



MAP
SCALE 1" = 200'



INDEX OF SHEETS

NO.	REVISION	DATE	DESCRIPTION
01-08			EXISTING CONDITIONS
01-09			GENERAL NOTES
01-10			PROPOSED CONSTRUCTION
01-11			PROPOSED CONSTRUCTION CONTROL PLAN
01-12			PROPOSED CONSTRUCTION CONTROL PLAN
01-13			PROPOSED CONSTRUCTION CONTROL PLAN
01-14			PROPOSED CONSTRUCTION CONTROL PLAN
01-15			PROPOSED CONSTRUCTION CONTROL PLAN
01-16			PROPOSED CONSTRUCTION CONTROL PLAN
01-17			PROPOSED CONSTRUCTION CONTROL PLAN
01-18			PROPOSED CONSTRUCTION CONTROL PLAN
01-19			PROPOSED CONSTRUCTION CONTROL PLAN
01-20			PROPOSED CONSTRUCTION CONTROL PLAN
01-21			PROPOSED CONSTRUCTION CONTROL PLAN
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01-48			PROPOSED CONSTRUCTION CONTROL PLAN
01-49			PROPOSED CONSTRUCTION CONTROL PLAN
01-50			PROPOSED CONSTRUCTION CONTROL PLAN

CITY OF NEWARK - LICKING COUNTY - OHIO
PCA-THORNWOOD
TITLE SHEET

APPROVALS	DATE
MAYOR, CITY OF NEWARK	
VILLAGE DIRECTOR, CITY OF NEWARK	
STREET SUPERINTENDENT, CITY OF NEWARK	
CHIEF, DIVISION OF BUILDING & ZONING, CITY OF NEWARK	
STORM WATER UTILITY, CITY OF NEWARK	
CITY OF NEWARK ENGINEER	

APPLICATION NO.
11012024
DATE
11/01/2024
SCALE
1" = 100'
SHEET
C0.00



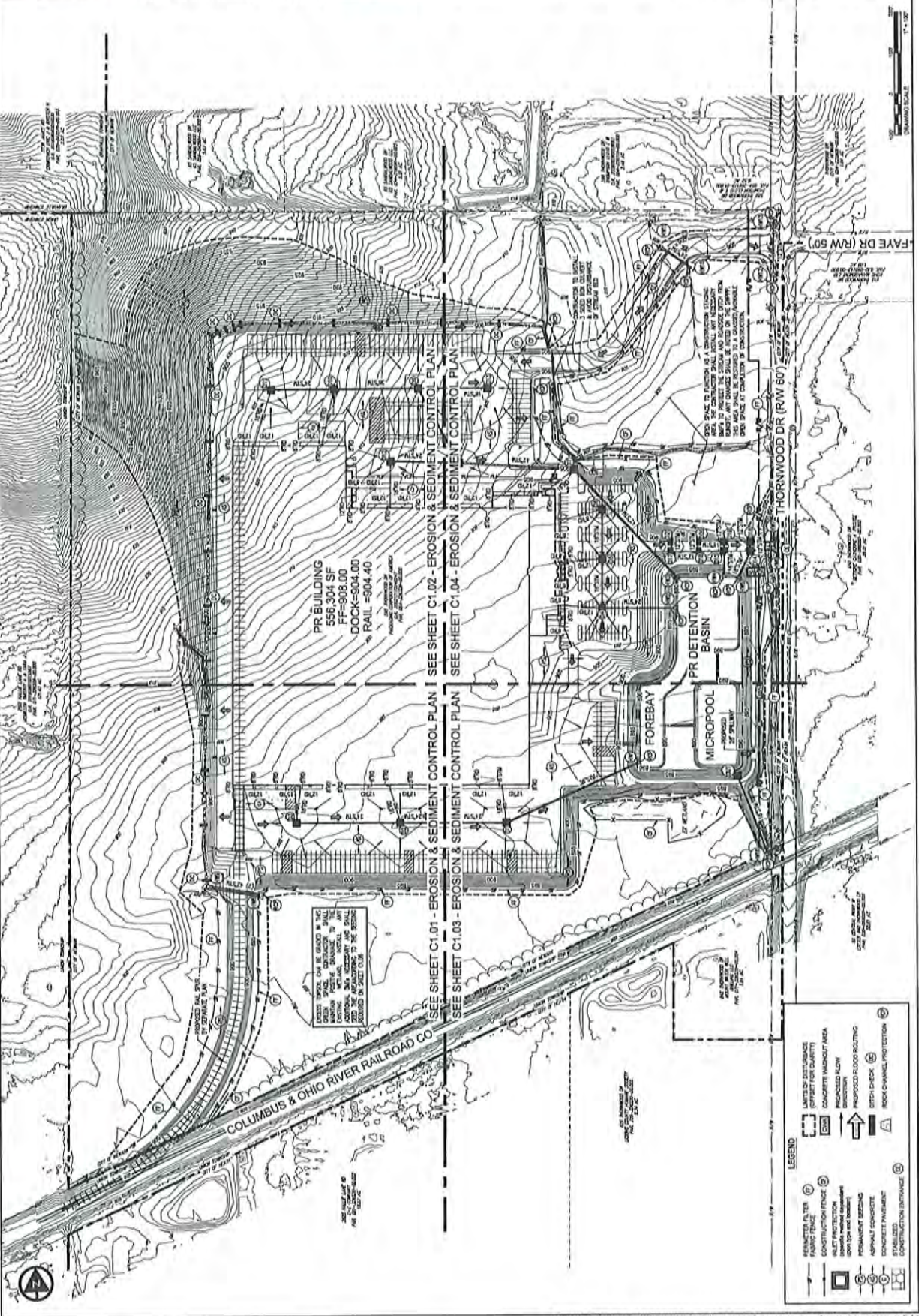
JAMES T. WATSON, P.E.
P.L. 01333

NO. 10
REVISION
DATE
DESCRIPTION

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT NO.
423
CHECKED BY
1/18
DATE
1/18
DRAWN BY
JMW
DATE
05/20/2024

100 WEST MAIN STREET
NEWARK, OH 43055-3929
TEL: 614-333-3300
Verdantas



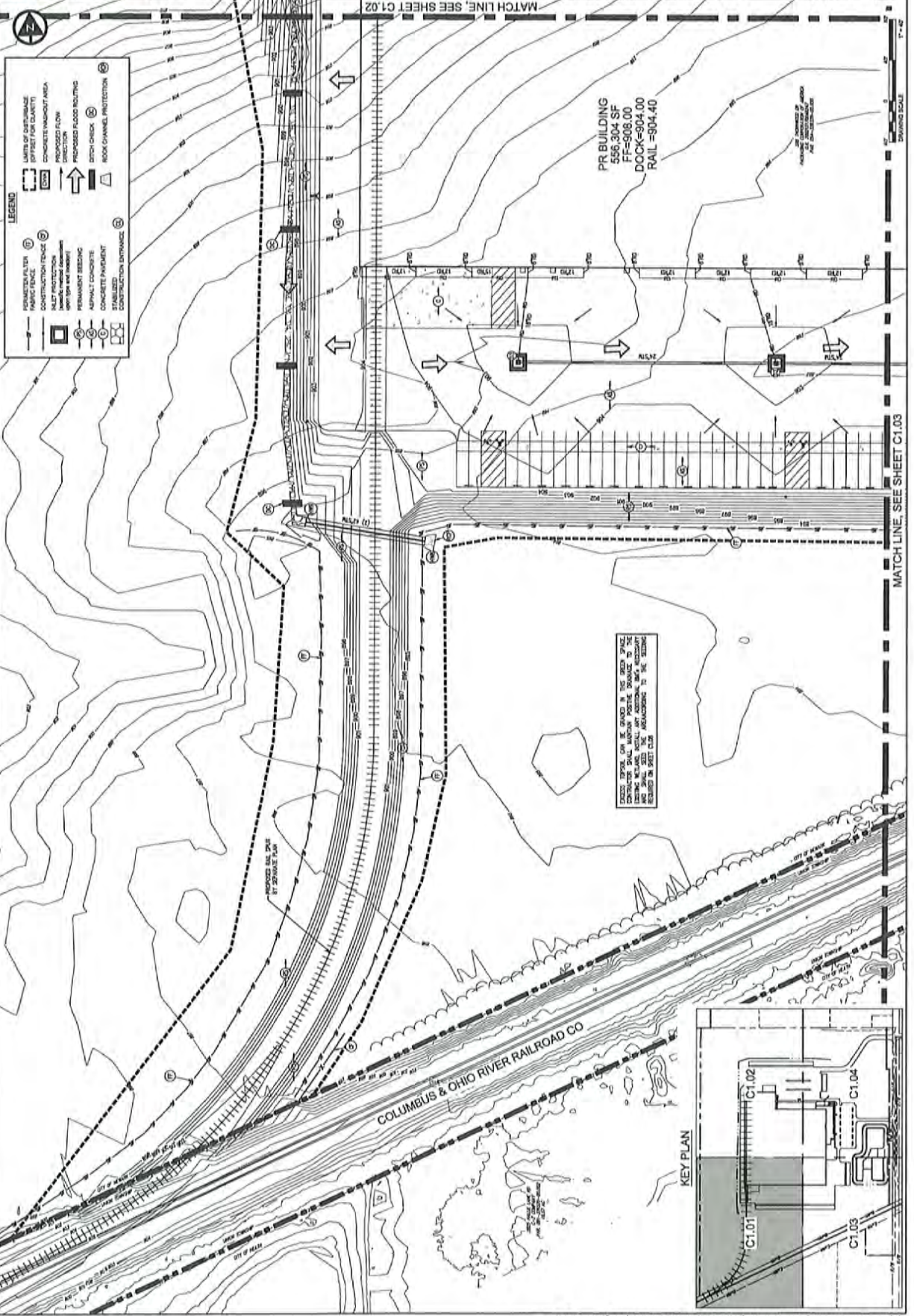
VERDANTAS
 1545 WEST MAIN STREET
 NEWARK, OH 43092-3927
 TEL: 740.344.8431

PROJECT NO. 11/01/0204
 DATE 11/01/0204
 SCALE 1" = 100'
 SHEET C1.00

PRELIMINARY
 NOT FOR CONSTRUCTION

VERDANTAS
 1545 WEST MAIN STREET
 NEWARK, OH 43092-3927
 TEL: 740.344.8431

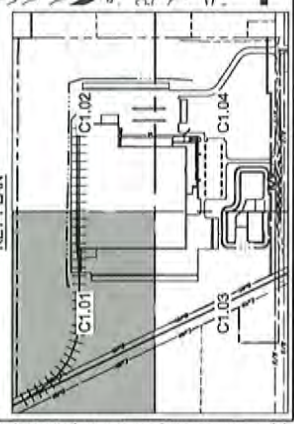
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 PERIMETER FILTER (A)
 FABRIC FENCE (B)
 CONSTRUCTION FENCE (C)
 SILENT PROTECTION (D)
 PERMANENT SEDIMENTATION (E)
 ASPHALT PAVEMENT (F)
 CONCRETE PAVEMENT (G)
 STABILIZED (H)
 CONSTRUCTION DISTANCE (I)
 LIMITS OF DISTURBANCE (J)
 OFFSET FOR CLARITY (K)
 CONCRETE WADGOUT AREA (L)
 PROPOSED SLOPE (M)
 PROPOSED FLOOD ROUTING (N)
 STORM CHECK (O)
 SIDE CHANNEL PROTECTION (P)



