

**PLANNING COMMISSION MEETING
TUESDAY, July 9, 2024 6:00 P.M.
Council Chambers
40 W MAIN ST, NEWARK, OH 43055**

AGENDA

- 1. CALL TO ORDER**
- 2. APPROVAL OF MINUTES FOR THE June 11, 2024 PLANNING COMMISSION MEETING**

PUBLIC HEARING

- 3. Ordinance No. 24-18** AN ORDINANCE AMENDING PORTIONS OF THE CURRENT ARTICLES OF THE ZONING CODE OF THE CITY OF NEWARK, OHIO ADOPTED MAY 5, 2009 BY ORDINANCE 08-33A AND SEPTEMBER 5, 2023, BY ORDINANCE 23-22A AND IMPLEMENTING ADDITIONAL ARTICLES OF THE ZONING CODE OF THE CITY OF NEWARK, OHIO.

OLD BUSINESS

- 4. RECOMMENDATION FOR 417 GARFIELD AVE., Newark, Ohio**
Application Number : PC-24-13
Owner: MID OHIO PROPERTY MANAGEMENT LLC
Applicant: JAMES R. HOEKSTRA
Current Zoning: SINGLE-FAMILY RESIDENCE, RH – HIGH DENSITY
Proposed Zoning: TFR – TWO-FAMILY RESIDENCE
- 5. RECOMMENDATION FOR 842 JEWETT AVE., Newark, Ohio**
Application Number : PC-24-19
Owner: KEVIN R. HALL
Applicant: KEVIN R. HALL
Current Zoning: Single-Family Residence, RH – HIGH DENSITY
Proposed Zoning: GC – GENERAL COMMERCIAL

NEW BUSINESS

- 6. SITE PLAN REVIEW - Take 5 Oil Change, 1200 North 21st St.**
Application Number : PC-24-29
Owner: Mattingly Enterprises LLC, PO Box 760, Zanesville, OH 43701
Applicant: Driven Brands, 440 South Church St., Suite 600, Charlotte, NC 28202

MISCELLANEOUS – ADMINISTRATIVE APPROVALS

There are none this meeting.

THE NEXT SCHEDULED PLANNING COMMISSION MEETING WILL BE HELD ON TUESDAY, August 13, 2024, 6:00 P.M. THE DEADLINE FOR AGENDA ITEM SUBMITTAL IS MONDAY, JULY 15, 2024 4:30 P.M.

ORDINANCE NO: 24-18

BY _____

AN ORDINANCE AMENDING PORTIONS OF THE CURRENT ARTICLES OF THE ZONING CODE OF THE CITY OF NEWARK, OHIO ADOPTED MAY 5, 2009 BY ORDINANCE 08-33A AND SEPTEMBER 5, 2023, BY ORDINANCE 23-22A AND IMPLEMENTING ADDITIONAL ARTICLES OF THE ZONING CODE OF THE CITY OF NEWARK, OHIO.

WHEREAS, the City of Newark by and through action of Newark City Council adopted a new Zoning Code on May 5, 2009 with the passage of Ordinance 08-33A; and,

WHEREAS, the City of Newark by and through action of Newark City Council amended portions of the Zoning Code on September 5, 2023, with the passage of Ordinance 23-22A; and,

WHEREAS, changed circumstances in the City of Newark have created a need to revise the existing Zoning Code to address issues specific to future development and business regulations for the benefit of all and good zoning practice; and,

WHEREAS, this matter was considered by the Economic Development Committee of Council at a regularly scheduled meeting thereof and was passed on to the Planning Commission for public hearing and recommendation and then to full Council pursuant to Charter Article 4.12.

NOW, THEREFORE BE IT ORDAINED BY THE COUNCIL OF THE CITY OF NEWARK, COUNTY OF LICKING AND STATE OF OHIO THAT THE ZONING CODE OF THE CITY OF NEWARK, OHIO IS HEREBY AMENDED TO READ AS SET FORTH HEREIN

SECTION 1: *Article 46: MB Medium Intensity Business District* of the Zoning Code of the City of Newark, Ohio is hereby amended to include the following:

ARTICLE 46

MB MEDIUM INTENSITY BUSINESS DISTRICT

46.4 CONDITIONAL USES

2. **ADULT USE DISPENSARIES AS DEFINED AT SECTION 3780.01(A)(5) OF THE OHIO REVISED CODE PROVIDED THAT (A) SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OHIO REVISED CODE, THE OHIO ADMINISTRATIVE CODE, AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO AND (B) SUCH FACILITY IS NOT LOCATED WITHIN 1,000 FEET OF A**

PARCEL OF REAL ESTATE HAVING SITUATED ON IT A SCHOOL, CHURCH, PUBLIC LIBRARY, PUBLIC PLAYGROUND, PUBLIC PARK OR COMMUNITY ADDICTION SERVICES PROVIDER AS DEFINED UNDER R.C. § 5119.01.

A VARIANCE FROM THE 1,000 FEET DISTANCE RESTRICTION TO REDUCE SAID RESTRICTION BY NO MORE THAN 250 FEET DISTANCE MAY BE ISSUED BY THE BOARD OF ZONING APPEALS WITH A CONDITIONAL USE PERMIT.

SECTION 2: *Article 48: HB High Intensity Business District* of the Zoning Code of the City of Newark, Ohio is hereby amended to include the following:

ARTICLE 48
HB HIGH INTENSITY BUSINESS DISTRICT

48.4 CONDITIONAL USES

- 3. Medical marijuana AND ADULT USE dispensaries pursuant to the authority and limitations set forth at Article 46: MB Medium Intensity Business District, Section 46.4.**

SECTION 3: *Article 50: GB General Business District* of the Zoning Code of the City of Newark, Ohio is hereby amended to include the following:

ARTICLE 50
GB GENERAL BUSINESS DISTRICT

50.4 CONDITIONAL USES

- 3. Medical marijuana AND ADULT USE dispensaries pursuant to the authority and limitations set forth at Article 46: MB Medium Intensity Business District, Section 46.4**

SECTION 4: *Article 54: LC Limited Commercial District* of the Zoning Code of the City of Newark, Ohio is hereby amended to include the following:

ARTICLE 54
LC LIMITED COMMERCIAL DISTRICT

54.4 CONDITIONAL USES

- 3. Medical marijuana AND ADULT USE dispensaries pursuant to the authority and limitations set forth at Article 46: MB Medium Intensity Business District, Section 46.4**

SECTION 5: *Article 56: GC General Commercial District* of the Zoning Code of the City of Newark, Ohio is hereby amended to include the following:

ARTICLE 56
GENERAL COMMERCIAL DISTRICT

56.4 CONDITIONAL USES

- 3. Medical marijuana AND ADULT USE dispensaries pursuant to the authority and limitations set forth at Article 46: MB Medium Intensity Business District, Section 46.4**

SECTION 6: *Article 60: DC Downtown District* of the Zoning Code of the City of Newark, Ohio, is hereby amended to include the following:

ARTICLE 60
DC DOWNTOWN DISTRICT

60.3 PROHIBITED USES

- 5. Medical marijuana dispensaries as defined at OAC 3796:1-1-01(13) AND ADULT USE DISPENSARIES AS DEFINED AT ORC 3780.01(A)(5)**
- 6. Medical marijuana cultivators as defined at OAC 3796:1-1-01(9) AND ADULT USE CULTIVATORS AS DEFINED AT ORC 3780.01(A)(4) AND 3780.01(A)(19)-(21).**
- 7. Medical marijuana processors as defined at OAC 3796:1-1-01(39) AND ADULT USE PROCESSORS AS DEFINED AT ORC 3780.01(A)(7).**

SECTION 7: *Article 64: Limited Industrial District* of the Zoning Code of the City of Newark, Ohio, is hereby amended to include the following:

ARTICLE 64
LI LIMITED INDUSTRIAL DISTRICT

64.2 PERMITTED USES

- ~~26. Medical marijuana cultivators as defined at OAC 3796:1-1-01(9) provided that such facility is in full and complete compliance with the requirements and restrictions of all applicable sections of the OAC and Ohio Revised Code as well as all applicable licensing and reporting requirements of the Codified Ordinances of the City of Newark, Ohio.~~
- ~~27. Medical marijuana processors as defined at OAC 3796:1-1-01(39) provided that such facility is in full and complete compliance with the requirements and restrictions of all applicable sections of the OAC and Ohio Revised Code as well as all applicable licensing and reporting requirements of the Codified Ordinances of the City of Newark, Ohio.~~

64.4 CONDITIONAL USES

5. **MEDICAL MARIJUANA DISPENSARIES AS DEFINED AT SECTION 3796:1-1-01 (13) OF THE OHIO ADMINISTRATIVE CODE (OAC) PROVIDED THAT (a) SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OAC AND OHIO REVISED CODE AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO AND (b) SUCH FACILITY IS NOT LOCATED WITHIN 1000 FEET OF A PARCEL OF REAL ESTATE HAVING SITUATED ON IT A SCHOOL, CHURCH, PUBLIC LIBRARY, PUBLIC PLAYGROUND, PUBLIC PARK OR COMMUNITY ADDICTION SERVICES PROVIDER AS DEFINED UNDER SECTION 5119.01 OF THE REVISED CODE.**

A VARIANCE FROM THE 1000 FEET DISTANCE RESTRICTION TO REDUCE SAID RESTRICTION BY NO MORE THAN 250 FEET DISTANCE MAY BE ISSUED BY THE BOARD OF ZONING APPEALS WITH A CONDITIONAL USE PERMIT.

6. **MEDICAL MARIJUANA CULTIVATORS AS DEFINED AT OAC 3796:1-1-01(9) PROVIDED THAT SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OAC AND OHIO REVISED CODE AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO.**
7. **MEDICAL MARIJUANA PROCESSORS AS DEFINED AT OAC 3796:1-1-01(39) PROVIDED THAT SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OAC AND OHIO REVISED CODE AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO.**
8. **ADULT USE DISPENSARIES AS DEFINED AT SECTION 3780.01(A)(5) OF THE OHIO REVISED CODE PROVIDED THAT (A) SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OHIO REVISED CODE, THE OHIO ADMINISTRATIVE CODE, AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO AND (B) SUCH FACILITY IS NOT LOCATED WITHIN 1,000 FEET OF A PARCEL OF REAL ESTATE HAVING SITUATED ON IT A SCHOOL, CHURCH, PUBLIC LIBRARY, PUBLIC PLAYGROUND, PUBLIC PARK OR COMMUNITY ADDICTION SERVICES PROVIDER AS DEFINED UNDER R.C. § 5119.01.**

A VARIANCE FROM THE 1,000 FEET DISTANCE RESTRICTION TO REDUCE SAID RESTRICTION BY NO MORE THAN 250 FEET DISTANCE MAY BE ISSUED BY THE BOARD OF ZONING APPEALS WITH A CONDITIONAL USE PERMIT.

9. **ADULT USE CULTIVATORS AS DEFINED AT ORC 3780.01(A)(4) AND 3780.01(A)(19)-(21) PROVIDED THAT SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OAC AND OHIO REVISED CODE AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO.**
10. **ADULT USE PROCESSORS AS DEFINED AT ORC 3780.01(A)(7) PROVIDED THAT SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE**

REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OAC AND THE OHIO REVISED CODE AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO.

64.6 DISTRICT STANDARDS

2. The combined square footage of the footprint of all buildings and structures on a given lot shall not be more than ~~twenty-five~~ **THIRTY-FIVE** percent of the lot area exclusive of any lot area in the floodway.

SECTION 8: *Article 66: GI General Industrial District* of the Zoning Code of the City of Newark, Ohio, is hereby amended to include the following:

ARTICLE 66 GI GENERAL INDUSTRIAL DISTRICT

66.4 CONDITIONAL USES

17. **MEDICAL MARIJUANA DISPENSARIES AS DEFINED AT SECTION 3796:1-1-01 (13) OF THE OHIO ADMINISTRATIVE CODE (OAC) PROVIDED THAT (a) SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OAC AND OHIO REVISED CODE AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO AND (b) SUCH FACILITY IS NOT LOCATED WITHIN 1000 FEET OF A PARCEL OF REAL ESTATE HAVING SITUATED ON IT A SCHOOL, CHURCH, PUBLIC LIBRARY, PUBLIC PLAYGROUND, PUBLIC PARK OR COMMUNITY ADDICTION SERVICES PROVIDER AS DEFINED UNDER SECTION 5119.01 OF THE REVISED CODE.**

A VARIANCE FROM THE 1000 FEET DISTANCE RESTRICTION TO REDUCE SAID RESTRICTION BY NO MORE THAN 250 FEET DISTANCE MAY BE ISSUED BY THE BOARD OF ZONING APPEALS WITH A CONDITIONAL USE PERMIT.