LEGEND

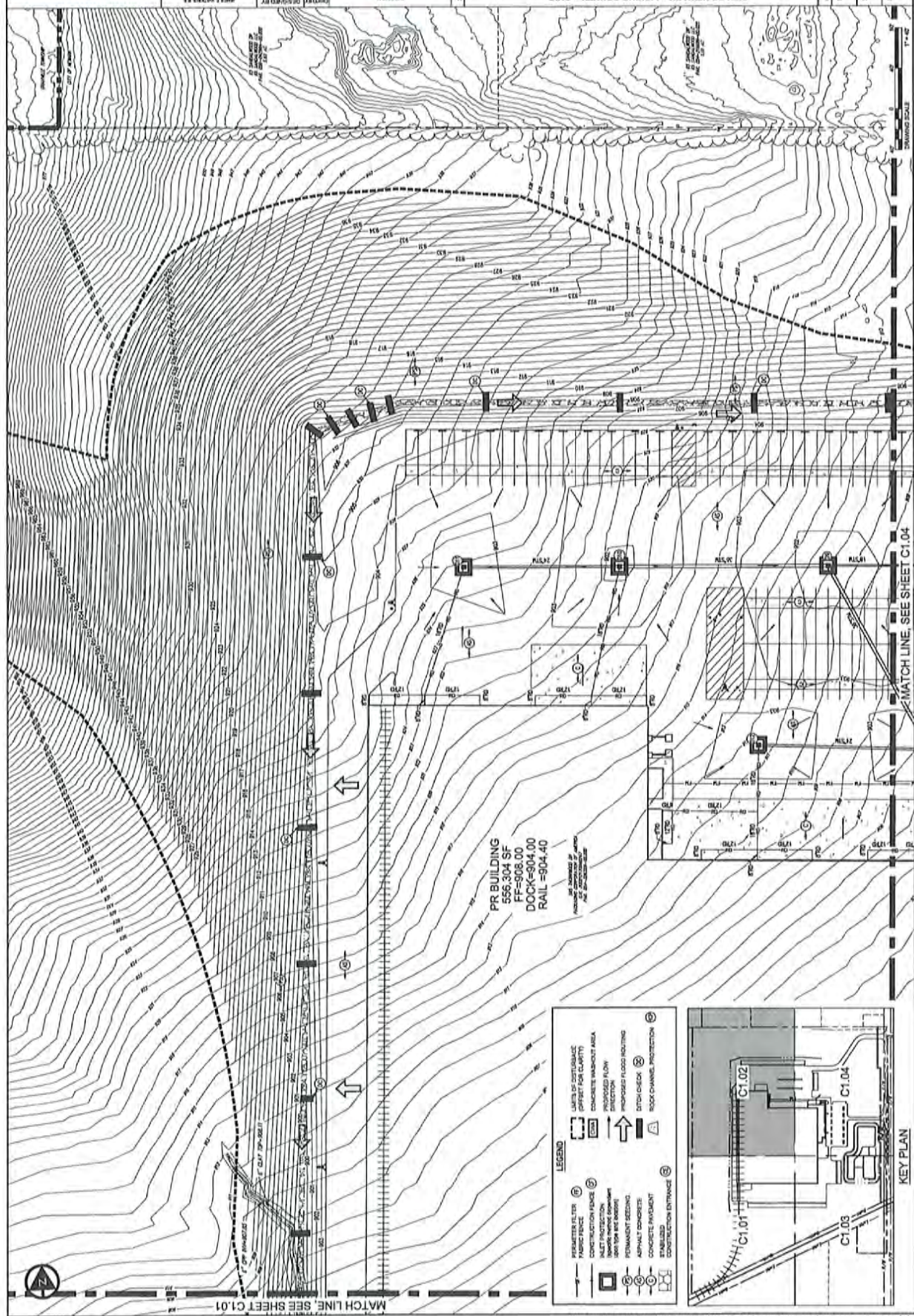
- PERMANENT FENCE
- CONSTRUCTION FENCE
- SILT PROTECTION
- PERMANENT SEDIMENT BARRIERS
- APPLY TO CONCRETE
- CONCRETE PAVEMENT
- FINALIZED CONSTRUCTION DISTURBANCE
- LIMITS OF DISTURBANCE (DIFFERENT FOR QUANTITY)
- CONCRETE FINISHOUT AREA
- PROPOSED FLOW DIRECTION
- PROPOSED FLOOD ROUTING
- DEITCH CHECK
- ROCK CHANNEL PROTECTION

EXCESS STORM WATER CAN BE DAINED IN THIS AREA SINCE CONTAINING SHALL MAINTAIN POSITIVE DRAINAGE TO THE STREET. THE EXCESS STORM WATER SHALL BE COLLECTED BY THE STREET AND DISCHARGED TO THE STREET CURB.



**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

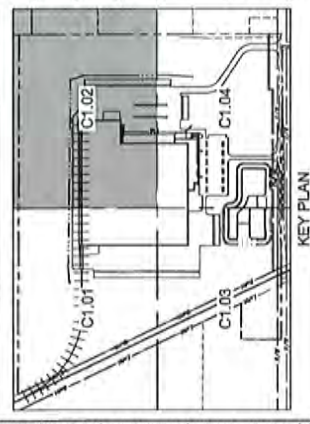
EROSION & SEDIMENT CONTROL PLAN
PCA-THORWOOD
 CITY OF NEWARK - LIKING COUNTY - OHIO



PR BUILDING
 556,304 SF
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 DOCK=904.00
 RAIL=904.40

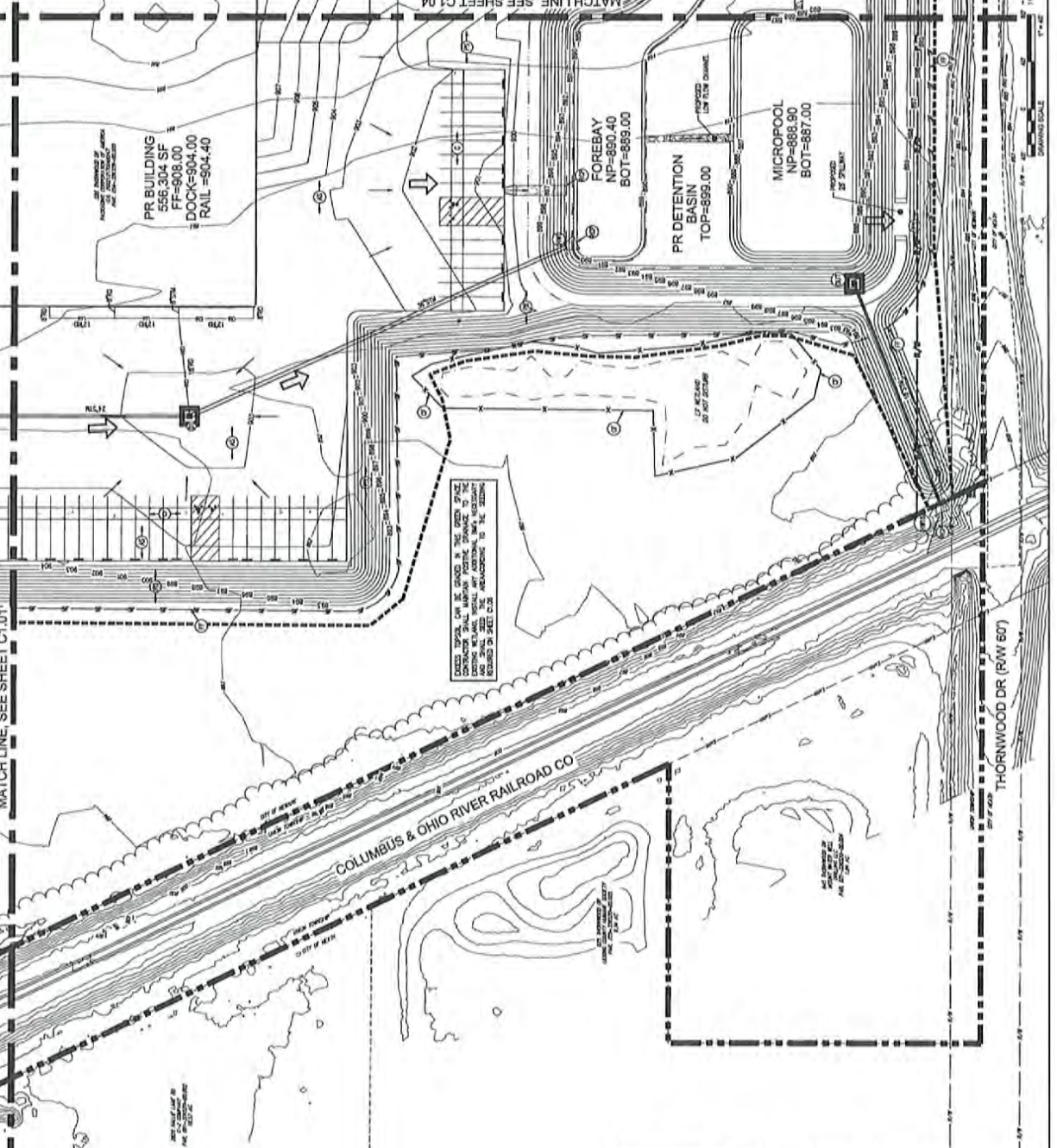
LEGEND

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- SILT PROTECTION
- PERMANENT SEEDING
- ASPHALT CONCRETE
- CONCRETE PAVEMENT
- STABILIZED CONSTRUCTION ENTRANCE
- SEDIMENT BASIN
- CONCRETE WALKOUT AREA
- PROPOSED FLOW DIRECTION
- PROPOSED FLOOD HOLDING
- SPOT CHECK
- ROCK CHANNEL PROTECTION
- CONSTRUCTION ENTRANCE



KEY PLAN

Project: PCA-Thorwood (11/01/2024) - 11/01/2024 11:01:24 AM

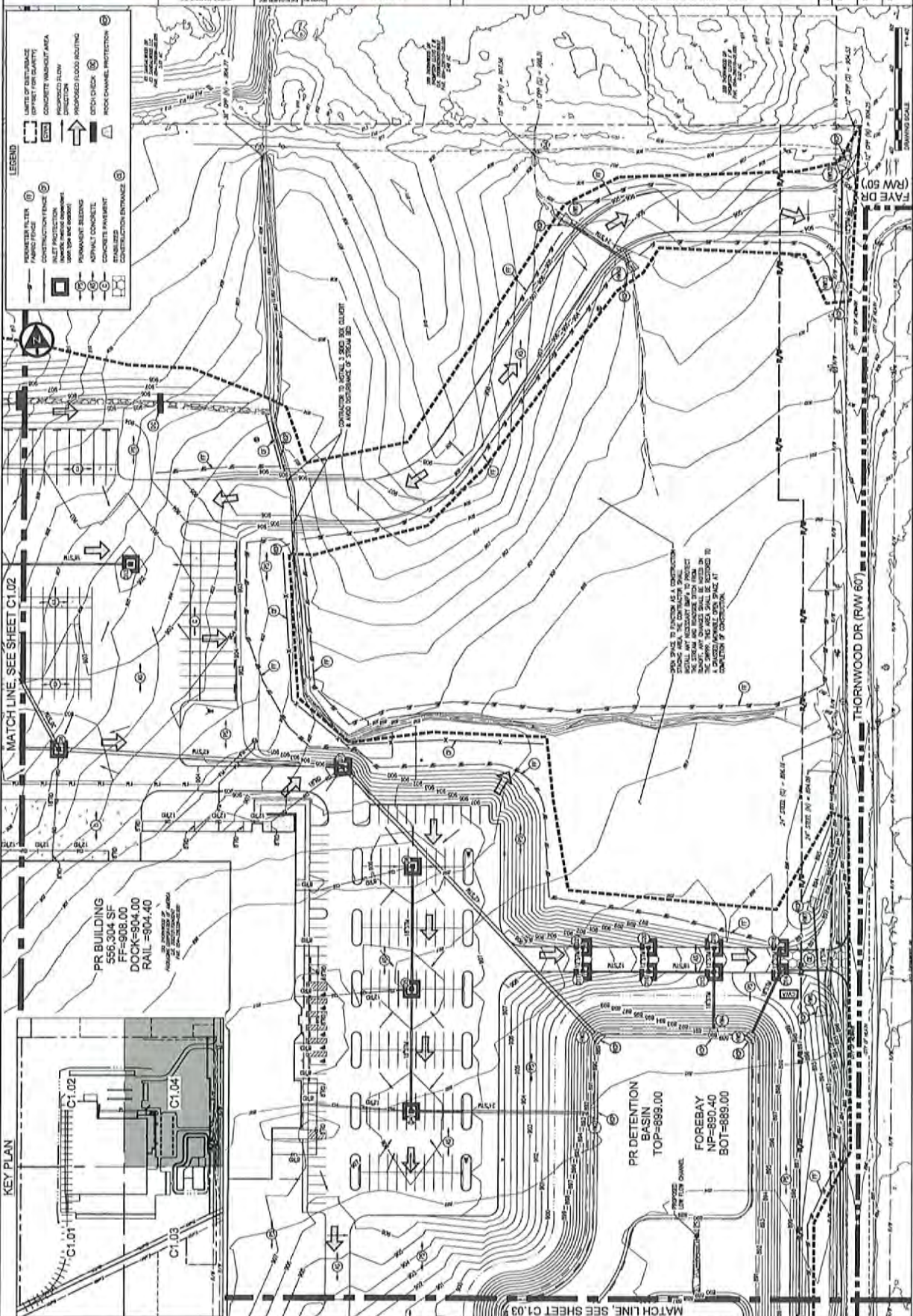


LEGEND

- PERMANENT FENCE (1)
- CONSTRUCTION FENCE (2)
- MAINT PROTECTION (3)
- PERMANENT SEEDING (4)
- ASPHALT CONCRETE (5)
- CONCRETE PAVEMENT (6)
- STABILIZED CONSTRUCTION ENTRANCE (7)
- PERMANENT FILTER FABRIC FENCE (8)
- CONCRETE WINDOW AREA (9)
- PROPOSED FLOW DIRECTION (10)
- PROPOSED FLOOD ROUTING (11)
- DITCH CHECK (12)
- ROCK CHANNEL PROTECTION (13)

KEY PLAN

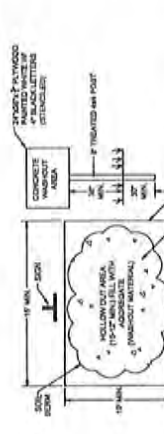
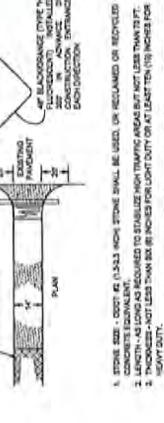
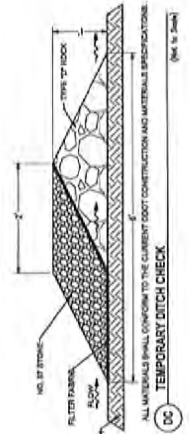
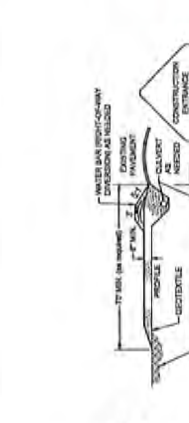
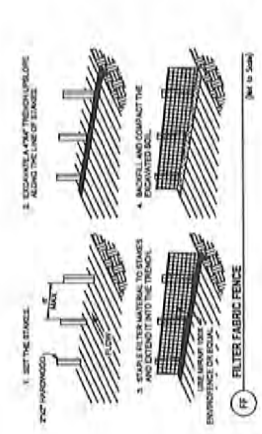
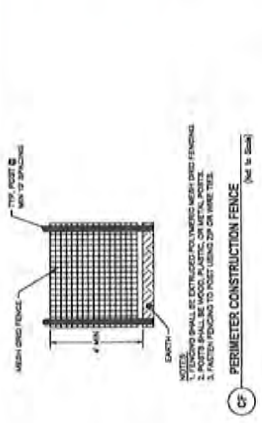
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PROJECT NO.	1419
DESIGNED BY	VERDANTAS
CHECKED BY	VERDANTAS
DATE	08/11/2024
REVISION	
NO.	

EROSION & SEDIMENT CONTROL DETAILS
PCA-THORNWOOD
CITY OF NEWARK - LICKING COUNTY - OHIO

APPLICATION NO.	
DATE	11/01/2024
SCALE	
SHEET	C1.05



1. STONE SIZE - COURSE 1 (3-5.3) HIGH STONE SHALL BE USED, OR RECLAIMED OR RECYCLED CONCRETE IS EQUIVALENT.
2. COURSE 2 SHALL BE REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 2 FT.
3. THICKNESS - NOT LESS THAN 8 INCHES FOR LIGHT DUTY OR AT LEAST 12 INCHES FOR HEAVY DUTY.
4. TYPICAL CURB HEIGHT SHALL BE 4 INCHES, BUT NOT LESS THAN THE FULL WIDTH OF PAVED SURFACE.
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- 11. APPROXIMATE 1\"/>



SOIL AND EROSION CONTROL GENERAL NOTES:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
THE CONTRACTOR SHALL FILE A COMPLIANCE FORM WITH THE LOCAL, STATE AND FEDERAL AGENCIES PRIOR TO THE START OF CONSTRUCTION.
THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND STRUCTURES AT ALL TIMES.
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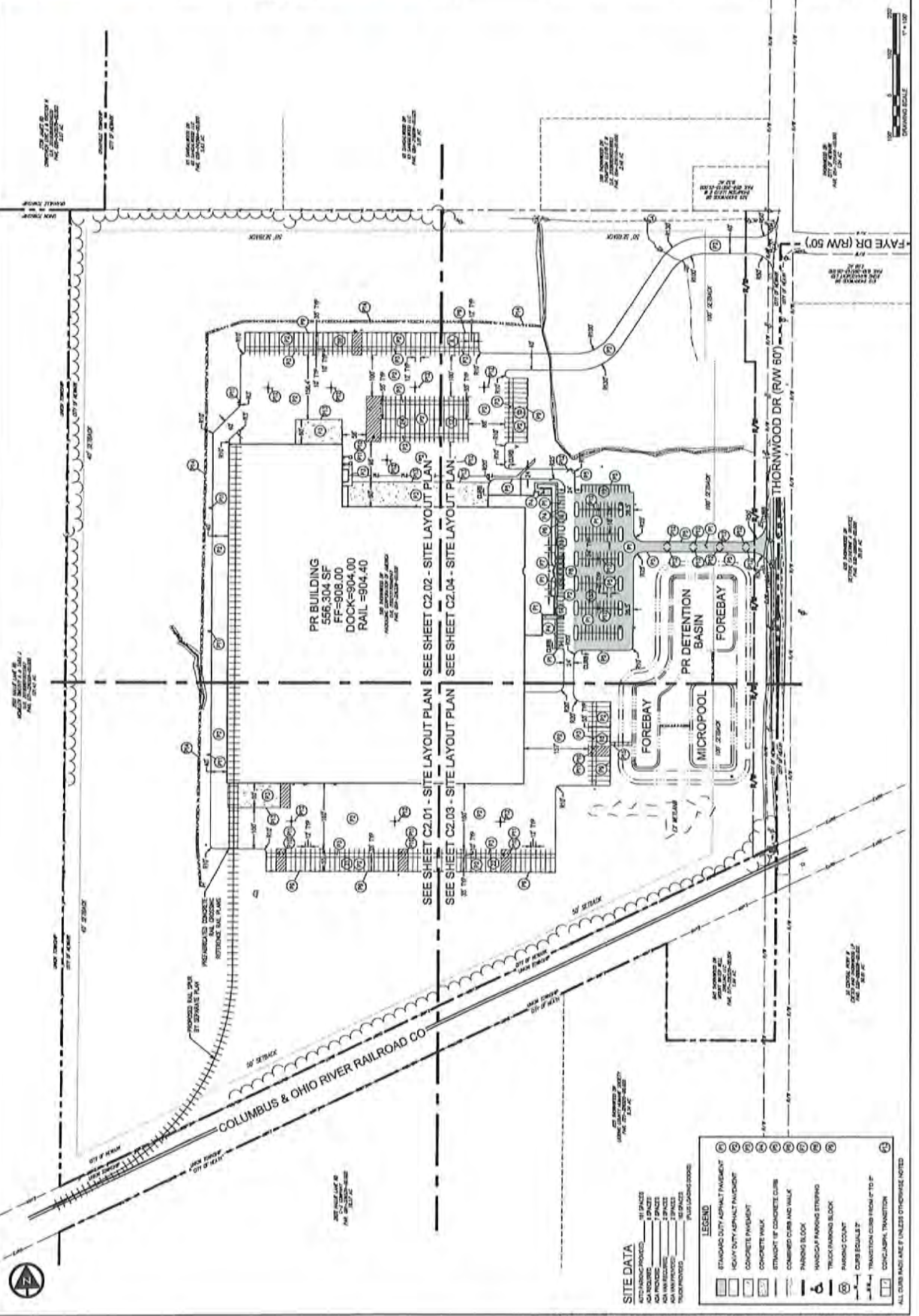
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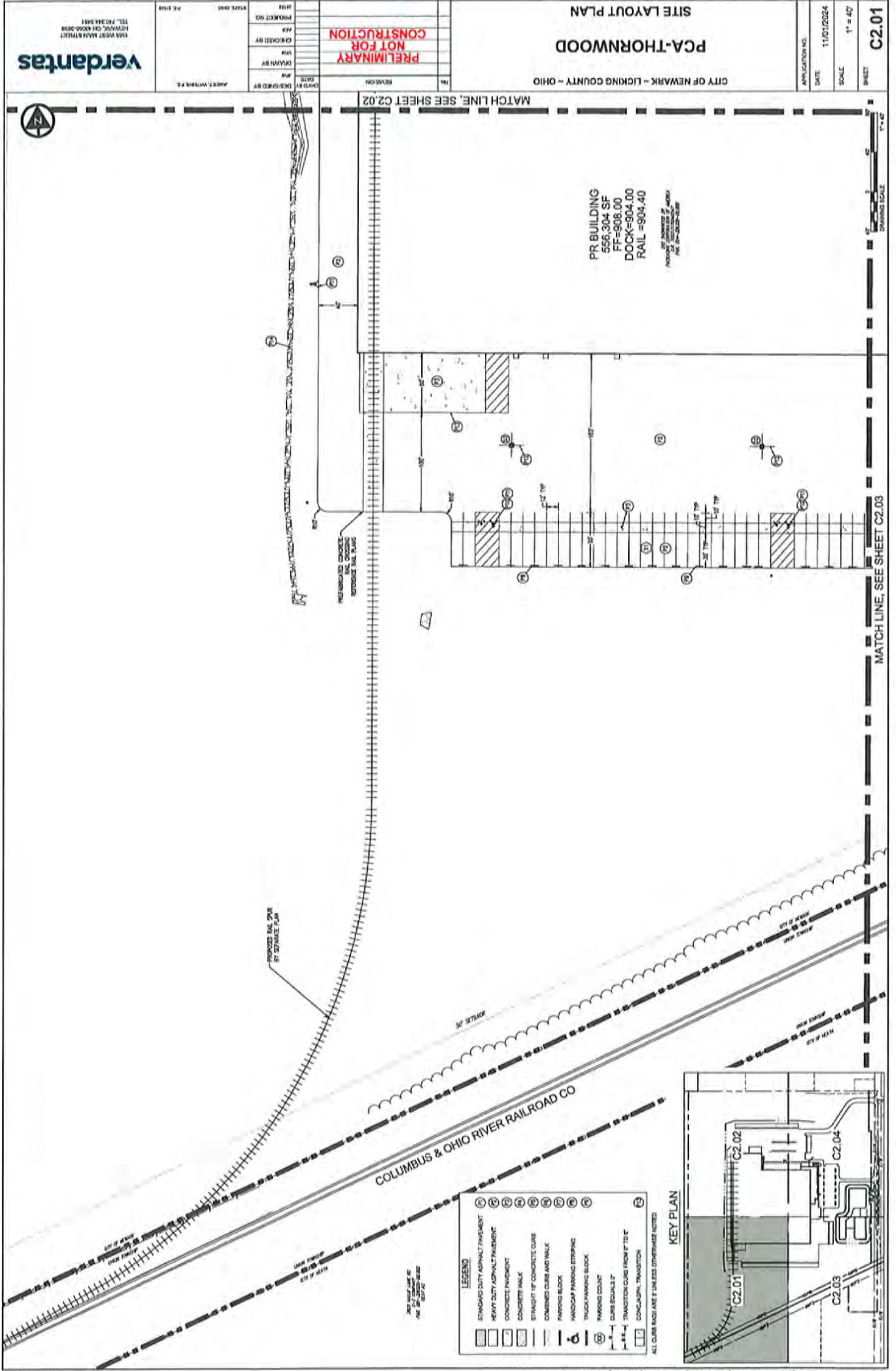
SITE DATA

- AS PAVED
- UNPAVED
- AS PAVED
- UNPAVED
- AS PAVED
- UNPAVED
- TRUCK PARKING
- TRUCK PARKING

LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE WALK
- STANDARD 18" CONCRETE CURB
- COMBINED CURB AND WALK
- PARKING BLOCK
- HANDICAP PARKING STIPING
- TRUCK PARKING BLOCK
- PARKING COUNT
- CURB EQUALITY
- TRANSITION CURB FROM FTO P
- CONC/ASPH. TRANSITION

ALL CURBS AND AREAS UNLESS OTHERWISE NOTED



VERDANTAS
 1000 WEST MAIN STREET
 NEWARK, OH 43006-2008
 TEL: 800.454.8481

SITE LAYOUT PLAN
 PCA-THORNWOOD
 CITY OF NEWARK - LIKING COUNTY - OHIO

APPLICATION NO. 11/01/2024
 DATE 11/01/2024
 SCALE 1" = 40'
 SHEET **C2.01**

PRELIMINARY
NOT FOR CONSTRUCTION

NO.	REVISION	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	APP. NO.

PROPOSED CONCRETE RETENTION WALL
 3' HIGH

PROPOSED CONCRETE RETENTION WALL
 3' HIGH

PROPOSED CONCRETE RETENTION WALL
 3' HIGH

PROPOSED CONCRETE RETENTION WALL
 3' HIGH

PROPOSED CONCRETE RETENTION WALL
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PROPOSED CONCRETE RETENTION WALL
 3' HIGH

PROPOSED CONCRETE RETENTION WALL
 3' HIGH

PROPOSED CONCRETE RETENTION WALL
 3' HIGH

PR BUILDING
 556,304 SF
 FF=908.00
 DOCK=904.00
 RAIL=904.40
 PROJECT APPROVED BY AEDV
 DATE 08-20-2024

PROPOSED CONCRETE RETENTION WALL
 3' HIGH

PROPOSED CONCRETE RETENTION WALL
 3' HIGH

PROPOSED CONCRETE RETENTION WALL
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 3' HIGH

PROPOSED CONCRETE RETENTION WALL
 3' HIGH

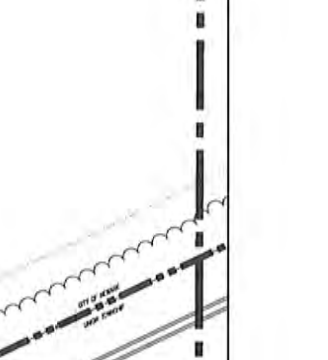
PROPOSED CONCRETE RETENTION WALL
 3' HIGH