18. **MEDICAL MARIJUANA CULTIVATORS AS DEFINED AT OAC 3796:1-1-01(9) PROVIDED THAT SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OAC AND OHIO REVISED CODE AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO.**
19. **MEDICAL MARIJUANA PROCESSORS AS DEFINED AT OAC 3796:1-1-01(39) PROVIDED THAT SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OAC AND OHIO REVISED CODE AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO.**

20. ADULT USE DISPENSARIES AS DEFINED AT SECTION 3780.01(A)(5) OF THE OHIO REVISED CODE PROVIDED THAT (A) SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OHIO REVISED CODE, THE OHIO ADMINISTRATIVE CODE, AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO AND (B) SUCH FACILITY IS NOT LOCATED WITHIN 1,000 FEET OF A PARCEL OF REAL ESTATE HAVING SITUATED ON IT A SCHOOL, CHURCH, PUBLIC LIBRARY, PUBLIC PLAYGROUND, PUBLIC PARK OR COMMUNITY ADDICTION SERVICES PROVIDER AS DEFINED UNDER R.C. § 5119.01.

A VARIANCE FROM THE 1,000 FEET DISTANCE RESTRICTION TO REDUCE SAID RESTRICTION BY NO MORE THAN 250 FEET DISTANCE MAY BE ISSUED BY THE BOARD OF ZONING APPEALS WITH A CONDITIONAL USE PERMIT.

21. ADULT USE CULTIVATORS AS DEFINED AT ORC 3780.01(A)(4) AND 3780.01(A)(19)-(21) PROVIDED THAT SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OAC AND OHIO REVISED CODE AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO.

22. ADULT USE PROCESSORS AS DEFINED AT ORC 3780.01(A)(7) PROVIDED THAT SUCH FACILITY IS IN FULL AND COMPLETE COMPLIANCE WITH THE REQUIREMENTS AND RESTRICTIONS OF ALL APPLICABLE SECTIONS OF THE OAC AND THE OHIO REVISED CODE AS WELL AS ALL APPLICABLE LICENSING AND REPORTING REQUIREMENTS OF THE CODIFIED ORDINANCES OF THE CITY OF NEWARK, OHIO.

66.6 DISTRICT STANDARDS

2. The combined square footage of the footprint of all buildings and structures on a given lot shall not be more than ~~twenty-five~~ **THIRTY-FIVE** percent of the lot area exclusive of any lot area in the floodway.

SECTION 9: The Tables of Content of the Zoning Code of the City of Newark, Ohio, are hereby amended to reflect the modifications made by this Ordinance.

SECTION 10: All other sections of the Zoning Code of the City of Newark, Ohio, not specifically addressed within this Ordinance shall remain in full force and effect as written.

SECTION 11: This Ordinance shall take effect upon full compliance with the procedures set forth at Article 4.12 and then on the earliest date allowed by Article 4.07 of the Charter of the City of Newark and remain in full force and effect thereafter.

Passed this _____ day of _____, _____.

PRESIDENT OF COUNCIL

ATTEST: _____
CLERK OF COUNCIL

DATE FILED WITH MAYOR: _____

DATE APPROVED BY MAYOR: _____

MAYOR

APPROVED AS TO FORM: _____
TRICIA M. MOORE
DIRECTOR OF LAW

Prepared by the Office of the Director of Law

ORDINANCE NO. 24-15

BY: _____

AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS 417 GARFIELD AVENUE, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID# 054-196872-00.000, FROM THAT OF SINGLE-FAMILY RESIDENCE RH – HIGH DENSITY DISTRICT TO TFR – TWO-FAMILY RESIDENCE DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO.

WHEREAS, an application for change of zoning classification has been filed with the Office of the Engineer and with the Clerk of this Council; and

WHEREAS, pursuant to Article 4.12 of the Charter of the City of Newark, Ohio, this ordinance shall be referred to the Planning Commission immediately after its first reading; and

WHEREAS, the Planning Commission shall hold a public hearing upon such application and the Clerk of Council shall cause notice of such hearing to be publicized one time at least seven (7) days prior to the date of such public hearing; and

WHEREAS, upon the return of the ordinance to Council by the Planning Commission, Council shall hold a public hearing upon such application and the Clerk of Council shall cause notice of such hearing to be publicized one time at least seven (7) days prior to the date of such public hearing, which hearing shall constitute a second reading of this ordinance and shall take such action as is appropriate pursuant to Article 4.12 of the Charter of the City of Newark, Ohio.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF NEWARK, COUNTY OF LICKING, AND STATE OF OHIO, THAT:

Section 1: The zoning map as established by Ordinance 08-33 (A) is hereby revised by changing the zoning classification for the following described property from SINGLE-FAMILY RESIDENCE RH – HIGH DENSITY DISTRICT TO TFR – TWO-FAMILY RESIDENCE DISTRICT, Zoning Code of the City of Newark.

SEE EXHIBIT "A" FOR LEGAL DESCRIPTION

Section 2: Pursuant to Article 4.12(C) of the Charter of the City of Newark, Ohio, a vote of at least six (6) members shall be necessary to adopt or defeat the ordinance in the event the Planning Commission has recommended approval or has made no recommendation. An affirmative vote of at least seven (7) Council members shall be necessary to adopt a zoning ordinance that the Planning Commission has recommended against approval.

Section 3: The Newark Planning Commission is hereby authorized and directed to make the change described herein on the aforementioned zoning map.

Section 4: This ordinance shall become effective at the earliest time permitted by Section 4.07 of the Charter of the City of Newark, Ohio.

Passed this _____ day of _____, 20__.

PRESIDENT OF COUNCIL

ATTEST: _____
Clerk of Council

DATE FILED WITH MAYOR: _____

DATE APPROVED BY MAYOR: _____

MAYOR

FORM APPROVED: 

Director of Law

DESCRIPTION APPROVED: _____
Brian Morehead, Engineer

Prepared by the Office of the Director of Law



Planning Commission
 c/o Engineering Dept.
 40 West Main St, 2nd Floor
 Newark, Ohio 43055
 (740) 670-7727
 (740)349-5911 Fax

City of Newark
Planning Commission
Zoning District Change Application

Zoning Title # _____
 PC Application # PC-24-03
 Date Received: 2/27/24
 Received by: SEC
 Amount Due: \$300.00
 Paid By: (circle one)
 Check # 3830 Cash
 Receipt # _____

CITY OF NEWARK, OHIO | PLANNING COMMISSION

Rev 8/13

District Change District Establishment (Newly Annexed)

Owner

Property Owner: MID OHIO PROPERTY MANAGEMENT Telephone: 740-403-7162
 Address: P.O. BOX 4547 E-mail: MIDOPM LLC @GMAIL.COM
 City: NEWARK State: OH Zip: 43058 Fax: _____

I would prefer to have agendas mailed rather than e-mailed

Applicant/Representative

Representative: JAMES R. HOELSTRA Same as above Telephone: 740-403-7162
 Address: _____ E-mail: _____
 City: _____ State: _____ Zip: _____ Fax: _____

I would prefer to have agendas mailed rather than e-mailed

Property Location

Street Address: 417 GARFIELD AVE, NEWARK, OH 43055
 Parcel Tax ID #: 054-190872-00,000 Number of Acres: 0.2290
 Lot Number: (if applicable) 3864 / 3865 Property Platted? Yes No

District Classification

(Zoning Code 08-33, see www.newarkohio.net)

Present Zoning District:

- AD Agricultural
- CD Conservation
- CSI Church School Institutional
- DC Downtown
- GB General Business
- GC General Commercial
- GI General Industrial
- GO General Office
- HB High Intensity Business
- LB Limited Intensity Business
- LC Limited Commercial
- LI Limited Industrial
- LO Limited Office
- MB Medium Intensity Business
- MFC Multi-Family Condo
- MFH Multi-Family High Rise
- MFR Multi-Family Residence
- Overlay Historic
- Planned Unit Development
- RMH Single-Family Residence Manufactured Home
- Single-Family Residence (Circle one)
RS-Suburban RL-Low Density RM-Medium Density RH-High Density
- RZL Single-Family Residence Zero Lot Line
- SFC Single-Family Condo
- TFR Two-Family Residence

Proposed Zoning District:

- AD Agricultural
- CD Conservation
- CSI Church School Institutional
- DC Downtown
- GB General Business
- GC General Commercial
- GI General Industrial
- GO General Office
- HB High Intensity Business
- LB Limited Intensity Business
- LC Limited Commercial
- LI Limited Industrial
- LO Limited Office
- MB Medium Intensity Business
- MFC Multi-Family Condo
- MFH Multi-Family High Rise
- MFR Multi-Family Residence
- Overlay Historic
- Planned Unit Development
- RMH Single-Family Residence Manufactured Home
- Single-Family Residence (Circle one)
RS-Suburban RL-Low Density RM-Medium Density RH-High Density
- RZL Single-Family Residence Zero Lot Line
- SFC Single-Family Condo
- TFR Two-Family Residence

Property Use

Present Use:

Proposed Use:

Additional Comments

Reason For Request:

Required Documentation and Process Overview

- Complete Application Form – must include the notarized signature of the property owner. If a notarized signature is not present, attach an Authorization Letter from the property owner, giving the Representative permission to act on his/her behalf.
- Obtain a Tax Map and Auditor's Parcel Numbers of the parcels to be re-zoned
Note: Tax Maps can be provided by the Engineering Department during the Engineering Review.
- Obtain a Legal Description of parcels to be re-zoned. (typically a survey description or valid deed description)
Note: Legal Description must be reviewed and stamped approved during the Engineering Review.
- Obtain a Parcel Drawing or Map showing the location of all buildings on the parcels
Note: Aerial maps can be provided by the Engineering Department during the Engineering Review.
- Call the Newark City Engineering Department to schedule an Engineering Review
Newark City Engineering Department - 40 W. Main Street (2nd Floor). (740) 670-7727
Note: The Engineering/ Zoning Authorization Signature must be obtained prior to Application processing-See Office Use below.
- Submit Application and required documentation
Newark City Engineering Department - 40 W. Main Street (2nd Floor)
Note: A \$300 Application Fee must accompany this Application. Make check payable to "City of Newark".
- Attend the Planning Commission Meetings and Council Meetings
Newark City Council Chambers, 40 W. Main Street (1st Floor).
Note: be prepared to answer Planning Commission and Council Members' questions regarding your application

Owner Acknowledgement

I hereby certify that the information provided in this application is true and factual to the best of my knowledge.

Property Owner Signature: [Signature]

Sworn and subscribed before me this 26 day of February.

My Commission Expires: 08/05/2024



Notary Public

Engineering/Zoning Authorization – Office Use Only

Approved

Denied

Approved with Conditions

Engineering Signature: [Signature]

Date: 4/5/2024

Comments/Conditions: Description Approved for zoning purposes.

Planning Commission Recommendation to Council – Office Use Only

Approved

Denied

Approved with Conditions

Planning Director Signature: _____

Date: _____

Conditions: _____

After Planning Commission Recommendation:

- Contact the Clerk of Council regarding Council Public Hearing and Final Vote dates.
Clerk of Council's Office 40 W Main St (2nd Floor-Mayor's Office) (740) 670-7516.

DESCRIPTION APPROVED
JARED N. KNERR
LICKING COUNTY ENGINEER

Approved By JW Sep 22, 2022
0212120123A254108000
0212120123A254109000

TRANSFERRED

Sep 22, 2022
Michael L. Smith
LICKING COUNTY AUDITOR
SEC 319.902 COMPLIED WITH
MICHAEL L. SMITH
By: TG 240.00

InstID:202209120013899	9/22/2022
Pages:2	F: 534.00 9:27 AM
Bryan A. Long	T20220024596
Licking County Recorder	

AMBASSADOR TITLE MAILBOX
19782

GENERAL WARRANTY DEED*
(See Sections 5302.05 and 5302.06 of Ohio Revised Code)

C.J.W. Limited, an Ohio Limited Liability Company, organized and existing under the laws of the State of Ohio, for valuable consideration paid, grants, with general warranty covenants, to **Mid Ohio Property Management, LLC**, an Ohio Limited Liability Company, the following REAL PROPERTY:

Situated in the State of Ohio, County of Licking, and in the City of Newark and being further described as follows:

PARCEL NO. 1: Being Inlot Thirty-Eight Hundred Sixty-Four (3864) in Augustus H. Heisey's Addition to the City of Newark, Ohio, according to a plat thereof recorded in Volume 3, page 254, of the Records of Plat in the Recorder's Office of said County.

PARCEL NO. 2: Being Inlot Thirty-Eight Hundred Sixty-Five (3865) in Augustus H. Heisey's Addition to the City of Newark, Ohio, according to a plat thereof recorded in Volume 3, page 254, of the Records of Plat in the Recorder's Office of said County.

Parcel No: 054-196872-00.000
Property Address: 417 Garfield Avenue, Newark, OH 43055

EXCEPT real estate taxes and special assessments, if any, which grantors and grantees respectively shall pay pro-rata, as estimated to and from the date of closing and SUBJECT to restrictions, easements, rights of way and leases of record.

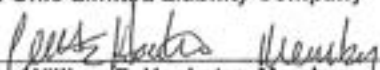
Prior Instrument Reference: Instrument #200207230027116 of the Records of Licking County, Ohio.

C.J.W. Limited, an Ohio Limited Liability Company, grantor has caused its name to be subscribed hereto by William E. Hoekstra, Member, thereunto duly authorized by its Members.

Description
APPROVED *Fuz Zovino*
By *Tom Wood 4/5/24*
Div. of Engineering
City of Newark, Ohio

Executed on this 20th day of September, 2022.