PROPOSED CONCRETE RETENTION WALL
 3' HIGH

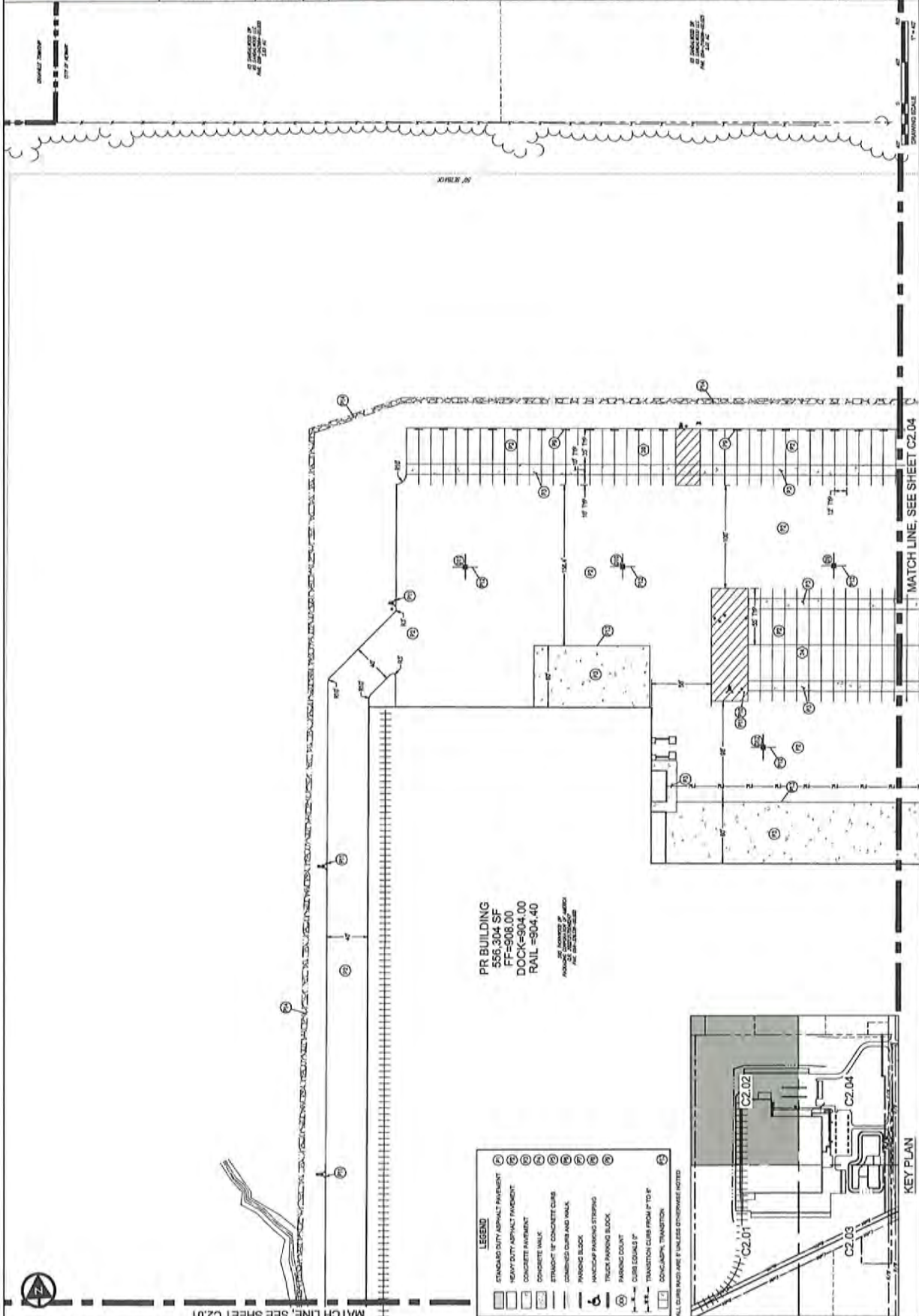
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 3' HIGH

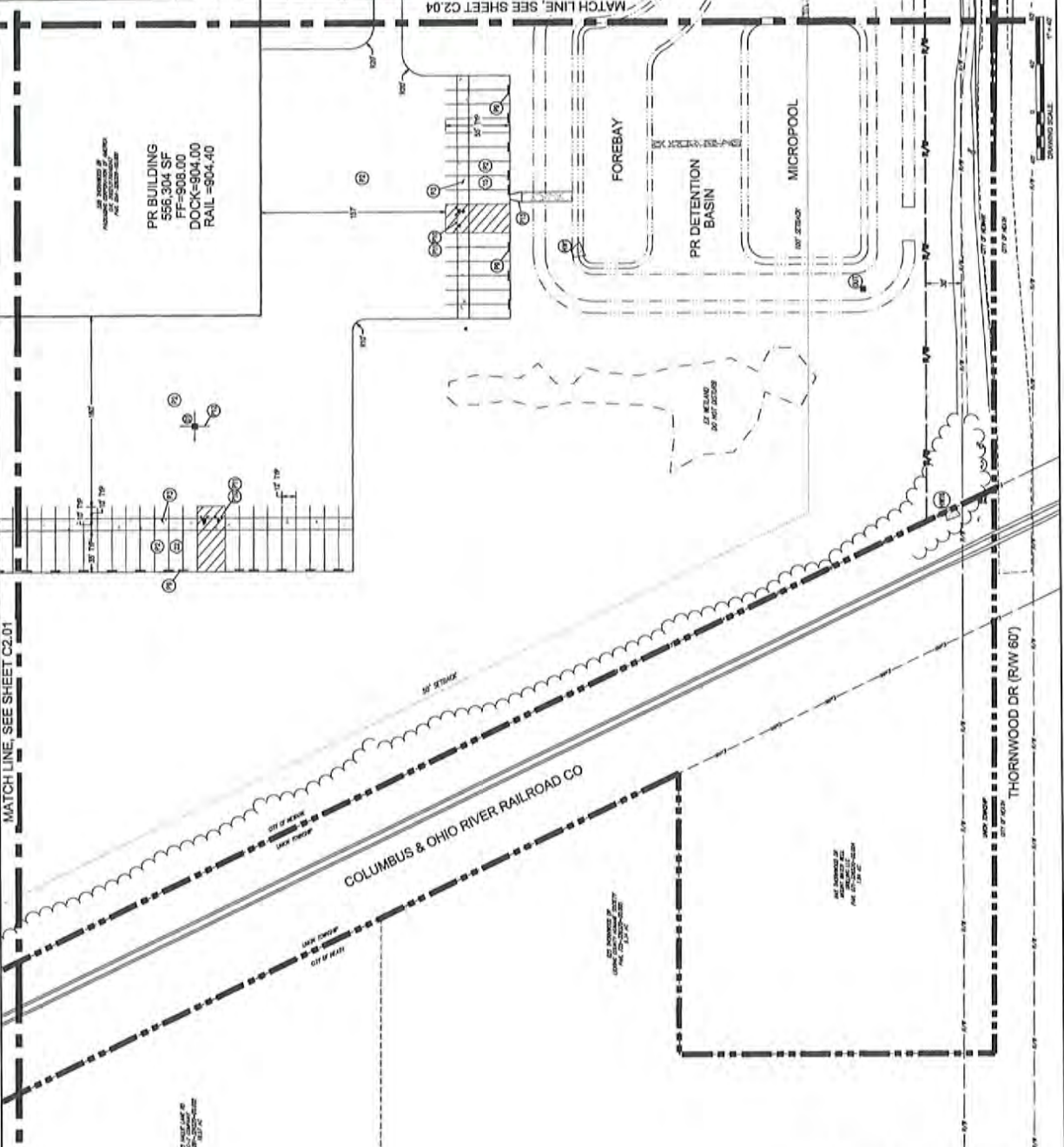
PROPOSED CONCRETE RETENTION WALL
 3' HIGH

PROPOSED CONCRETE RETENTION WALL
 3' HIGH



- LEGEND**
- (1) STANDARD DUTY ASPHALT PAVEMENT
 - (2) HEAVY DUTY ASPHALT PAVEMENT
 - (3) CONCRETE PAVEMENT
 - (4) CONCRETE WALK
 - (5) STRAIGHT 18" CONCRETE CURB
 - (6) COMBINED CURB AND WALK
 - (7) PARKING BLOCK
 - (8) WAREHOUSING PARKING STOPPING
 - (9) TRUCK PARKING BLOCK
 - (10) PARKING COUNCIL
 - (11) CURB SQUARE 2'
 - (12) TRANSITION CURB FROM 72" TO 18"
 - (13) CONC/SLAB TRANSITION
- ALL CURB RADII ARE UNLESS OTHERWISE NOTED

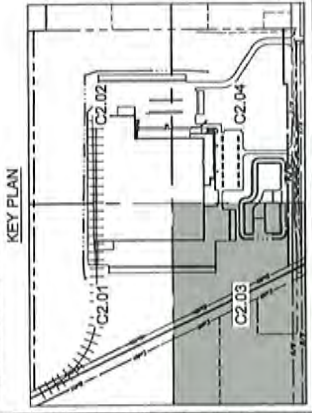


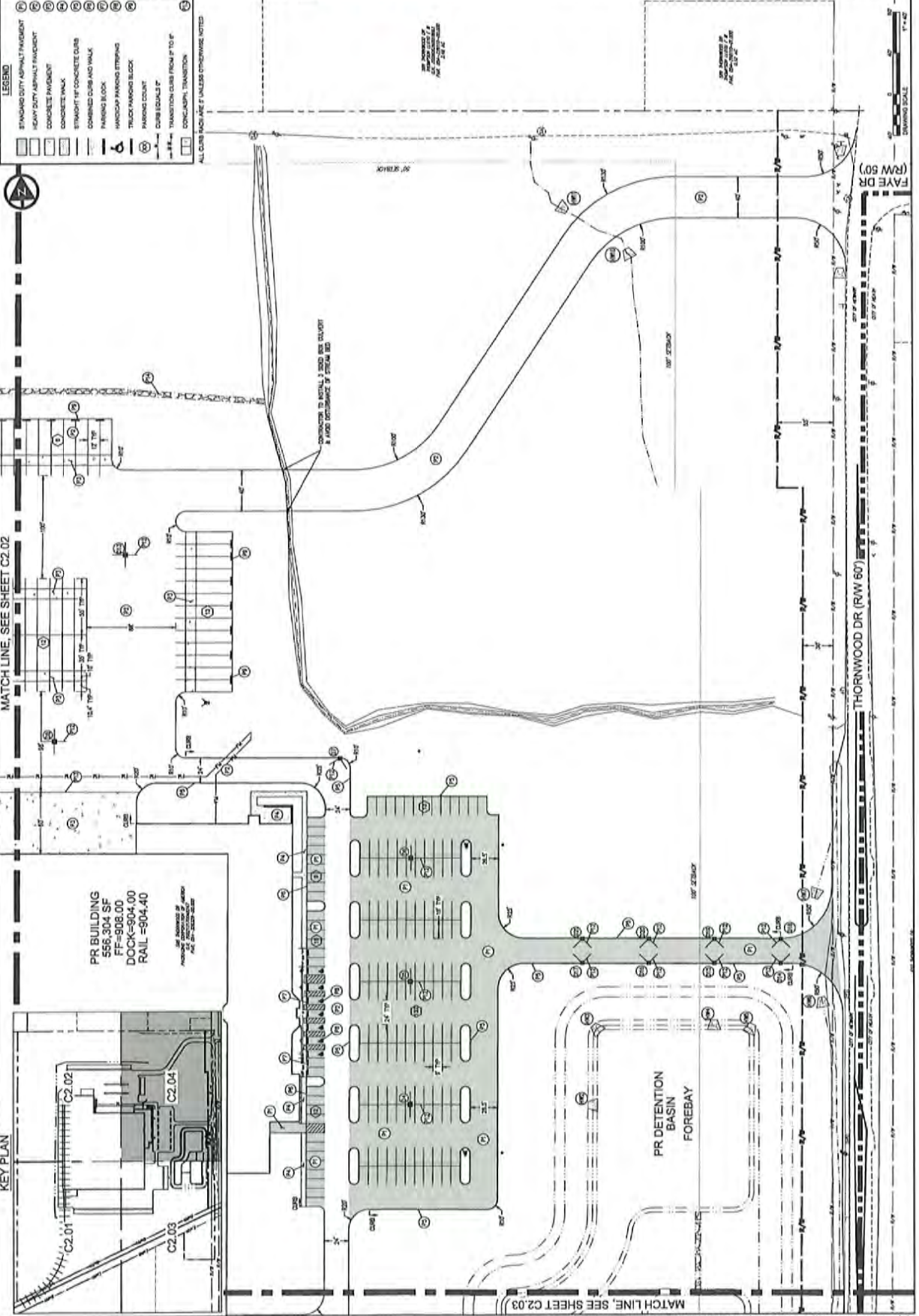


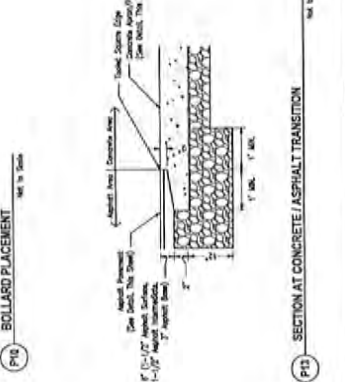
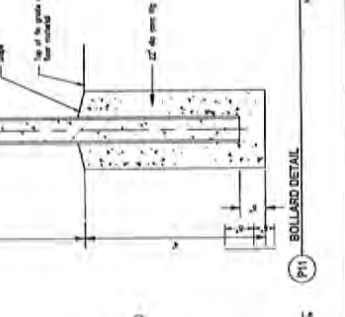
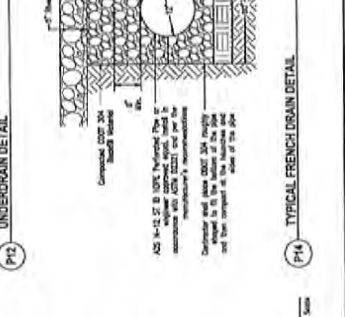
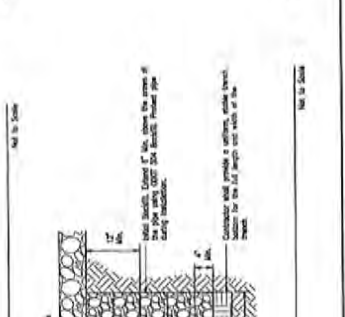
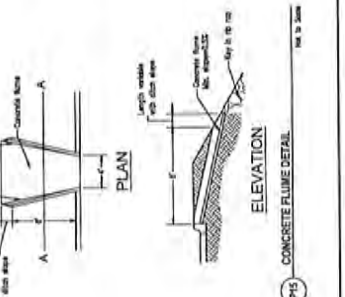
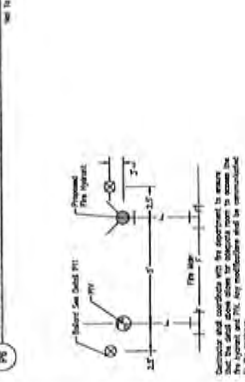
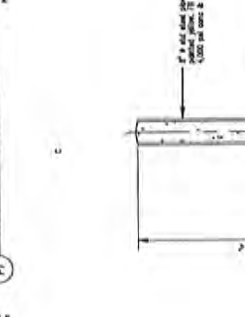
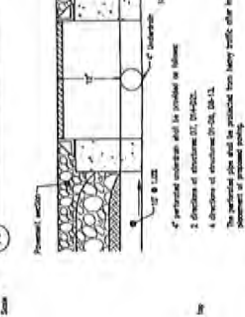
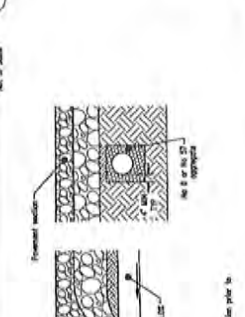
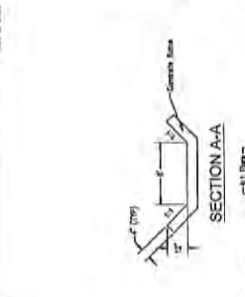
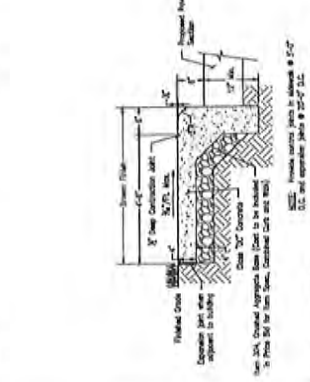
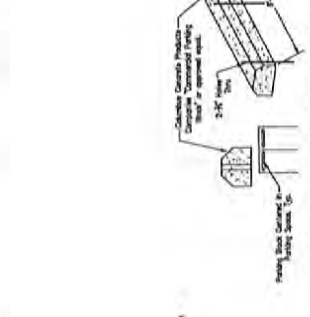
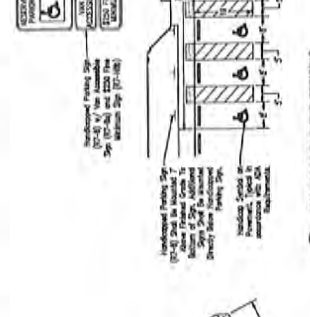
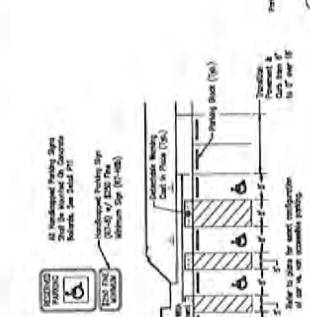
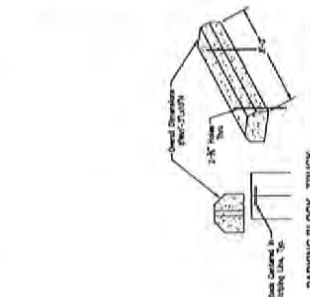
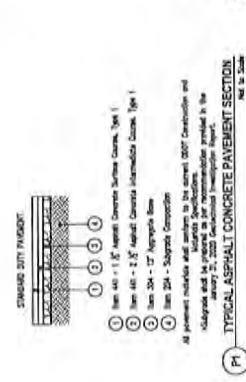
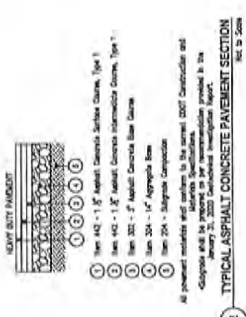
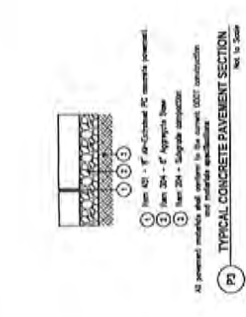
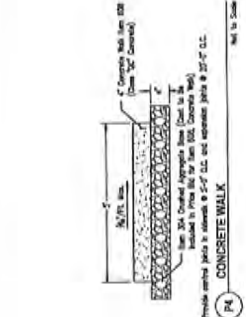
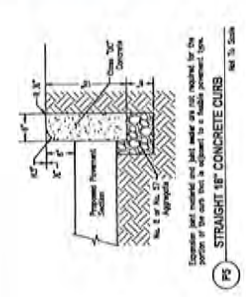
LEGEND

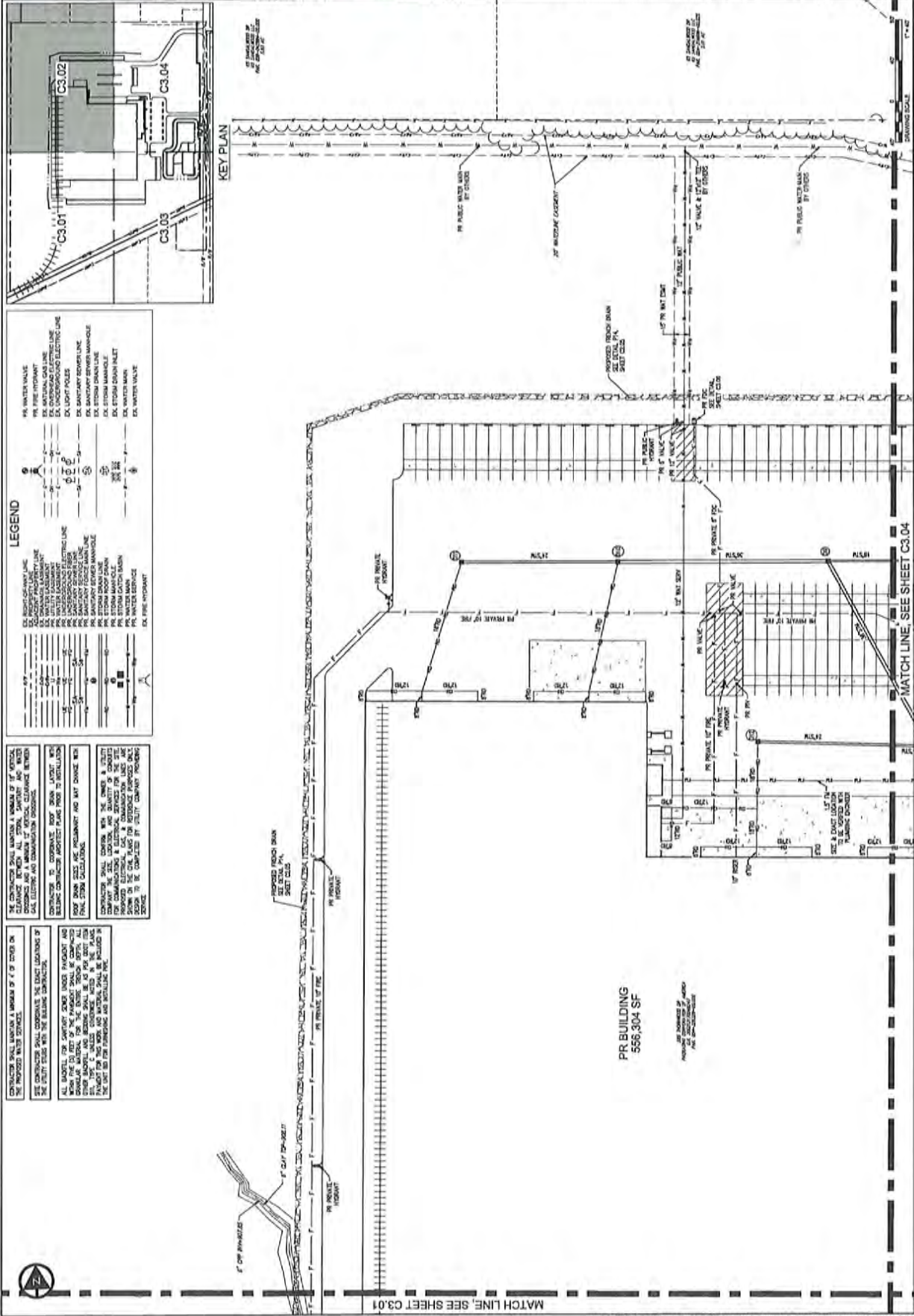
[Symbol]	STANDARD DUTY ASPHALT PAVEMENT
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	CONCRETE WALK
[Symbol]	STRIPES 1" CONCRETE CURB
[Symbol]	COMBINED CURB AND WALK
[Symbol]	PARKING BLOCK
[Symbol]	HANDICAP PARKING STRIPING
[Symbol]	TRULOCK PARKING BLOCK
[Symbol]	PARKING COAT
[Symbol]	CURB ELEVATION 2'
[Symbol]	TRANSITION CURB FROM 12" TO 18"
[Symbol]	CONCLUSION, TERMINATION

ALL CURB INCH AND 1/2 UNLESS OTHERWISE NOTED





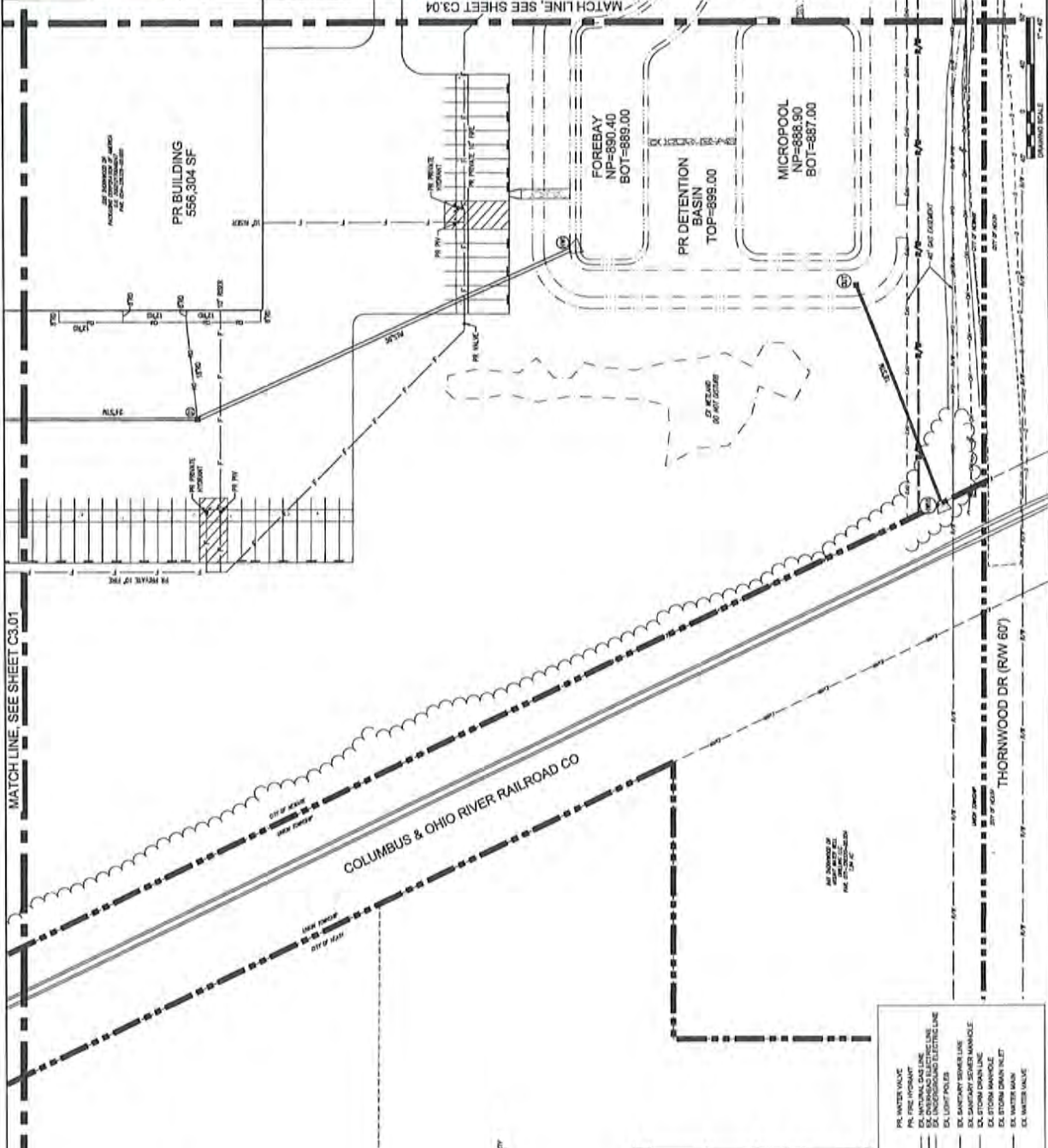




THE CONTRACTOR SHALL MAINTAIN A MINIMUM 2' CLEARANCE BETWEEN ALL UTILITIES, EXCEPT AS NOTED OTHERWISE, AND A MINIMUM 1' CLEARANCE BETWEEN UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 2' CLEARANCE BETWEEN ALL UTILITIES, EXCEPT AS NOTED OTHERWISE, AND A MINIMUM 1' CLEARANCE BETWEEN UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 2' CLEARANCE BETWEEN ALL UTILITIES, EXCEPT AS NOTED OTHERWISE, AND A MINIMUM 1' CLEARANCE BETWEEN UTILITIES AND STRUCTURES.