C.J.W. Limited,
an Ohio Limited Liability Company


by: William E. Hoekstra, Member

State of Ohio, County of Licking, ss:

This is an acknowledgement clause. No oath or affirmation was administered to the signer:

Before me, a Notary Public in and for said County and State, personally appeared William E. Hoekstra, Member of C.J.W. Limited, an Ohio Limited Liability Company, whose identity was known or proven to me and who did sign the foregoing instrument and acknowledge the signing hereof to be his voluntary act and deed.

IN TESTIMONY THEREOF, I have hereunto set my hand and official seal at Newark, Ohio, this 20th day of September, 2022.


Notary Public

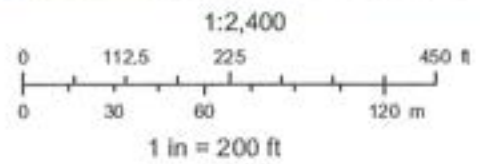


KEANIE C WARTH
Notary Public, State of Ohio
My Commission Expires 09-29-2025

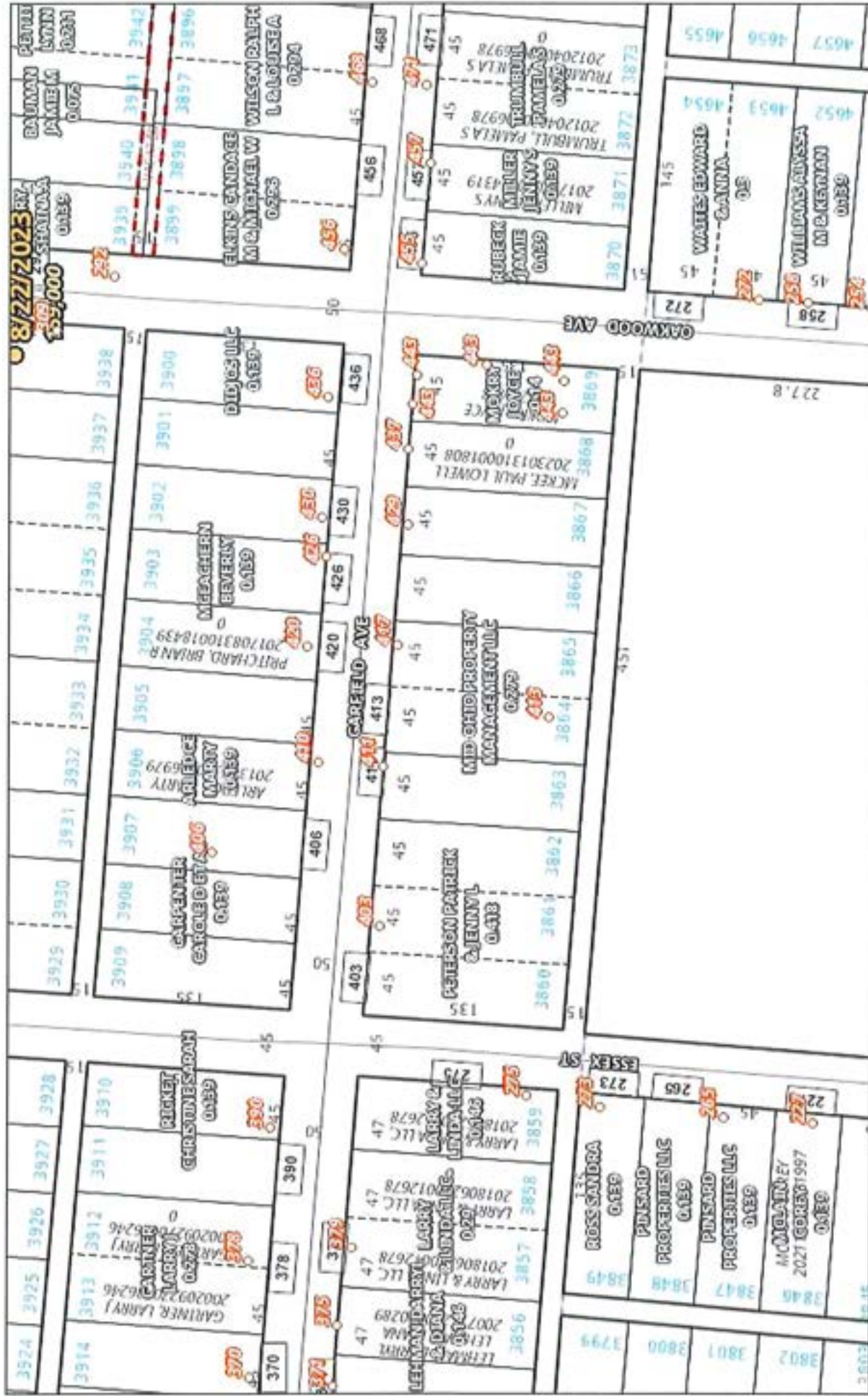
This instrument prepared by: Robin Lyn Green, Attorney at Law



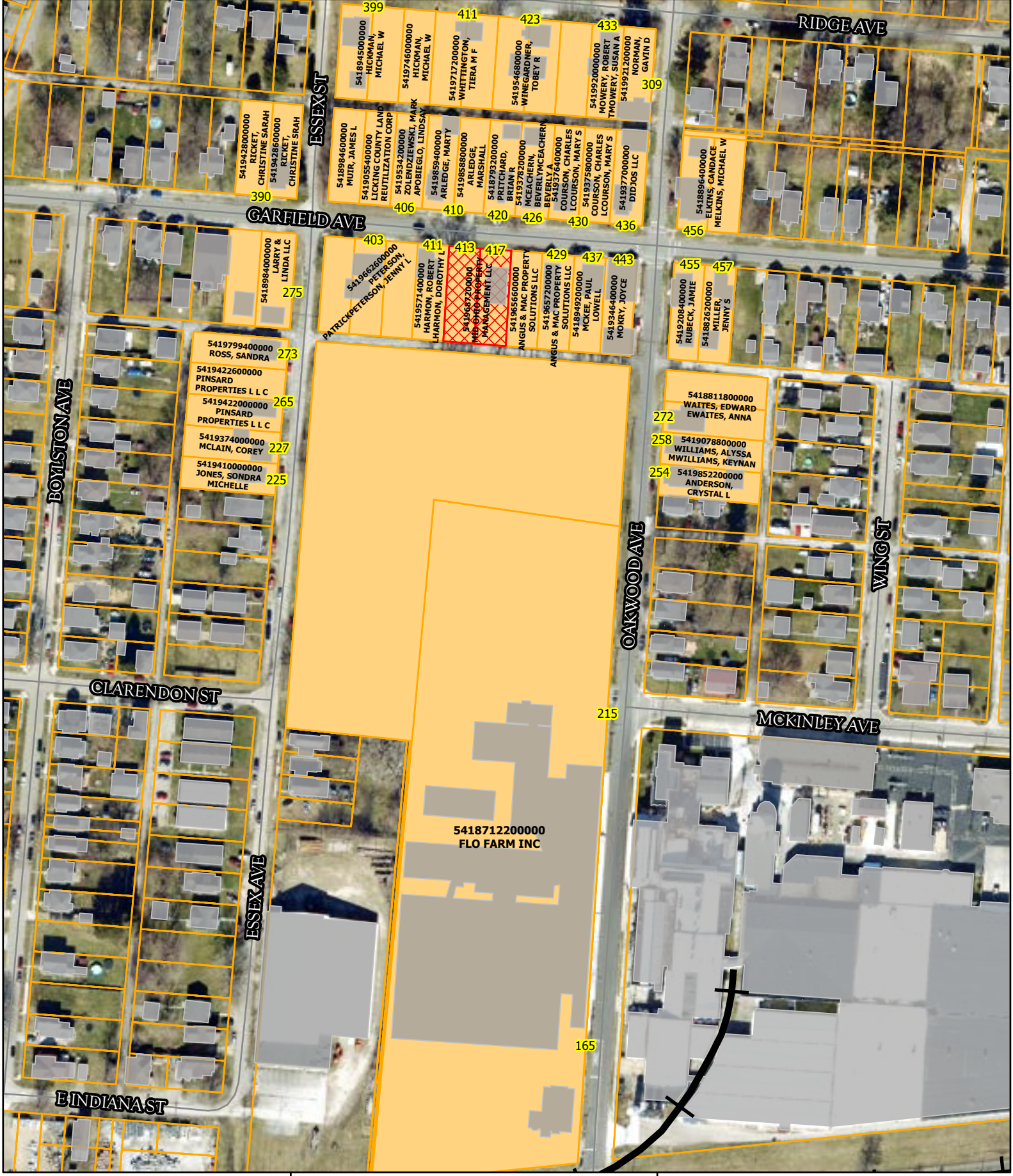
April 5, 2024



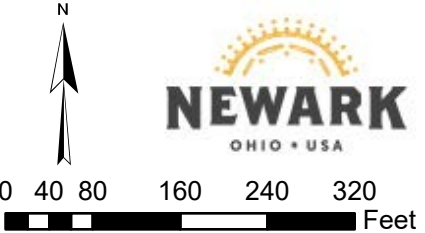
OnTrac Property Map








- February 28, 2024
- Street Number Only
- Sales - 2024
- Sales - 2023
- Owner Name & Acres
- Centerline Labels
- Interstate/US/State Route
- Other Road Type
- Municipal Corporations
- County road (94 Feet)
- Township road (0.02 Miles)
- Interstates



417 GARFIELD AVE
 APRIL 9, 2024



Legend

	BUILDING OUTLINES		PROPOSED VARIANCE WITHIN 300FT
	RAILROAD		PARCELS
	PROPOSED VARIANCE		



DAVID RHODES
NEWARK CITY
DIRECTOR OF PUBLIC SERVICE

City Hall
40 West Main Street
Newark, Ohio 43055-5531
www.newarkohio.net

(740) 670-7703
drhodes@newarkohio.net

July 9, 2024

RE: APPLICATION NO. PC-24-13 for Zoning District Change

Location: 417 Garfield Ave.

Current Zoning Classification: Single-Family Residence, RH – High Density District

Requested Zoning Classification: TFR – Two-Family Residence

Owner/Applicant: Mid Ohio Property Management LLC / James R. Hoekstra

Re: **24-15** AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS 417 GARFIELD AVENUE, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID# 054-196872-00.000, FROM THAT OF SINGLE-FAMILY RESIDENCE RH – HIGH DENSITY DISTRICT TO TFR – TWO-FAMILY RESIDENCE DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO.

Ladies and Gentlemen:

A Public Hearing was held by the City of Newark Planning Commission on Tuesday, June 11, 2024.

Upon consideration of the information presented, the following actions are recommended:

1. The planning commission believes the best course is for the property to remain the way it is zoned. With the size of the lot a split could be completed and a single-family home could be built on the other lot. Therefore, the planning commission is not preventing the owner from maximizing the use of the property.

Sincerely,

David Rhodes
Newark City Planning Commission Director

Cc: Law Director
Zoning Inspector
City Engineer

ORDINANCE NO. 24-17

BY: 

AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS 842 JEWETT AVENUE, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID #054-219432-00.000, 054-219468-00.000, 054-219486-00.000, 054-219402-00.000 AND 054-219408-00.000 FROM THAT OF SINGLE-FAMILY RESIDENCE – RH-HIGH DENSITY ZONING DISTRICT TO GC – GENERAL COMMERCIAL DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO.

WHEREAS, an application for zoning classification has been filed with Council; and

WHEREAS, pursuant to Article 4.12 of the Charter of the City of Newark, Ohio, this ordinance shall be referred to the Planning Commission immediately after its first reading; and

WHEREAS, the Planning Commission shall hold a public hearing upon such application and the Clerk of Council shall cause notice of such hearing to be publicized one time at least seven (7) days prior to the date of such public hearing; and

WHEREAS, upon the return of the ordinance to Council by the Planning Commission, council shall cause a second reading to be made of this ordinance and shall take such action as is appropriate pursuant to Article 4.12 of the Charter of the City of Newark, Ohio.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF NEWARK, COUNTY OF LICKING, AND STATE OF OHIO, THAT:

Section 1: The zoning map as established by Ordinance 08-33 (A) is hereby revised by changing the zoning classification for the following described property from SINGLE-FAMILY RESIDENCE – RH-HIGH DENSITY ZONING DISTRICT TO GC – GENERAL COMMERCIAL DISTRICT, Zoning Code of the City of Newark.

SEE EXHIBIT "A" FOR LEGAL DESCRIPTION

Section 2: Pursuant to Article 4.12(C) of the Charter of the City of Newark, Ohio, a vote of at least six (6) members shall be necessary to adopt or defeat the ordinance in the event the Planning Commission has recommended approval or has made no recommendation. An affirmative vote of at least seven (7) Council members shall be necessary to adopt a zoning ordinance that the Planning Commission has recommended against approval.

Section 3: The Newark Planning Commission is hereby authorized and directed to make the change described herein on the aforementioned zoning map.

Section 4: This ordinance shall become effective at the earliest time permitted by Section 4.07 of the Charter of the City of Newark, Ohio.

Passed this _____ day of _____, 20__.