LEGEND
 PR PRIVATE POTABLE WATER
 PR PRIVATE FIRE
 PR PUBLIC WATER
 PR PUBLIC FIRE
 1" FIRE HYDRANT
 1" WATER VALVE
 1" WATER METER
 1" WATER METER VALVE
 1" WATER METER INLET
 1" WATER METER OUTLET
 1" WATER METER BURN
 1" WATER METER SERVICE
 1" FIRE HYDRANT
 1" FIRE HYDRANT VALVE
 1" FIRE HYDRANT INLET
 1" FIRE HYDRANT OUTLET
 1" FIRE HYDRANT SERVICE
 1" FIRE HYDRANT METER
 1" FIRE HYDRANT METER VALVE
 1" FIRE HYDRANT METER INLET
 1" FIRE HYDRANT METER OUTLET
 1" FIRE HYDRANT METER SERVICE
 1" FIRE HYDRANT METER BURN
 1" FIRE HYDRANT METER VALVE

CONTRACTOR SHALL MAINTAIN A MINIMUM 2' CLEARANCE BETWEEN ALL UTILITIES, EXCEPT AS NOTED OTHERWISE, AND A MINIMUM 1' CLEARANCE BETWEEN UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 2' CLEARANCE BETWEEN ALL UTILITIES, EXCEPT AS NOTED OTHERWISE, AND A MINIMUM 1' CLEARANCE BETWEEN UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 2' CLEARANCE BETWEEN ALL UTILITIES, EXCEPT AS NOTED OTHERWISE, AND A MINIMUM 1' CLEARANCE BETWEEN UTILITIES AND STRUCTURES.



CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4' OF COVER ON THE PROPOSED WATER COVERAGE.

SEE CONTRACTOR SHALL CORRECTIVE THE EXIST LOCATIONS OF THE EXISTING WATER COVERAGE.

ALL MANHOLE FOR SANITARY SEWER MANHOLE AND WHEN THE 10' FEET OF THE PARAPET SHALL BE COMPLETED SHOWN MANHOLE AND LOCATIONS SHALL BE AS PER THE EXISTING MANHOLE AND LOCATIONS. ALL MANHOLE SHALL BE 48" DIA. UNLESS OTHERWISE NOTED. ALL MANHOLE SHALL BE 48" DIA. UNLESS OTHERWISE NOTED. ALL MANHOLE SHALL BE 48" DIA. UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4' OF COVER CLEARANCE BETWEEN ALL STORM DRAINAGE AND WATER COVERAGE AND A MINIMUM OF 6" CLEARANCE BETWEEN ALL STORM DRAINAGE AND WATER COVERAGE.

CONTRACTOR TO COORDINATE WITH THE CITY OF NEWARK TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR THE PROPOSED UTILITY PLAN.

PR: WATER MAIN
PR: FIRE HYDRANT
DL: NATURAL GAS LINE
DL: UNDERGROUND ELECTRICAL LINE
DL: LIGHT POLES
DL: SANITARY SEWER LINE
DL: STORM DRAINAGE
DL: STORM DRAIN INLET
DL: WATER MAIN
DL: FIRE HYDRANT

KEY PLAN

LEGEND

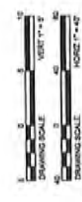
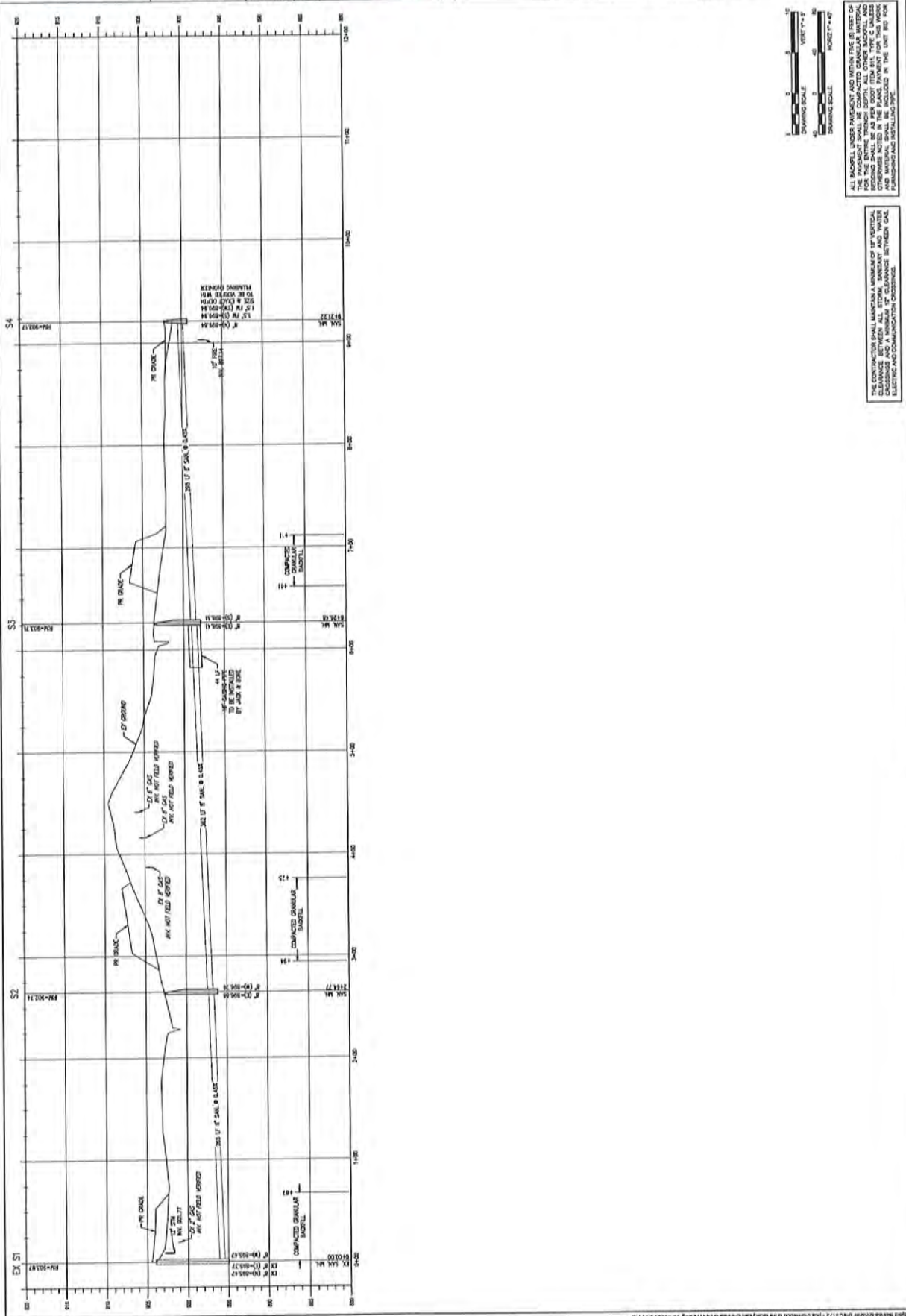
DL: NATURAL GAS LINE
DL: UNDERGROUND ELECTRICAL LINE
DL: LIGHT POLES
DL: SANITARY SEWER LINE
DL: STORM DRAINAGE
DL: STORM DRAIN INLET
DL: WATER MAIN
DL: FIRE HYDRANT

DESIGNED BY	AMBER WATSON, P.E.
DRAWN BY	
CHECKED BY	
DATE	
REVISION	
NO.	

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

**PCA-THORWOOD
 SANITARY PROFILE**
 CITY OF NEWARK - LICKING COUNTY - OHIO

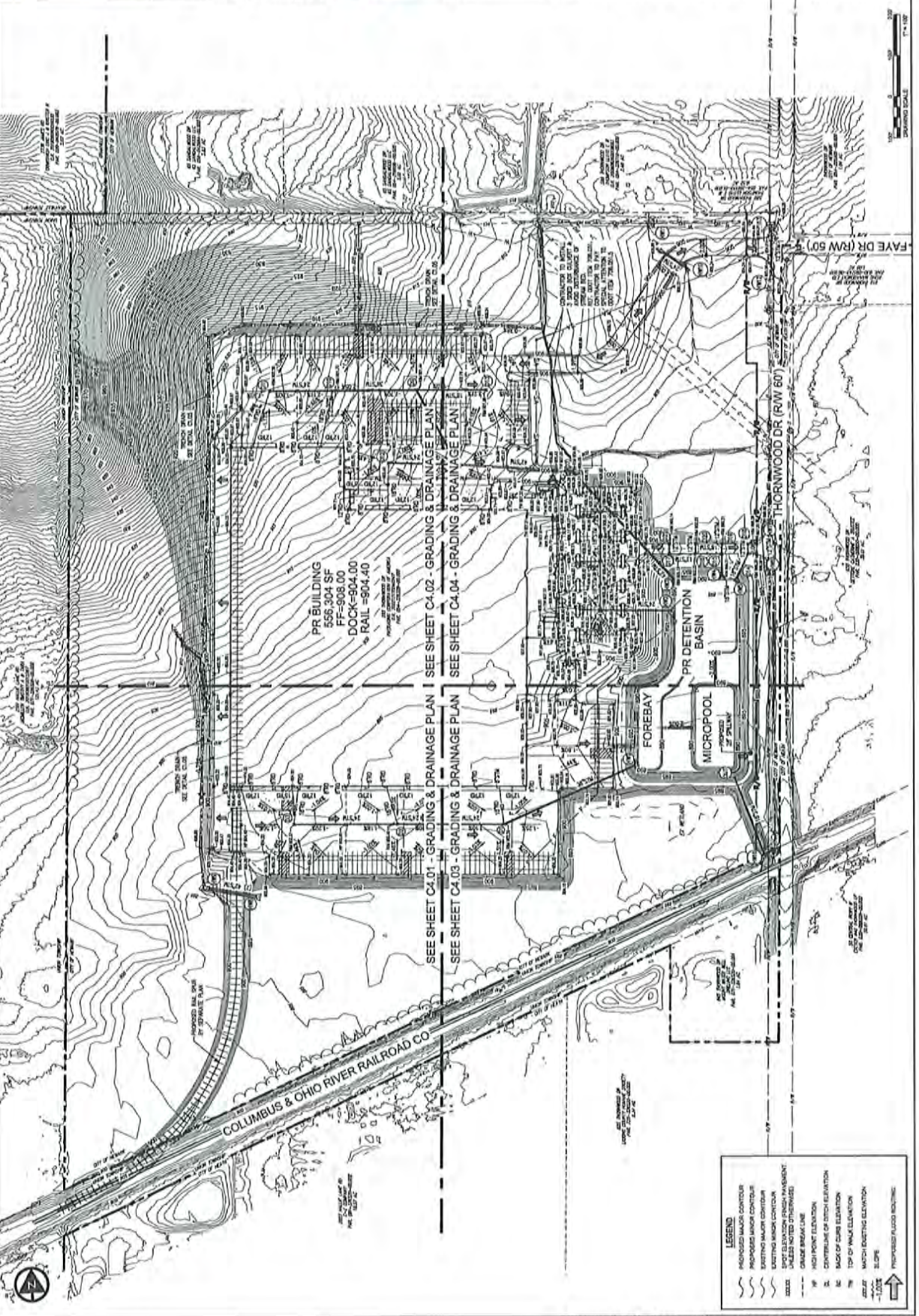
APPLICATION NO.	110110224
DATE	11/01/2024
SCALE	HORIZ 1" = 40' VERT 1" = 5'
SHEET	C3.05



ALL MANHOLE LID WEIGHTS AND WEIGHTS OF ALL PIPES TO BE INSTALLED SHALL BE COMPACTED GRANULAR MATERIAL FOR THE ENTIRE SURFACE DEPTH. ALL OTHER PIPES SHALL BE INSTALLED ON A 4\"/>

THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18\"/>


Verdantas 100 WEST MAIN STREET COLUMBUS, OH 43260-2900 TEL: 614.348.5481		SHEET NO. _____ PROJECT NO. _____ DATE: _____ DRAWN BY: _____ CHECKED BY: _____ IN CHARGE: _____ PROJECT: _____	PRELIMINARY NOT FOR CONSTRUCTION	REVISION NO. _____ DATE: _____ BY: _____	CITY OF NEWARK - LIKING COUNTY - OHIO PCA-THORNWOOD OVERALL GRADING PLAN	APPLICATION NO. _____ DATE: 11/01/2024 SCALE: 1" = 100' SHEET: C4.00
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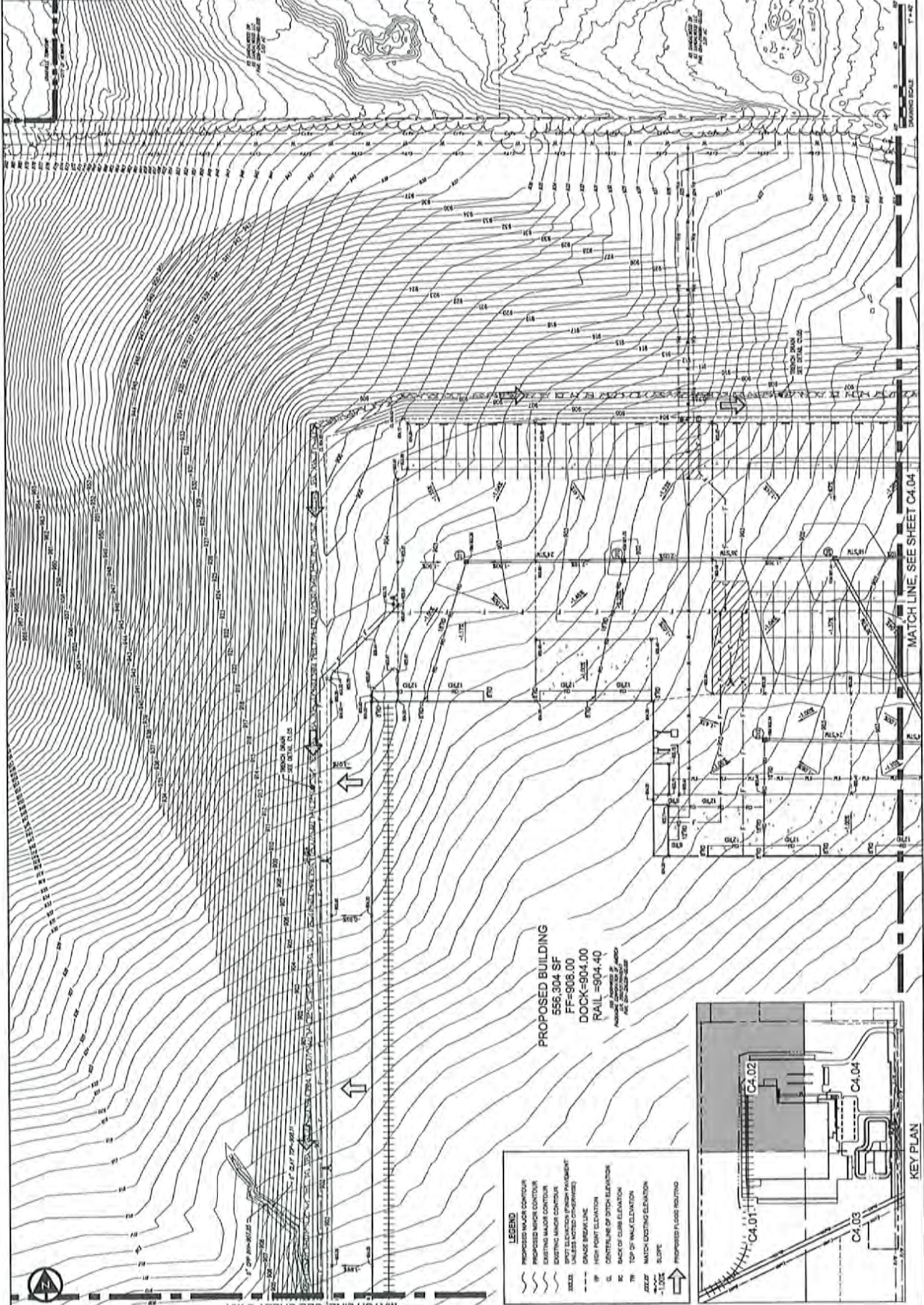


SEE SHEET C4.01 - GRADING & DRAINAGE PLAN | SEE SHEET C4.02 - GRADING & DRAINAGE PLAN
 SEE SHEET C4.03 - GRADING & DRAINAGE PLAN | SEE SHEET C4.04 - GRADING & DRAINAGE PLAN

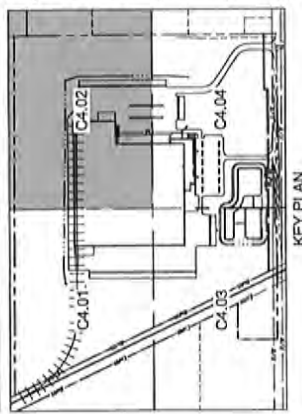
LEGEND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- WALKWAY NOTED (DIMENSIONED)
- GRADE BREAK LINE
- HIGH POINT ELEVATION
- CENTRELINE OF DITCH ELEVATION
- BACK OF CURB ELEVATION
- TOP OF WALK ELEVATION
- MATCH EXISTING ELEVATION
- SLOPE
- PROPOSED FLOOD BOUNDARY

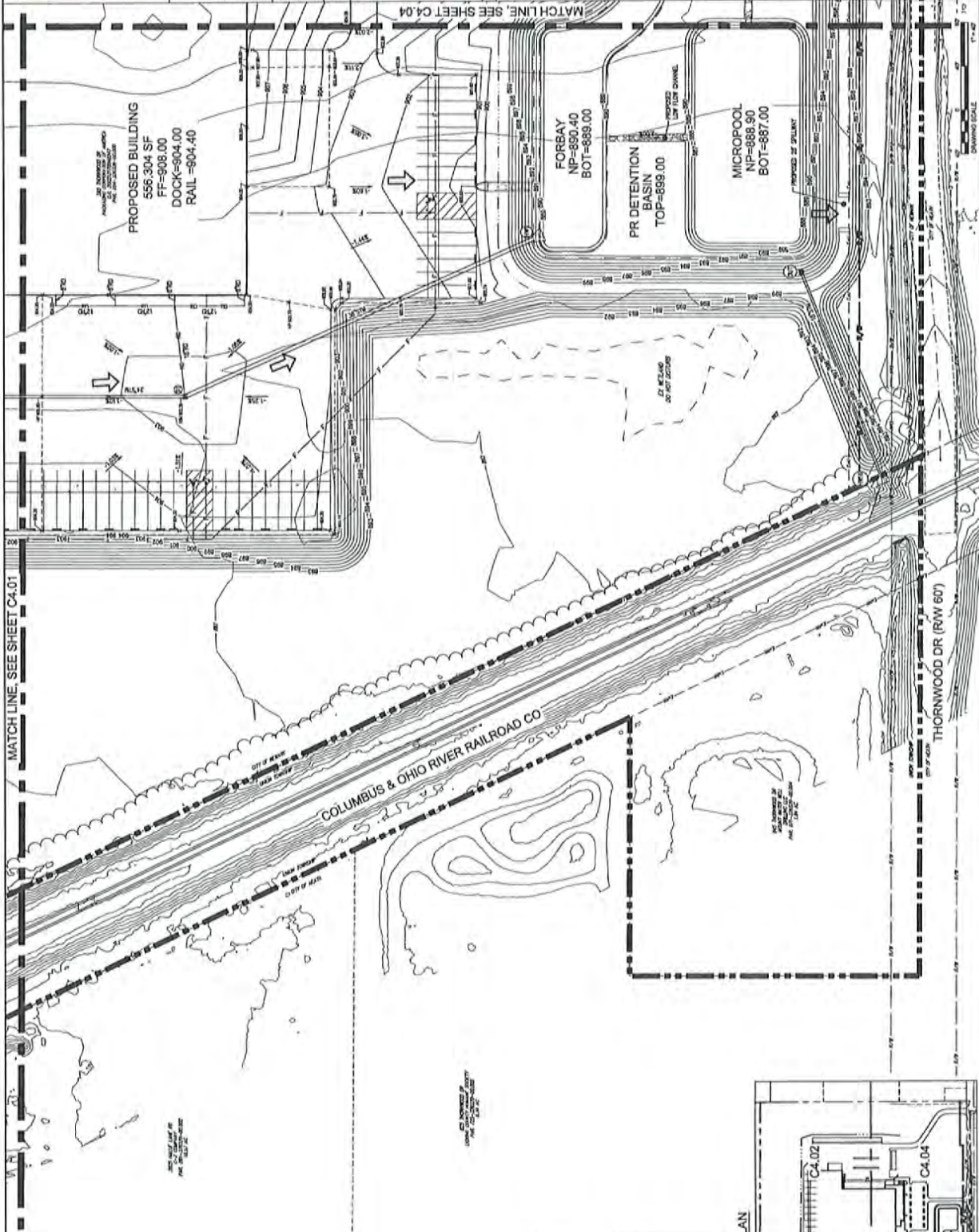
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	DATE 11/01/2024	SCALE 1" = 100'
	SHEET C4.02	
	CITY OF NEWARK - LICKING COUNTY - OHIO	
	PCA-THORNWOOD GRADING & DRAINAGE PLAN	
CHECKED BY	DATE	REVISION
DRAWN BY	DATE	
PROJECT NO.	DATE	
SCALE	DATE	
DATE	DATE	



- LEGEND**
- PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING ELEVATION PROPERTY
 - PROPOSED ELEVATION PROPERTY
 - PROPOSED FLOOD ROUTING
 - PROPOSED FLOOD ROUTING
 - PROPOSED FLOOD ROUTING
 - PROPOSED FLOOD ROUTING
 - PROPOSED FLOOD ROUTING



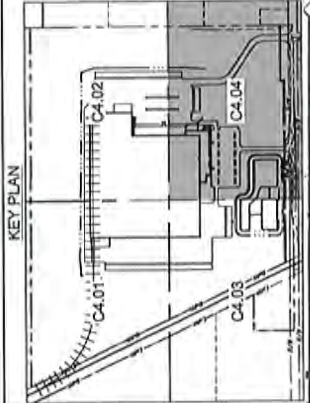
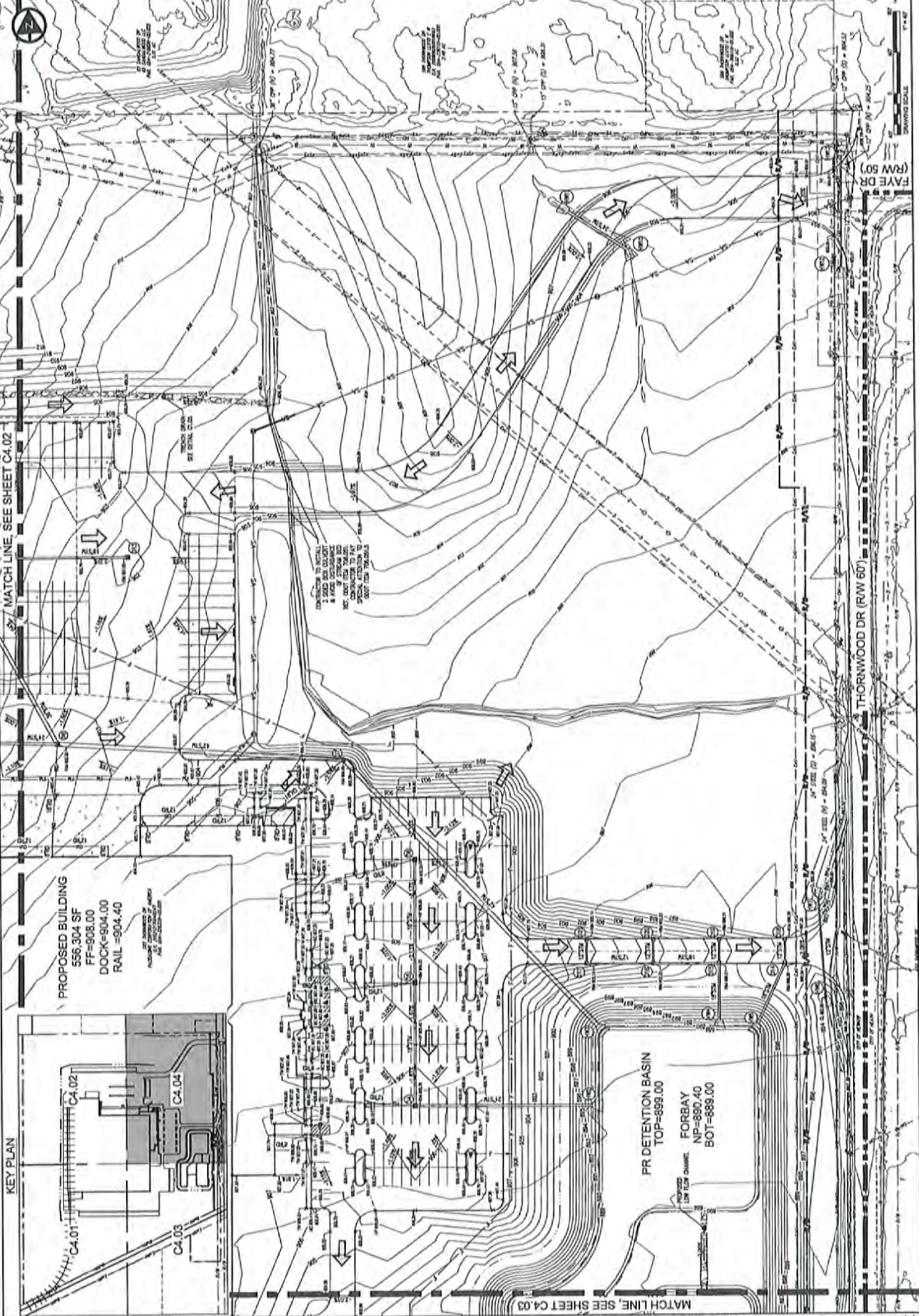
KEY PLAN



LEGEND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- UNCLASSIFIED CONTOUR
- UNCLASSIFIED CONTOUR
- GRADE BREAK LINE
- HIGH POINT ELEVATION
- CENTERLINE OF SWITCH ELEVATION
- BACK OF CURB ELEVATION
- TOP OF WALK ELEVATION
- MATCH EXISTING ELEVATION
- SLOPE
- ↑ PROPOSED FLOOD HOUSING