PRESIDENT OF COUNCIL

ATTEST: _____
Clerk of Council

DATE FILED WITH MAYOR: _____

DATE APPROVED BY MAYOR: _____

MAYOR

FORM APPROVED: _____
Director of Law

DESCRIPTION APPROVED: _____
Brian Morehead, Engineer

Prepared by the Office of the Director of Law



Planning Commission
 c/o Engineering Dept.
 40 West Main St, 2nd Floor
 Newark, Ohio 43055
 (740) 670-7727
 (740)349-5911 Fax

City of Newark

Planning Commission

Zoning District Change Application

Zoning File # _____
 PC Application # PC-24-19
 Date Received: 4-12-24
 Received by: P. Kemp
 Amount Due: \$300.00 ✓
 Paid By: (circle one)
 Check # 1495 Cash
 Receipt # 162909

CITY OF NEWARK, OHIO | PLANNING COMMISSION

Rev 8/13

<input checked="" type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
Owner			
Property Owner: <u>Kevin R Hall</u>		Telephone: <u>740-403-6610</u>	
Address: <u>P.O. Box 805</u>		E-mail: <u>Canalrents@gmail.com</u>	
City: <u>Newark</u>	State: <u>Oh</u>	Zip: <u>43058</u>	Fax: _____
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/>			
Applicant/Representative			
Representative: _____		Same as above <input checked="" type="checkbox"/>	Telephone: _____
Address: _____		E-mail: _____	
City: _____	State: _____	Zip: _____	Fax: _____
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/> Flood: X			
Property Location			
Street Address: <u>842 Jewett ave Newark Oh 43055</u>			
Parcel Tax ID #: <u>054219(432)(468)(486)(402)</u>		Number of Acres: <u>.76</u>	
Lot Number: (if applicable) <u>300-296 (408)</u>		Property Platted? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
District Classification (Zoning Code 08-33, see www.newark.ohio.net)			
Present Zoning District:		Proposed Zoning District:	
<input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input checked="" type="checkbox"/> Single-Family Residence (Circle one) RS-Suburban RL-Low Density RM-Medium Density <u>RH-High Density</u> <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence		<input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input checked="" type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input checked="" type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input type="checkbox"/> Single-Family Residence (Circle one) RS-Suburban RL-Low Density RM-Medium Density RH-High Density <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence	

Property Use

Present Use: STORAGE

Proposed Use: 54.2, 10

Contracting Building trades business

Additional Comments

Reason For Request:

Required Documentation and Process Overview

- Complete Application Form – must include the notarized signature of the property owner. If a notarized signature is not present, attach an Authorization Letter from the property owner, giving the Representative permission to act on his/her behalf.
- Obtain a Tax Map and Auditor's Parcel Numbers of the parcels to be re-zoned
Note: Tax Maps can be provided by the Engineering Department during the Engineering Review.
- Obtain a Legal Description of parcels to be re-zoned. (typically a survey description or valid deed description)
Note: Legal Description must be reviewed and stamped approved during the Engineering Review.
- Obtain a Parcel Drawing or Map showing the location of all buildings on the parcels
Note: Aerial maps can be provided by the Engineering Department during the Engineering Review.
- Call the Newark City Engineering Department to schedule an Engineering Review
Newark City Engineering Department - 40 W. Main Street (2nd Floor). (740) 670-7727
Note: The Engineering/ Zoning Authorization Signature must be obtained prior to Application processing-See Office Use below.
- Submit Application and required documentation
Newark City Engineering Department - 40 W. Main Street (2nd Floor)
Note: A \$300 Application Fee must accompany this Application. Make check payable to "City of Newark".
- Attend the Planning Commission Meetings and Council Meetings
Newark City Council Chambers, 40 W. Main Street (1st Floor).
Note: be prepared to answer Planning Commission and Council Members' questions regarding your application

Owner Acknowledgement

I hereby certify that the information provided in this application is true and factual to the best of my knowledge.

Property Owner Signature: *R. Ronald*

Date: 4-12-24

Sworn and subscribed before me this 12th day of April

My Commission Expires: Jan 30 2028



JADE DEBOLT
Notary Public
State of Ohio
My Comm. Exp. January 30, 2028

Engineering/Zoning Authorization – Office Use Only

Approved

Denied

Approved with Conditions

Engineering Signature: *Bruce Mitchell*

Date: 4/30/2024

Comments/Conditions: Description approved for zoning purposes.

Planning Commission Recommendation to Council – Office Use Only

Approved

Denied

Approved with Conditions

Planning Director Signature: _____ Date: _____

Conditions: _____

After Planning Commission Recommendation:

- Contact the Clerk of Council regarding Council Public Hearing and Final Vote dates.
Clerk of Council's Office 40 W Main St (2nd Floor-Mayor's Office) (740) 670-7516.

GENERAL WARRANTY DEED
(R.C. 5302.05 and 5302.06)

KNOW ALL MEN BY THESE PRESENTS, that **Evelyn L. Winegardner, unmarried** of Licking County, for valuable consideration paid, grant(s), with general warranty covenants, to **Kevin R. Hall**

whose tax mailing address is 4721 North Bank, Beechey Lake, OH 43008

the following real property situated in the City of Newark, County of Licking, State of Ohio:

Being Lots 296, 297, 298, 299 and 300, in Wells and Miller Park Addition to the City of Newark, as recorded in Volume 4, page 29, of the Plat Records of Licking County, Ohio. Each of the previous five lots are further described as including any and all right, title and interest in the following vacated alleys: The North half of the Vacated Alley, Ord #72-42 lying South of said lots. Also, the East half of the Vacated Alley, Ord. #81-12, lying West of Lot 300.

Parcel No.: 054-219432-00.000 and 054-219468-00.000 and 054-219486-00.000 and 054-219402-00.000 and 054-219408-00.000

Property Address: 842 Jewett Avenue, Newark, OH 43055

Prior Instrument Reference: Recorded in Instrument No. 202108270026080 and Instrument No. 201511120024605 Recorder's Office, Licking County, Ohio.

Except for the following and subject to all of which this conveyance is made: legal highways; zoning ordinances; real estate taxes and assessments which are now or may hereafter become a lien on said premises; covenants, conditions, restrictions and easements of record; and all coal, oil, gas, and other mineral rights and interests previously transferred or reserved of record.

Executed this 3rd day of March, 2023.

Description For Zoning Purposes
APPROVED
By [Signature]
Div. of Engineering
City of Newark, Ohio

Grantor(s): Evelyn L. Winegardner
A. J. Winegardner ATTORNEY IN FACT
Evelyn L. Winegardner by Alan J. Winegardner
as Attorney In Fact

State of Ohio
County of Licking

The foregoing instrument was acknowledged before me freely this March 3rd 2023 by **Alan J. Winegardner as attorney-in-fact for Evelyn L. Winegardner.**

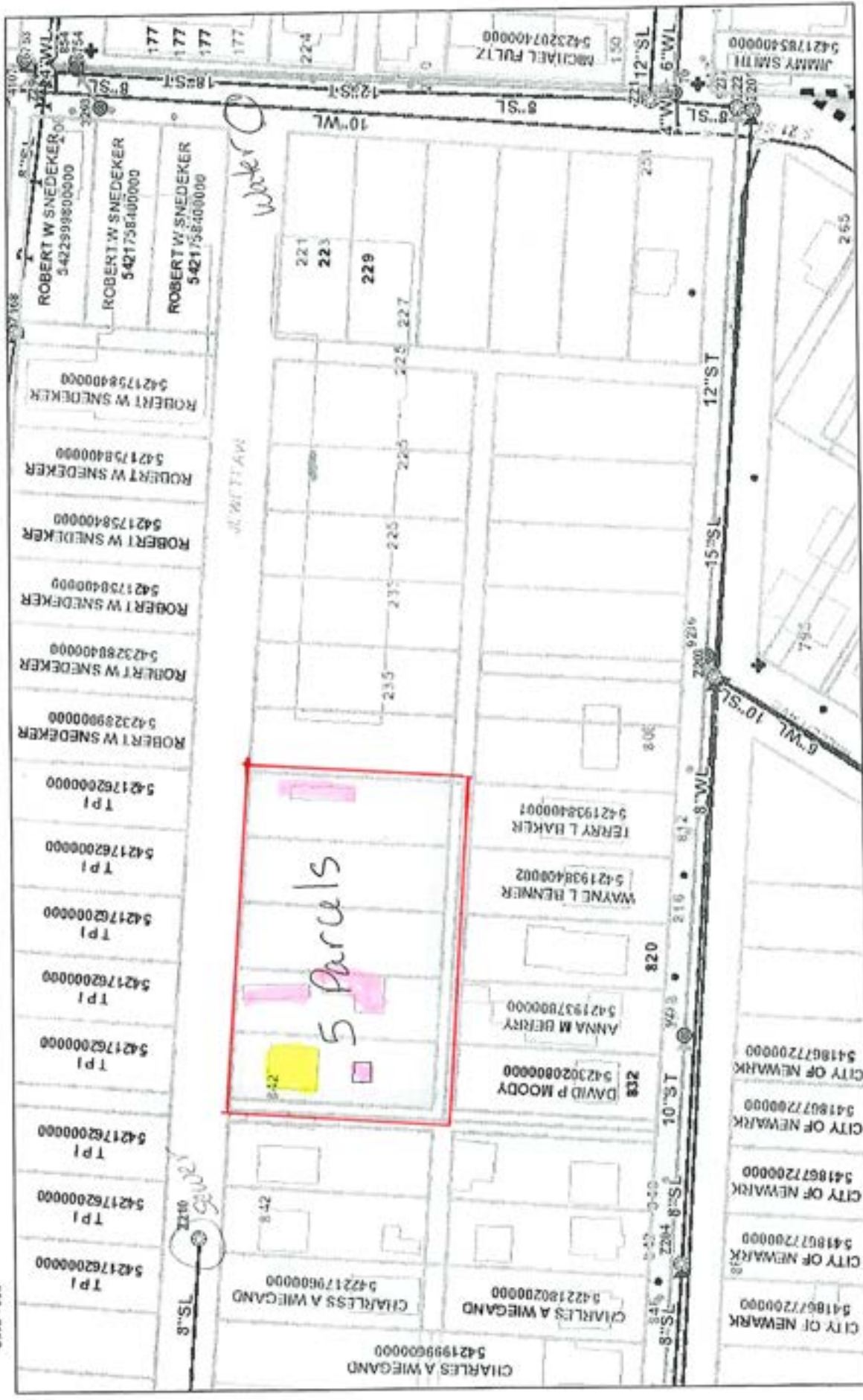


KRISTA A. PAUL
Notary Public, State of Ohio
My Commission Expires
February 4, 2025

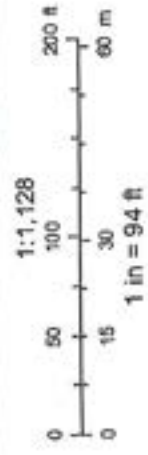
[Signature]
Notary Public:
Notary County/State: /
County Acting In:
Commission Expires:

This instrument was prepared by:
Theodore J. Bush, Esq.
809 White Pond Drive, Suite C
Akron, OH 44320

File Number: 2772383NE



5 Parcels





842 JEWETT AVE
 MAY 24, 2024

Legend

- BUILDING OUTLINES
- RAILROAD
- PROPOSED VARIANCE WITHIN 300FT
- PARCELS
- CITY LIMITS
- PROPOSED VARIANCE

OnTrac Property Map



April 4, 2024

- Street Number Only

 94 Feet

 County road

 Driveway
 - Sales - 2024

 0.02 Miles

 Township road

 Interstates
 - Sales - 2023

 Other Road Type

 Municipal Corporations
- Licking County Auditor GIS

OnTrac Property Map



April 12, 2024

- Street Number Only

 Owner Name & Acres

 47 Feet

 County road

 Driveway
- Sales - 2024

 Township road

 Interstates
- Sales - 2023

 Other Road Type

 Municipal Corporations

LICKING COUNTY TAX MAP

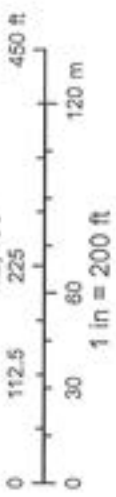
Licking County Auditor GIS



Proposed Zoning Change - 842 Jewett Ave



4/30/2024



- Addresses
- Parcels
- City Limits
- Planned Unit Developments
- Current Township Borders

GENERAL WARRANTY DEED
(R.C. 5302.05 and 5302.06)

KNOW ALL MEN BY THESE PRESENTS, that **Evelyn L. Winegardner, unmarried** of Licking County, for valuable consideration paid, grant(s), with general warranty covenants, to **Kevin R. Hall**

whose tax mailing address is 4721 North Bank, Buckeye Lake, OH 43008

the following real property situated in the City of Newark, County of Licking, State of Ohio:

Being Lots 296, 297, 298, 299 and 300, in Wells and Miller Park Addition to the City of Newark, as recorded in Volume 4, page 29, of the Plat Records of Licking County, Ohio. Each of the previous five lots are further described as including any and all right, title and interest in the following vacated alleys: The North half of the Vacated Alley, Ord #72-42 lying South of said lots. Also, the East half of the Vacated Alley, Ord. #81-12, lying West of Lot 300.

Parcel No.: 054-219432-00.000 and 054-219468-00.000 and 054-219486-00.000 and 054-219402-00.000 and 054-219408-00.000

Property Address: 842 Jewett Avenue, Newark, OH 43055

Prior Instrument Reference: Recorded in Instrument No. 202108270026080 and Instrument No. 201511120024605 Recorder's Office, Licking County, Ohio.

Except for the following and subject to all of which this conveyance is made: legal highways; zoning ordinances; real estate taxes and assessments which are now or may hereafter become a lien on said premises; covenants, conditions, restrictions and easements of record; and all coal, oil, gas, and other mineral rights and interests previously transferred or reserved of record.

Executed this 3rd day of March, 2023.

Description for zoning purposes
APPROVED
By [Signature]
Div. of Engineering
City of Newark, Ohio

Grantor(s): Evelyn L. Winegardner
A. J. Winegardner Attorney In Fact
Evelyn L. Winegardner by Alan J. Winegardner
as Attorney In Fact

State of Ohio
County of Licking

The foregoing instrument was acknowledged before me freely this March 3rd 2023 by **Alan J. Winegardner as attorney-in-fact for Evelyn L. Winegardner.**



KRISTA A. PAUL
Notary Public, State of Ohio
My Commission Expires
February 4, 2025

[Signature]
Notary Public:
Notary County/State: /
County Acting In:
Commission Expires:

This instrument was prepared by:
Theodore J. Bush, Esq.
809 White Pond Drive, Suite C
Akron, OH 44320

File Number: 2772383NE

GENERAL WARRANTY DEED

(R.C. 5302.05 and 5302.06)

KNOW ALL MEN BY THESE PRESENTS, that **Evelyn L. Winegardner, unmarried** of Licking County, for valuable consideration paid, grant(s), with general warranty covenants, to **Kevin R. Hall**

whose tax mailing address is 4721 North Bank, Buckeye Lake, OH 43008

the following real property situated in the City of Newark, County of Licking, State of Ohio:

Being Lots 296, 297, 298, 299 and 300, in Wells and Miller Park Addition to the City of Newark, as recorded in Volume 4, page 29, of the Plat Records of Licking County, Ohio. Each of the previous five lots are further described as including any and all right, title and interest in the following vacated alleys: The North half of the Vacated Alley, Ord #72-42 lying South of said lots. Also, the East half of the Vacated Alley, Ord. #81-12, lying West of Lot 300.

Parcel No.: 054-219432-00.000 and 054-219468-00.000 and 054-219486-00.000 and 054-219402-00.000 and 054-219408-00.000

Property Address: 842 Jewett Avenue, Newark, OH 43055

Prior Instrument Reference: Recorded in Instrument No. 202108270026080 and Instrument No. 201511120024605 Recorder's Office, Licking County, Ohio.

Except for the following and subject to all of which this conveyance is made: legal highways; zoning ordinances; real estate taxes and assessments which are now or may hereafter become a lien on said premises; covenants, conditions, restrictions and easements of record; and all coal, oil, gas, and other mineral rights and interests previously transferred or reserved of record.

Executed this 3rd day of March, 2023.

Grantor(s): Evelyn L. Winegardner
A. J. Winegardner ATTORNEY IN FACT
Evelyn L. Winegardner by Alan J. Winegardner
as Attorney In Fact

State of Ohio
County of Licking

The foregoing instrument was acknowledged before me freely this March 3rd 2023 by **Alan J. Winegardner as attorney-in-fact for Evelyn L. Winegardner.**



KRISTA A. PAUL
Notary Public, State of Ohio
My Commission Expires
February 4, 2025

Krista A. Paul
Notary Public:
Notary County/State: /
County Acting In:
Commission Expires:

This instrument was prepared by:
Theodore J. Bush, Esq.
809 White Pond Drive, Suite C
Akron, OH 44320

File Number: 2772383NE



DAVID RHODES
NEWARK CITY
DIRECTOR OF PUBLIC SERVICE

City Hall
40 West Main Street
Newark, Ohio 43055-5531
www.newarkohio.net

(740) 670-7703
drhodes@newarkohio.net

July 9, 2024

RE: APPLICATION NO. PC-24-19 for Zoning District Change

Location: 842 Jewett Ave.

Current Zoning Classification: Single-Family Residence, RH – High Density District

Requested Zoning Classification: GC - General Commercial

Owner/Applicant: Kevin R. Hall

Re: **24-17** AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS 842 JEWETT AVENUE, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID #054-219432-00.000, 054-219468-00.000, 054-219486-00.000, 054-219402-00.000 AND 054-219408-00.000 FROM THAT OF SINGLE-FAMILY RESIDENCE – RH-HIGH DENSITY ZONING DISTRICT TO GC – GENERAL COMMERCIAL DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO.

Ladies and Gentlemen:

A Public Hearing was held by the City of Newark Planning Commission on Tuesday, June 11, 2024.

Upon consideration of the information presented, the following actions are recommended:

1. The zoning classification for the parcel at 842 Jewett Ave. shall be changed to LC - Limited Commercial District. Ordinance 24-17 is recommended for passage and approval by Council.

Sincerely,

David Rhodes
Newark City Planning Commission Director

Cc: Law Director
Zoning Inspector
City Engineer



CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT

JULY 9, 2024 PLANNING COMMISSION MEETING

Application:

1. *PC FILE 24-29: SITE PLAN FOR NEW TAKE 5 OIL CHANGE SITE, 1200 NORTH 21ST STREET*

Staff Report & Recommendations:

Overview:

The applicant intends to build a new 1716 S.F. building on the site of a previous veterinarian clinic.

The Site Plan Review Committee submitted comments on 5/9/2024 regarding this application. Reviewers included:

- Mark Mauter, Development Director
- Brandon Metzger, Fire Chief
- Aaron Holman, NFD
- Erik McKee, Police Chief
- Craig Riley, Deputy Police Chief
- Brandon Fox, Utilities Superintendent
- Adam Bernard, Utilities Engineer
- Lindsey Brighton, Stormwater Utility
- Nick Shultz, Street and Traffic Engineer
- Don Hiltner, Senior Engineer
- Brian Morehead, City Engineer
- George Carter, Zoning Inspector

A. Zoning District:

This site is zoned Medium Intensity Business District (MB); the proposed use is a permitted use.

Flood Zones: This structure is not located in the 100-year Floodplain Area.

B. Safety Division Review:

The Police and Fire Divisions have no issues with the proposed development.

C. Height Restrictions:

The proposed building meets the requirements of the MB District.

D. Lot Area & Setbacks:

Parcel is approximately 21,245 S.F. +/-, with 8% building coverage, which meets the lot density requirement of 35% maximum coverage.

The setbacks meet the code requirements for this district.

E. Off-Street Parking & Loading:

Code requires 3 parking spaces for the development on this site, and 6 spaces are proposed on the current site, which exceeds the requirements.



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

F. Corner Lots:

There are no structures proposed in the corner lot areas.

G. Landscaping, Buffering & Greenspace:

The landscaping requirement consists of 1716 +/- SF of green space (Lawn) and greater than 429 SF of the green space area shall be ground cover (planting areas) as required by the Zoning Code. In addition, 3 trees are required on the entire site. The landscaping plan has been submitted for review, and appears to meet the requirements. Screening to the east will be provided with the installation of boxwoods.

H. Public & Private Roadways – Access Management:

No new driveway approaches are planned with this development; it will use the same driveway location as the previous use.

A traffic queueing study was just submitted for our review, and we will need a chance to look over it, not prepared to make any recommendations at the time of writing this report.

I. Site Signage:

No additional signage has been submitted with the proposal.

J. Traffic Control / Street / Right-of-Way Issues:

During the preliminary discussions with the developer, we discussed that we anticipate the need for additional right-of-way on North 21st Street, and the development plan shows no improvements within a reasonable area for future acquisition, in order to avoid costly relocations in the future.

A sidewalk connection is shown from the new building to the North 21st walk; at this point, a walk on Pierson would be better constructed on the north side of Pierson Drive instead of on this site. No further walk needed on this site.

K. Engineering / Utilities:

Engineering and Water staff will be reviewing the detailed water, sanitary and stormwater management plans; these have not yet been fully reviewed yet. There is no storm sewer on this site, so it may be necessary to extend the sewer to the site to provide an adequate storm outlet.

Engineering will follow up for compliance prior to construction.

L. Other Standards/Regulations

None.



**CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT**

Recommendation:

At this time, our recommendation is for **CONDITIONAL** approval of this site plan, contingent upon the resolution of the outstanding issues listed below:

1. Traffic queueing study is reviewed and approved.
2. Approved construction plans following City review.
3. Any of the remaining issues listed above will be addressed on the final construction plans. Compliance with City's Stormwater Management requirements.

When approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

Planning Commission Action on Recommendation:

- Approved As Submitted
 Approved As Noted, With Contingencies
 Denied
 Tabled for future meeting

Planning Director

Date

DEVELOPMENT PLAN
 FOR
TAKE 5 OIL CHANGE
 1200 NORTH 21ST STREET
 NEWARK, OH 43055
 JUNE 17, 2024



- SHEET**
- COVER SHEET
 - A1.0 SITE LAND TITLE SURVEY
 - A2.0 EXISTING UTILITIES
 - B1.0 SITE LAYOUT
 - C1.0 GRADING AND DRAINAGE
 - C2.0 EROSION CONTROL
 - C3.0 SANITARY SEWER & WATER
 - C4.0 SANITARY SEWER & WATER DETAILS
 - D1.0 ELECTRICAL
 - D2.0 ELECTRICAL PHOENIX & GAS
 - D3.0 ELECTRICAL DETAILS
 - D4.0 LANDSCAPE PLAN
 - D5.0 EXTERIOR BUILDING ELEVATIONS
 - E1.0 ELECTRICAL SITE PLAN
 - E2.0 SITE PHOTOGRAPHIC PLAN



SUPERVISOR
 NORTH COAST GEOMATICS
 1000 W. STATE ST. SUITE 100
 AKRON, OH 44308
 CONTACT: JAMES R. ARNOLD
 330.412.9871

ARCHITECT
 COMES DESIGN LLC
 1000 W. STATE ST. SUITE 100
 AKRON, OH 44308
 CONTACT: MICHAEL MURPHY
 330.412.9871

ENGINEER
 ARNOLD CONSULTING
 ENGINEERING SERVICES, INC.
 P.O. BOX 1338
 BOWLING GREEN, OH 43403
 CONTACT: JAMES R. ARNOLD
 330.412.9871

DEVELOPER/APPLICANT:
 DENNIS BRANCO
 445 E. MAIN ST. SUITE 100
 CLEVELAND, OH 44115
 CONTACT: PAVAN SURESH
 330.412.9871

UTILITY COMPANIES/GOVERNMENT AGENCIES

OHIO TURNPIKE
 1000 W. STATE ST. SUITE 100
 AKRON, OH 44308
 CONTACT: JAMES R. ARNOLD
 330.412.9871

AKRON
 1000 W. STATE ST. SUITE 100
 AKRON, OH 44308
 CONTACT: JAMES R. ARNOLD
 330.412.9871

NEWARK
 1000 W. STATE ST. SUITE 100
 AKRON, OH 44308
 CONTACT: JAMES R. ARNOLD
 330.412.9871

NEWARK
 1000 W. STATE ST. SUITE 100
 AKRON, OH 44308
 CONTACT: JAMES R. ARNOLD
 330.412.9871



ACES
 ARNOLD CONSULTING
 ENGINEERING SERVICES, INC.
 P.O. BOX 1338
 BOWLING GREEN, KY 42102

TITLE COMMENT EXCEPTION NOTES

- 1. The Surveyor has not been advised of any other surveys or encroachments on the property.
- 2. The Surveyor has not been advised of any other surveys or encroachments on the property.
- 3. The Surveyor has not been advised of any other surveys or encroachments on the property.
- 4. The Surveyor has not been advised of any other surveys or encroachments on the property.
- 5. The Surveyor has not been advised of any other surveys or encroachments on the property.
- 6. The Surveyor has not been advised of any other surveys or encroachments on the property.
- 7. The Surveyor has not been advised of any other surveys or encroachments on the property.
- 8. The Surveyor has not been advised of any other surveys or encroachments on the property.
- 9. The Surveyor has not been advised of any other surveys or encroachments on the property.
- 10. The Surveyor has not been advised of any other surveys or encroachments on the property.

RECORDS LEGAL DESCRIPTION

Reference to the State of Ohio, County of Lorain, and the Township of Newburg, Ohio, is hereby made for the purpose of identifying the location of the property described herein. The property is situated in the Township of Newburg, Ohio, County of Lorain, State of Ohio, and is bounded as follows: On the north by the Township of Newburg, Ohio; on the south by the Township of Newburg, Ohio; on the east by the Township of Newburg, Ohio; and on the west by the Township of Newburg, Ohio. The property is situated in the Township of Newburg, Ohio, County of Lorain, State of Ohio, and is bounded as follows: On the north by the Township of Newburg, Ohio; on the south by the Township of Newburg, Ohio; on the east by the Township of Newburg, Ohio; and on the west by the Township of Newburg, Ohio.