KEY PLAN



APPLICATION NO. 11-01742024
 DATE 11/01/2024
 SCALE 1" = 100'
 SHEET C4.05

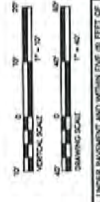
CITY OF NEWARK - LICKING COUNTY - OHIO
PCA-THORNWOOD DRAINAGE PROFILES

REVISION

NO.	DATE	DESCRIPTION
1		PRELIMINARY NOT FOR CONSTRUCTION

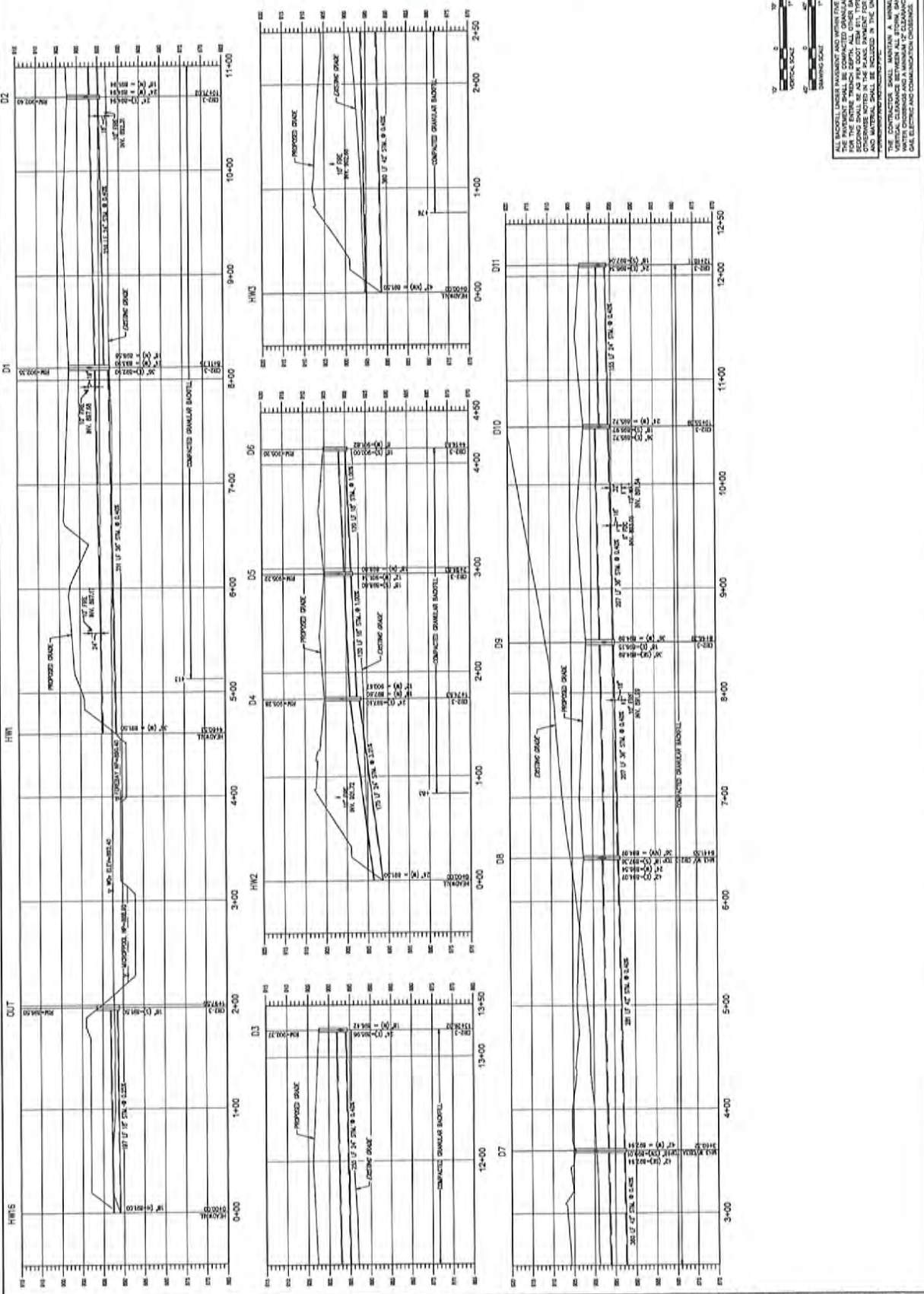
DESIGNED BY	JAMES S. WILSON, P.E.
CHECKED BY	
DATE	
PROJECT NO.	
PLAN	
DATE	
SCALE	
SHEET	

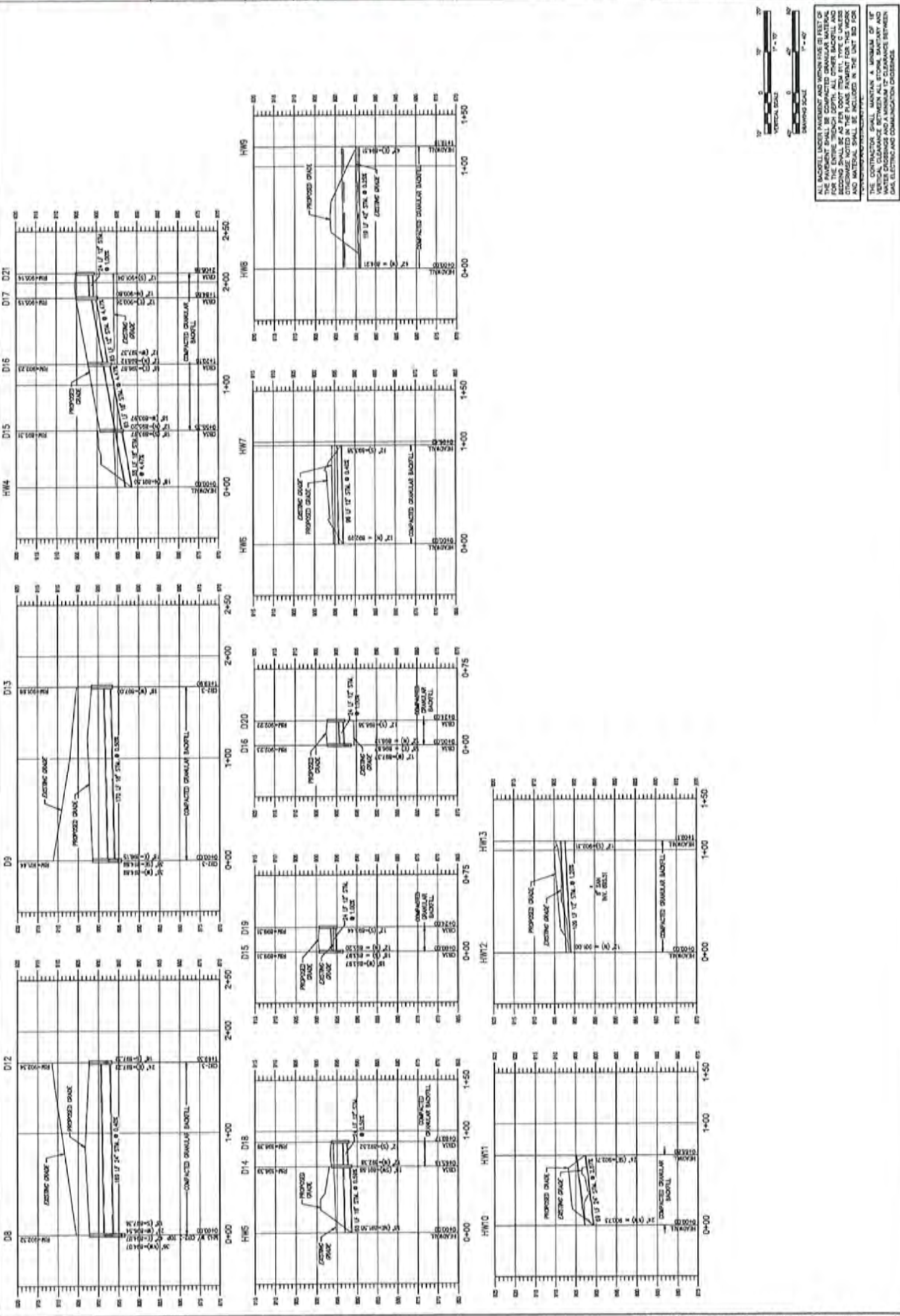
Verdantas
 1500 WEST 100TH STREET
 NEWARK, OH 43092-2008
 TEL. 740.244.5431



ALL SPOOLS UNDER PAVEMENT AND WITHIN ONE (1) FEET OF THE CURB SHALL BE SET IN 12" MINIMUM DEPTH. ALL OTHER SPOOLS AND SPOOLS SHALL BE SET IN 6" MINIMUM DEPTH. THE SPOOLS AND MATERIAL SHALL BE INCLUDED IN THE UNIT BID FOR THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE BETWEEN ALL EXISTING SANITARY AND SEWER LINES AND ALL NEW SANITARY AND SEWER LINES.





ALL BACKFILL UNDER PAVEMENT AND WITHIN ONE (1) FEET OF PAVEMENT SHALL BE COMPACTED TO THE PROPOSED GRADE FOR THE ENTIRE TRENCH DEPTH. ALL OTHER BACKFILL AND EXPOSED SOILS SHALL BE COMPACTED TO THE PROPOSED GRADE AND NATURAL SHALL BE INCLUDED IN THE UNIT BID FOR THE PROJECT. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18\"/>

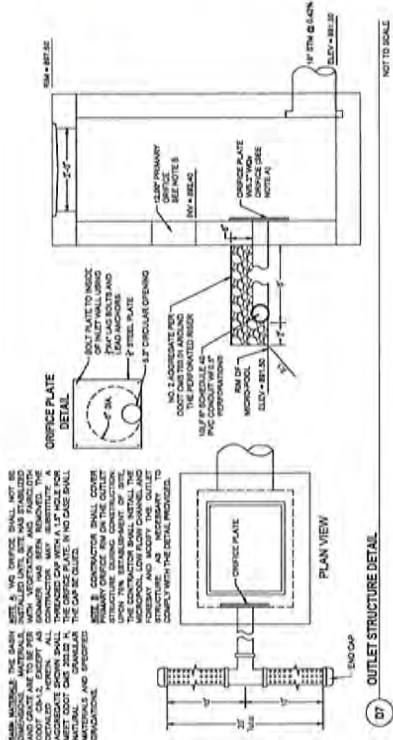
APPLICATION NO.
 DATE 11/01/2024
 SCALE 1" = 100'
 SHEET C4.07

CITY OF NEWARK - LICKING COUNTY - OHIO
 PCA-THORWOOD
 DRAINAGE DETAILS

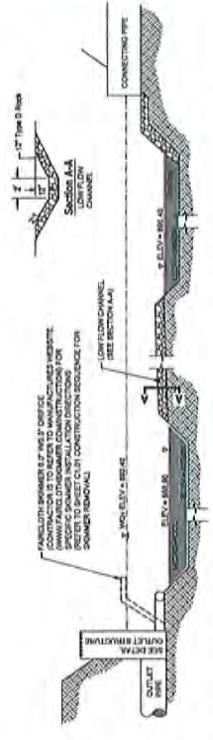
**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

NO	REVISION
DATE	
DESIGNED BY	JAMES WATERS, P.E.
DRAWN BY	
CHECKED BY	
PROJECT NO.	447518 DRW
DATE	04.19.23

Verdantas
 1655 WEST MAIN STREET
 TEL: 740.341.8431



OUTLET STRUCTURE DETAIL
 NOT TO SCALE



DETENTION POND FOREBAY & MICRO-POOL
 NOT TO SCALE
 SEE PROFILES FOR ELEVATIONS



POND Z EMERGENCY OVERTFLOW SECTION
 NOT TO SCALE

PROJECT NO.	24-010
DATE	11/01/2024
DESIGNED BY	JAMES F. WILSON, P.E.
CHECKED BY	
DRAWN BY	
DATE	
SCALE	

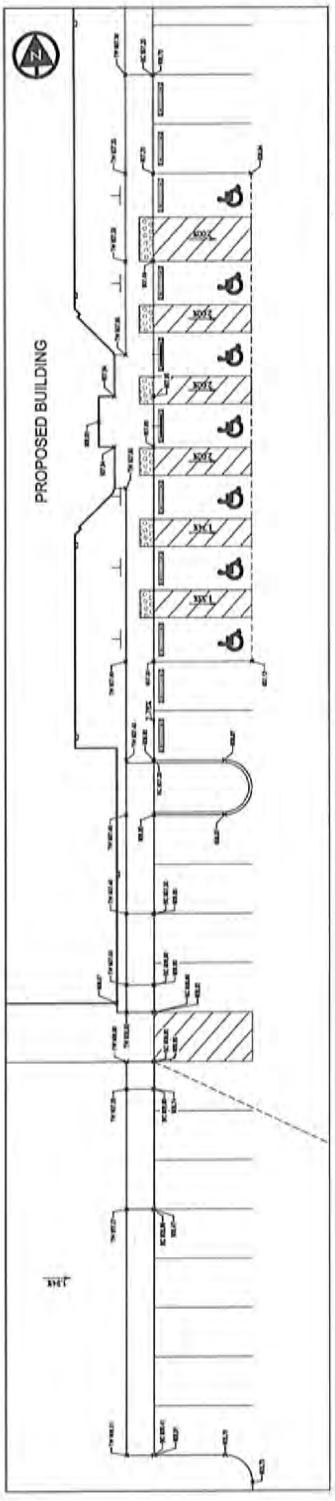
NO.	REVISION
1	ISSUED FOR CONSTRUCTION
2	PRELIMINARY
3	NOT FOR CONSTRUCTION

CITY OF NEWARK - LIKING COUNTY - OHIO
PCA-THORNWOOD
 GRADING DETAILS

APPLICATION NO.	C4.08
DATE	11/01/2024
SCALE	1" = 10'
SHEET	

LEGEND

- XXXX SPOT ELEVATION (FINISH PAVEMENT UNLESS NOTED OTHERWISE)
- CHANCE BREAK LINE
- HIGH POINT ELEVATION
- CONTINUATION OF SLOPE ELEVATION
- BACK OF CURB ELEVATION
- TOP OF FINISH ELEVATION
- MATCH EXISTING ELEVATION
- SLOPE



ADA PARKING DETAIL

GRAPHIC SCALE
 1" = 10'