GENERAL SURVEY NOTES:

- The Surveyor has not been advised of any other surveys or encroachments on the property.
- The Surveyor has not been advised of any other surveys or encroachments on the property.
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LIST OF POSSIBLE ENCROACHMENTS

- 1. Encroachment on the property by the Township of Newburg, Ohio.
- 2. Encroachment on the property by the Township of Newburg, Ohio.
- 3. Encroachment on the property by the Township of Newburg, Ohio.
- 4. Encroachment on the property by the Township of Newburg, Ohio.
- 5. Encroachment on the property by the Township of Newburg, Ohio.
- 6. Encroachment on the property by the Township of Newburg, Ohio.
- 7. Encroachment on the property by the Township of Newburg, Ohio.
- 8. Encroachment on the property by the Township of Newburg, Ohio.
- 9. Encroachment on the property by the Township of Newburg, Ohio.
- 10. Encroachment on the property by the Township of Newburg, Ohio.

ZONING INFORMATION

The property is zoned as follows: [Zoning Information]

SURVEYOR'S CERTIFICATE

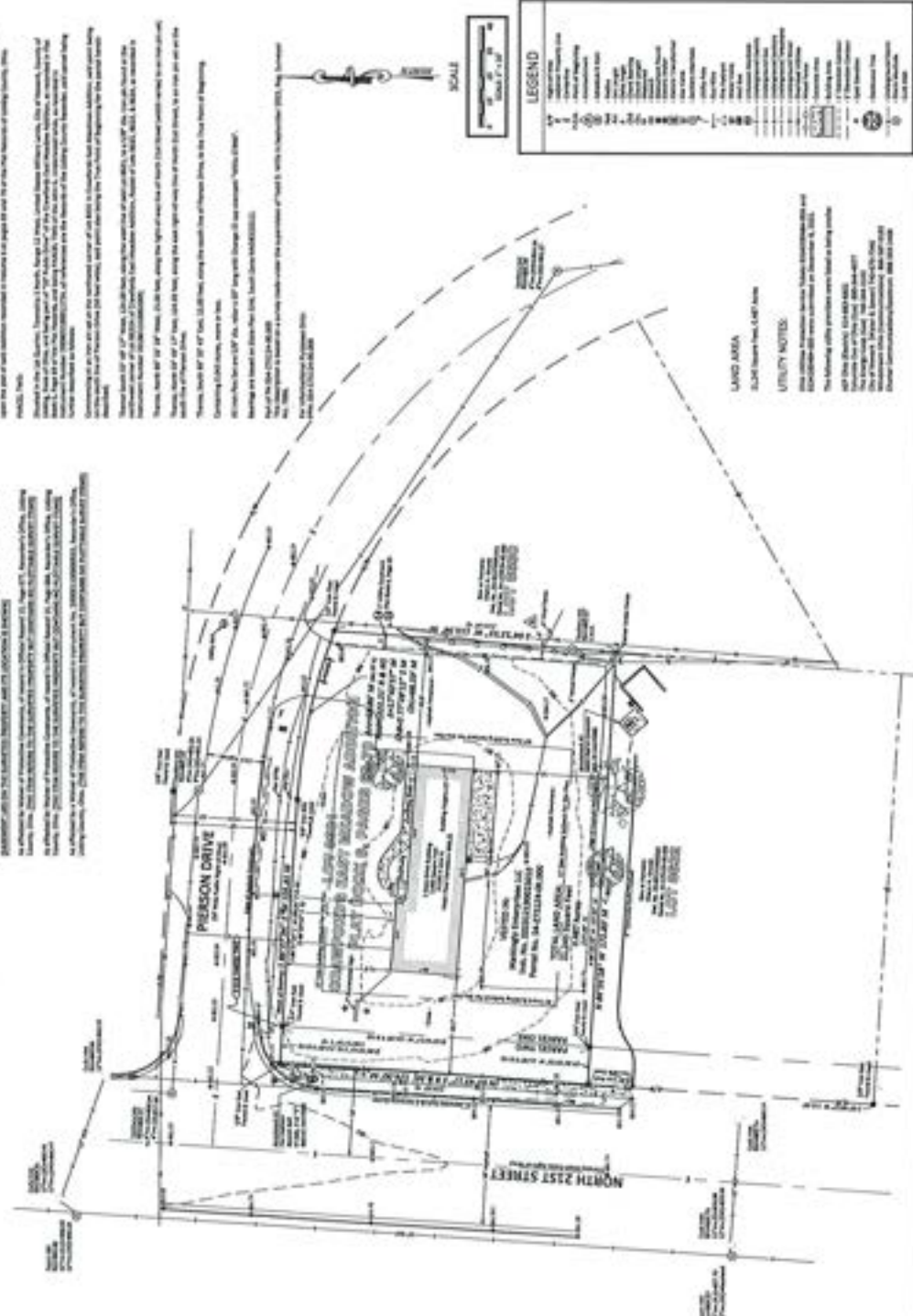
I, the undersigned, being duly sworn, depose and say that I am a duly Licensed Professional Surveyor in the State of Ohio, and that I have personally conducted the survey herein shown, and that the same is a true and correct representation of the facts as the same exist, and that I have not been advised of any other surveys or encroachments on the property.

PRELIMINARY

Surveyor's Office: [Address]

REVISIONS

NO.	DESCRIPTION	DATE
1	Initial Survey	10/15/2023
2	Final Survey	10/15/2023



ALTA/NSPS LAND TITLE SURVEY

TABLE 100 - NEWBURG, OH
 10700 NORTH 21ST STREET
 NEWBURG, OHIO 43055
 CITY OF NEWBURG, COUNTY OF LORAIN, STATE OF OHIO

Survey Commission for Bureau Veritas
 1315 E. Memorial Road, Suite 401
 Independence, OH, 43131
 614-433-2000
 614-433-2001
 www.bv.com

Surveyor's Office: NORTH COAST GEOMATICS
 Mapping & Surveying - northcoastgis.com
 187 Sawdust Rd
 Findlay, OH 44733
 419-420-1811
 419-420-1812
 419-420-1813
 419-420-1814
 419-420-1815
 419-420-1816
 419-420-1817
 419-420-1818
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 419-420-1829
 419-420-1830



© UNIVERSITY/1811 INDUSTRIES INC. - REMOVAL OF EXISTING UTILITIES/FINAL PLAN/STAGE 1 - SITE DEMOLITION

RECORDING DATA

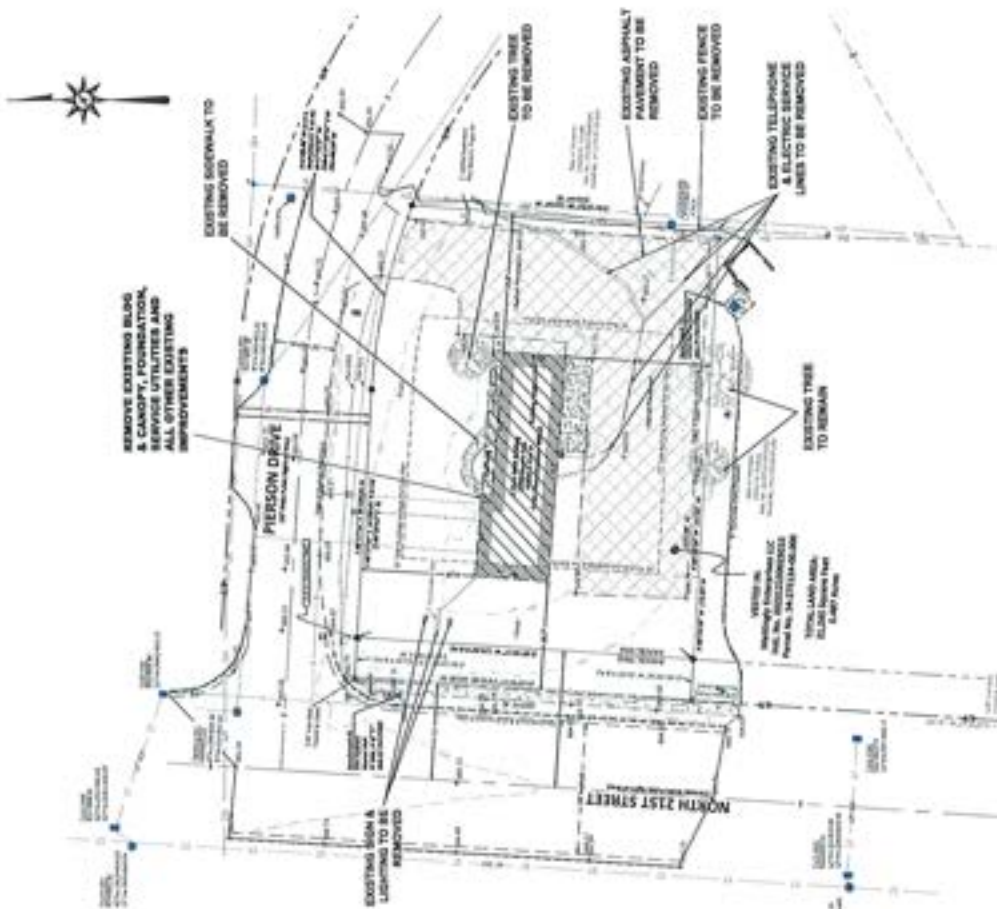
- PROVISIONAL
- DATE OF RECORDING
- PROJECT NO.
- SCALE
- DATE

PARCEL OWNER, ADDRESS AND SOURCE OF TITLE

UNIVERSITY/1811 INDUSTRIES, INC.
1000 N. 21ST STREET
NEWARK, OH 43055

CONTRACTOR'S OBLIGATIONS

The contractor shall be responsible for all utility work and shall coordinate with all utility companies to locate, mark, and verify the location and depth of all existing utilities before any excavation or construction begins. The contractor shall also be responsible for obtaining all necessary permits and approvals from the local authority having jurisdiction.



REMOVE EXISTING BLDG & GRAB TO FORMER AND ALL OTHER EXISTING IMPROVEMENTS

EXISTING SIDEWALK TO BE REMOVED

EXISTING SIGN & LIGHTING TO BE REMOVED

EXISTING TREE TO BE REMOVED

EXISTING ASPHALT PAVEMENT TO BE REMOVED

EXISTING FENCE TO BE REMOVED

EXISTING TELEPHONE & ELECTRIC SERVICE LINES TO BE REMOVED

EXISTING TREE TO REMAIN

SITE DEMOLITION NOTES:

- 1. CONTRACTOR SHALL VERIFY ALL UTILITIES LOCATED IN EXISTING DRAWINGS, SURVEY DATA, AND RECORDS BEFORE ANY CONSTRUCTION BEGINS. IF ANY UTILITIES ARE NOT LOCATED IN ANY OF THESE SOURCES, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BY EXCAVATING TO THE TOP OF THE UTILITY.
- 2. ALL EXISTING UTILITIES SHALL BE MAINTAINED UNTIL ALL NECESSARY WORK IS COMPLETE. ALL UTILITIES SHALL BE MAINTAINED UNTIL ALL NECESSARY WORK IS COMPLETE.
- 3. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BY EXCAVATING TO THE TOP OF THE UTILITY. ALL UTILITIES SHALL BE MAINTAINED UNTIL ALL NECESSARY WORK IS COMPLETE.
- 4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BY EXCAVATING TO THE TOP OF THE UTILITY. ALL UTILITIES SHALL BE MAINTAINED UNTIL ALL NECESSARY WORK IS COMPLETE.
- 5. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BY EXCAVATING TO THE TOP OF THE UTILITY. ALL UTILITIES SHALL BE MAINTAINED UNTIL ALL NECESSARY WORK IS COMPLETE.

***NOTE: ALL EXISTING UTILITY SERVICE LINES TO BE ABANDONED AND REMOVED OR RELOCATED UNLESS NOTED TO REUSE EXIST. SERVICE CONNECTIONS. CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITY COMPANY.**

CAUTION - UNDERGROUND UTILITIES ARE PRESENT WITHIN THE CONSTRUCTION DEMO AREA. USE EXTREME CAUTION.

CONSTRUCTION LEGENDS

- [Symbol] MATERIAL TO BE REMOVED
- [Symbol] ASPHALT/CONCRETE/PAVEMENT TO BE REMOVED



C1
SITE
DEMOLITION

TAKE 5 OIL CHANGE
1200 N 21ST STREET
NEWARK, OH 43055



CONTRACT NO.
SCALE 1" = 10'
DATE: 11/16/2021
PROJECT: TAKE 5 OIL CHANGE



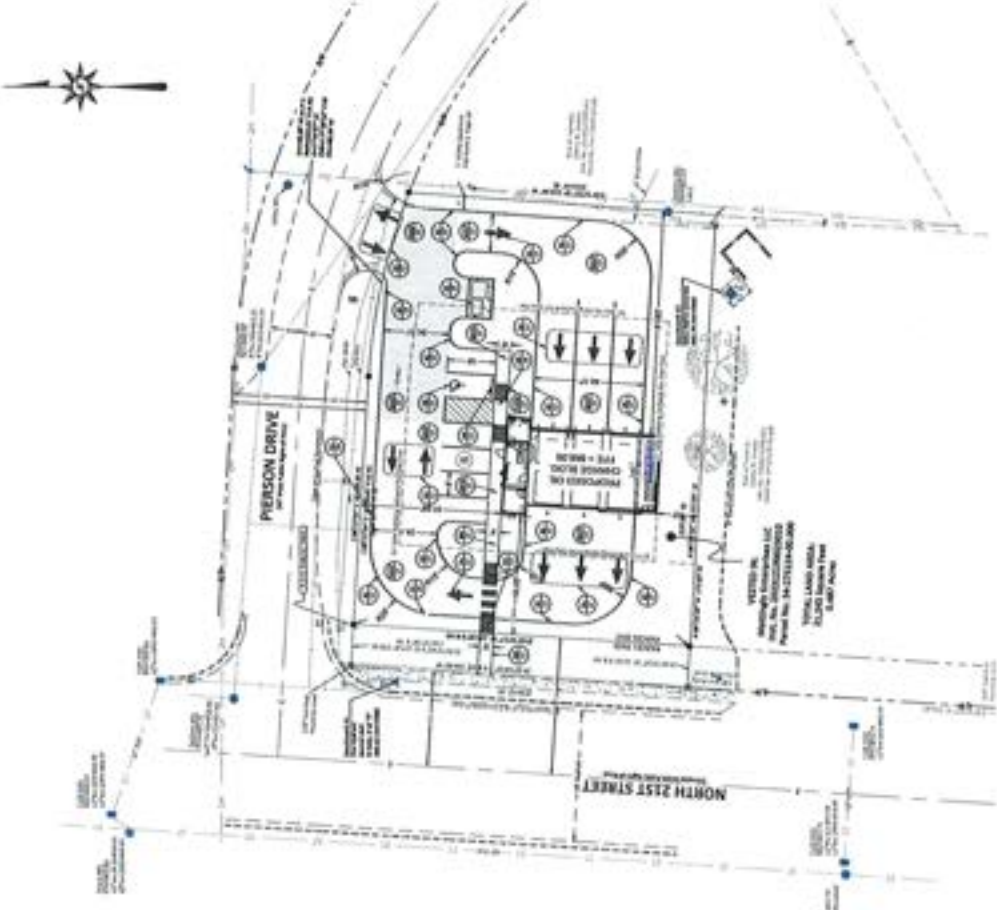


CONTRACTOR'S AND SUBCONTRACTOR'S OBLIGATIONS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.

REMARKS:

- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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DEVELOPMENT SUMMARY

ITEM	DESCRIPTION	QUANTITY
1	CONCRETE	10,000 YD ³
2	ASPHALT	5,000 YD ³
3	GRAVEL	2,000 YD ³
4	STEEL	100 TONS
5	BRICK	1,000,000
6	CEMENT	100 TONS
7	AGGREGATE	5,000 YD ³
8	PAINT	10,000 GALS
9	GLASS	10,000 SQ FT
10	ROOFING	10,000 SQ FT

BUILDING SUMMARY

ITEM	DESCRIPTION	QUANTITY
1	CONCRETE	10,000 YD ³
2	ASPHALT	5,000 YD ³
3	GRAVEL	2,000 YD ³
4	STEEL	100 TONS
5	BRICK	1,000,000
6	CEMENT	100 TONS
7	AGGREGATE	5,000 YD ³
8	PAINT	10,000 GALS
9	GLASS	10,000 SQ FT
10	ROOFING	10,000 SQ FT

CONSTRUCTION LEGEND

- 1. CONCRETE
- 2. ASPHALT
- 3. GRAVEL
- 4. STEEL
- 5. BRICK
- 6. CEMENT
- 7. AGGREGATE
- 8. PAINT
- 9. GLASS
- 10. ROOFING



TAKE 5 OIL CHANGE
 1200 N 21ST STREET
 NEWARK, OH 43055



DATE: 10/15/2014
 SCALE: 1" = 30'
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 APPROVED BY: J. HARRIS



C2
 SHEET
 LAYOUT



TAKE 5 OIL CHANGE
 1200 N 21ST STREET
 NEWARK, OH 43055



DATE: 08/20/2018
 SCALE: 1" = 20'
 DRAWN BY: J. JOHNSON
 CHECKED BY: J. JOHNSON
 APPROVED BY: J. JOHNSON



C3
 GRADING & DRAINAGE

GRADING AND DRAINAGE NOTES:

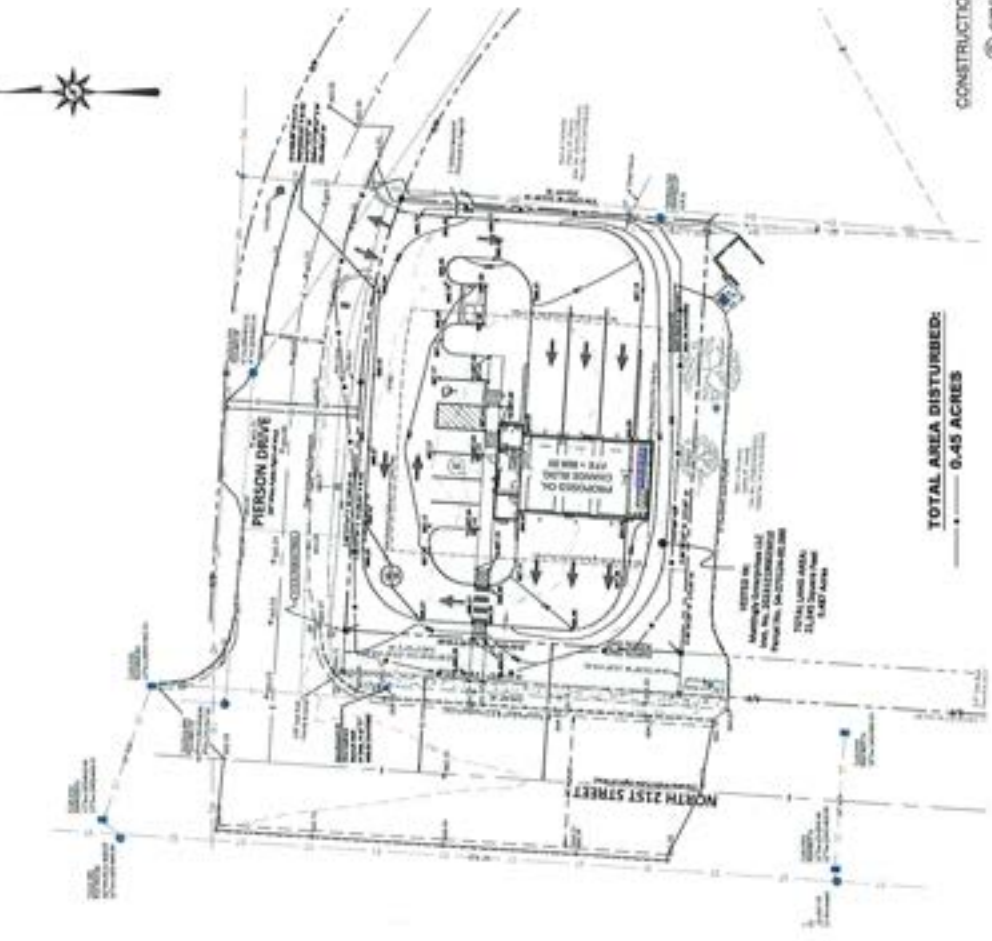
1. ALL EXISTING AND PROPOSED GRADING SHALL BE SHOWN ON THIS PLAN.
2. ALL EXISTING AND PROPOSED DRAINAGE SHALL BE SHOWN ON THIS PLAN.
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NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/20/2018
2	REVISED PER COMMENTS	08/20/2018
3	REVISED PER COMMENTS	08/20/2018
4	REVISED PER COMMENTS	08/20/2018
5	REVISED PER COMMENTS	08/20/2018
6	REVISED PER COMMENTS	08/20/2018
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19	REVISED PER COMMENTS	08/20/2018
20	REVISED PER COMMENTS	08/20/2018



CONSTRUCTION LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- EXISTING DRAINAGE
- PROPOSED DRAINAGE
- EXISTING CURB
- PROPOSED CURB
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING ASPHALT DRIVE
- PROPOSED ASPHALT DRIVE
- EXISTING CONCRETE DRIVE
- PROPOSED CONCRETE DRIVE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING BIKEWAY
- PROPOSED BIKEWAY
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING LIGHT
- PROPOSED LIGHT
- EXISTING UTILITY
- PROPOSED UTILITY
- EXISTING TREE
- PROPOSED TREE
- EXISTING PLANT
- PROPOSED PLANT
- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- EXISTING ROAD
- PROPOSED ROAD
- EXISTING RAILROAD
- PROPOSED RAILROAD
- EXISTING AIRWAY
- PROPOSED AIRWAY
- EXISTING WATERWAY
- PROPOSED WATERWAY
- EXISTING EASEMENT
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- EXISTING RIGHT-OF-WAY
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- PROPOSED CONVEYANCE
- EXISTING INTEREST
- PROPOSED INTEREST
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- PROPOSED CLAIM
- EXISTING DEFENSE
- PROPOSED DEFENSE
- EXISTING REMEDY
- PROPOSED REMEDY
- EXISTING RELIEF
- PROPOSED RELIEF



TOTAL AREA DISTURBED:
 0.45 ACRES

NOTES:

1. ALL EXISTING AND PROPOSED GRADING SHALL BE SHOWN ON THIS PLAN.
2. ALL EXISTING AND PROPOSED DRAINAGE SHALL BE SHOWN ON THIS PLAN.
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REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/20/2018
2	REVISED PER COMMENTS	08/20/2018
3	REVISED PER COMMENTS	08/20/2018
4	REVISED PER COMMENTS	08/20/2018
5	REVISED PER COMMENTS	08/20/2018
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19	REVISED PER COMMENTS	08/20/2018
20	REVISED PER COMMENTS	08/20/2018





TAKE 5 OIL CHANGE
1200 N 21ST STREET
NEWARK, OH 43055



ALL WORK SUBJECT TO THE
APPROPRIATE PERMITS
SCALE: 1" = 20'
DATE: 08/03/2010
DRAWN BY: J. JACOBI
CHECKED BY: J. JACOBI
APPROVED BY: J. JACOBI



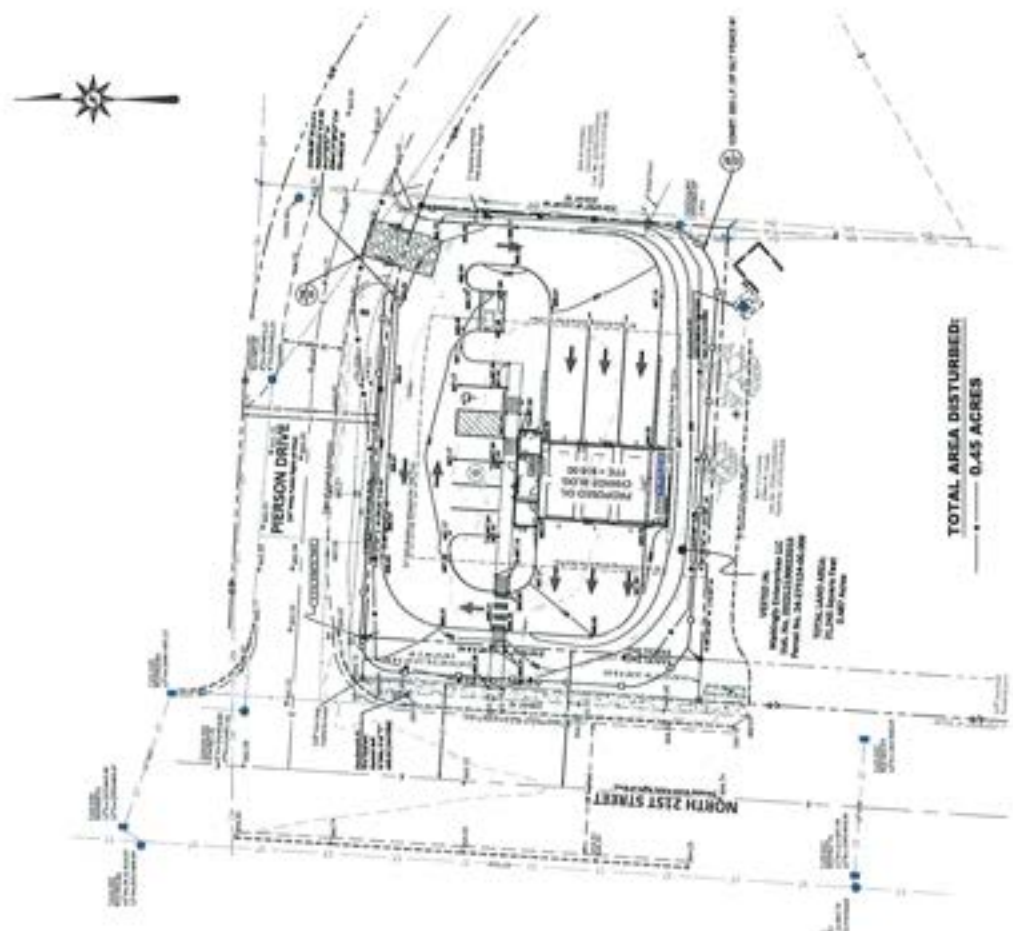
C4
EROSION
CONTROL

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE OHIO EROSION CONTROL CODE, AND THE OHIO DEPARTMENT OF TRANSPORTATION (ODOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AND SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
9. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AND SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES.

FIELD AND SOIL NOTES

1. THE FIELD IS HEAVILY DISTURBED AND THE SOIL IS EXPOSED IN MANY AREAS.
2. THE SOIL IS A HEAVY CLAY TYPE, WHICH IS SUSCEPTIBLE TO EROSION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE SOIL FROM EROSION DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SOIL TO ITS ORIGINAL CONDITION AFTER CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES AS SHOWN ON THE PLAN.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
10. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AND SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES.



TOTAL AREA DISTURBED:
0.45 ACRES

CONSTRUCTION LEGEND

- SILT FENCE
- VEGETATIVE STABILIZATION DISTANCE

RECOMMENDATIONS

1. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
3. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AND SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES.
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7. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AND SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

PROJECT OWNER & DESIGNER

TAKE 5 OIL CHANGE
1200 N 21ST STREET
NEWARK, OH 43055





TAKE 5 OIL CHANGE
 1200 N 21ST STREET
 NEWARK, OH 43055



DATE: 11/15/2024
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 APPROVED BY: J. B. BROWN



C5.0
 TAKE 5 OIL CHANGE
 SANITARY SEWER

GENERAL NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS INDICATED OTHERWISE.
2. ALL UTILITIES TO BE MAINTAINED TO REMAIN TO BE MAINTAINED.
3. ALL UTILITIES TO BE MAINTAINED TO REMAIN TO BE MAINTAINED.
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10. ALL UTILITIES TO BE MAINTAINED TO REMAIN TO BE MAINTAINED.

SEWER NOTES

1. ALL SEWER LINES SHALL BE INSTALLED TO MEET ALL CITY REQUIREMENTS.
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10. ALL SEWER LINES SHALL BE INSTALLED TO MEET ALL CITY REQUIREMENTS.

CONSTRUCTION LEGEND
 (Symbol) - SANITARY CLEAROUT



DISCLAIMER
 THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE. THE INFORMATION IS NOT INTENDED TO BE USED AS A BASIS FOR ANY INVESTMENT DECISION. THE INFORMATION IS NOT GUARANTEED AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE INFORMATION IS NOT INTENDED TO BE USED AS A BASIS FOR ANY INVESTMENT DECISION. THE INFORMATION IS NOT GUARANTEED AND IS SUBJECT TO CHANGE WITHOUT NOTICE.

DISCLAIMER
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REVISIONS
 NO. DATE BY
 1 11/15/2024 J.B.B.



REVISIONS

TAKE 5 OIL CHANGE
1200 N 21ST STREET
NEWARK, OH 43055



DATE: 1/21/21
SCALE: 1" = 30'



C6
ELECTRICAL
& TELEPHONE

UNDERGROUND PRIMARY ELECTRIC REQUIREMENTS

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEWARK ELECTRICAL CODE, THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARMS CODE (NFPA 72), AS APPLICABLE.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK DEPARTMENT OF PUBLIC WORKS AND UTILITIES DIVISION, BEFORE COMMENCING WORK.

3. ALL UNDERGROUND CABLES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF NEWARK ELECTRICAL CODE, THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARMS CODE (NFPA 72), AS APPLICABLE.

4. ALL UNDERGROUND CABLES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF NEWARK ELECTRICAL CODE, THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARMS CODE (NFPA 72), AS APPLICABLE.

5. ALL UNDERGROUND CABLES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF NEWARK ELECTRICAL CODE, THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARMS CODE (NFPA 72), AS APPLICABLE.

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEWARK DEPARTMENT OF PUBLIC WORKS AND UTILITIES DIVISION, BEFORE COMMENCING WORK.

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COORDINATION AND REQUIREMENTS

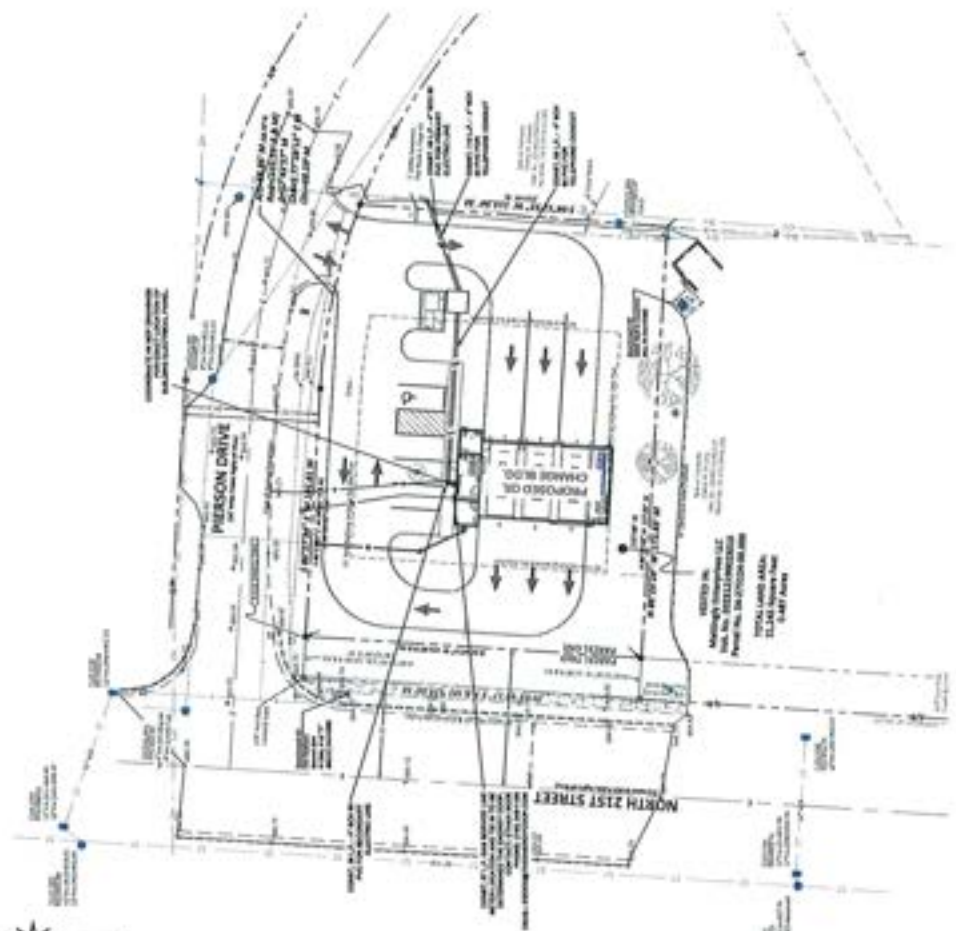
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INCLUDE ALL WORK NECESSARY TO COMPLY WITH THE CITY OF NEWARK ELECTRICAL CODE, THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARMS CODE (NFPA 72), AS APPLICABLE.

- **REVISIONS**
- **NOTES**
- **GENERAL NOTES**
- **UNDERGROUND PRIMARY ELECTRIC REQUIREMENTS**

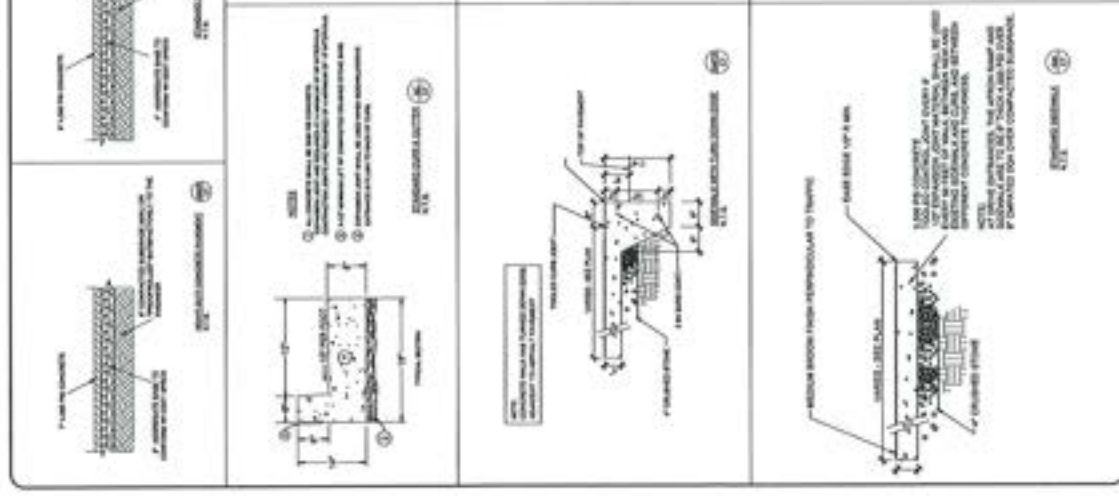
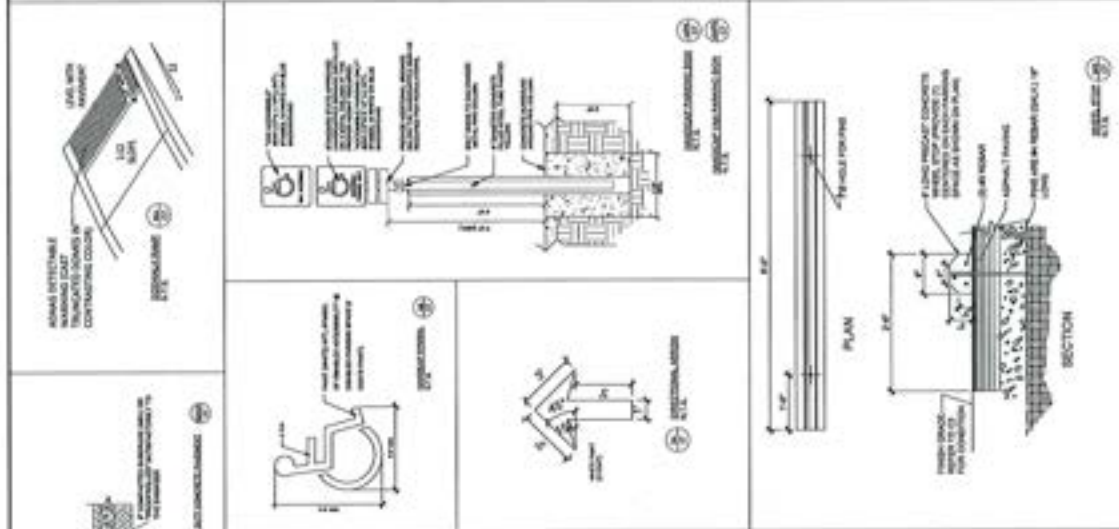
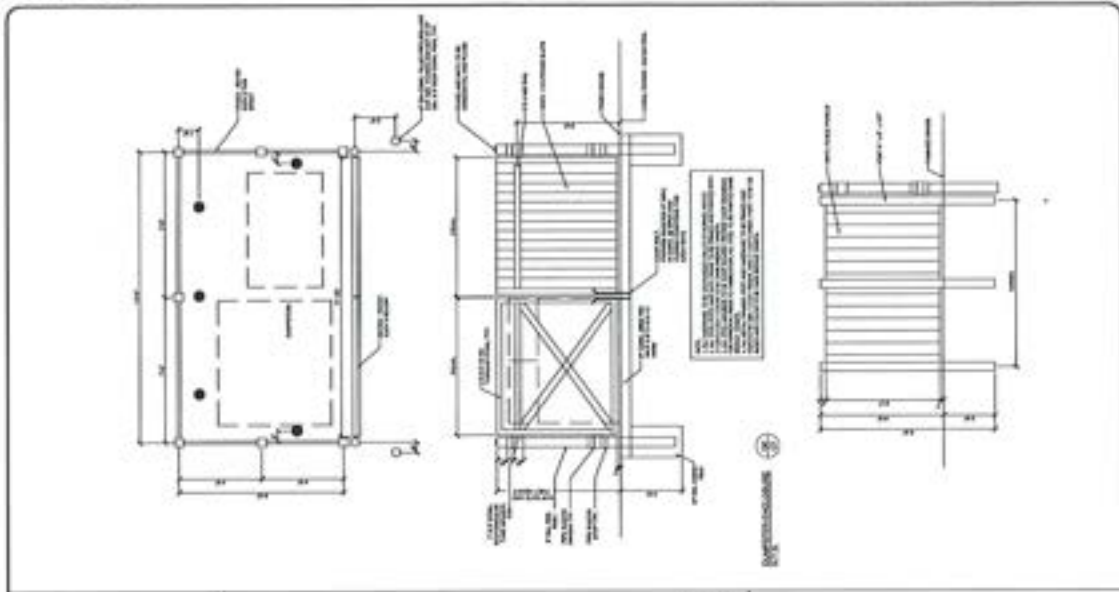




DATE PLOTTED
SCALE 1/4" = 1'-0"
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT: [Name]



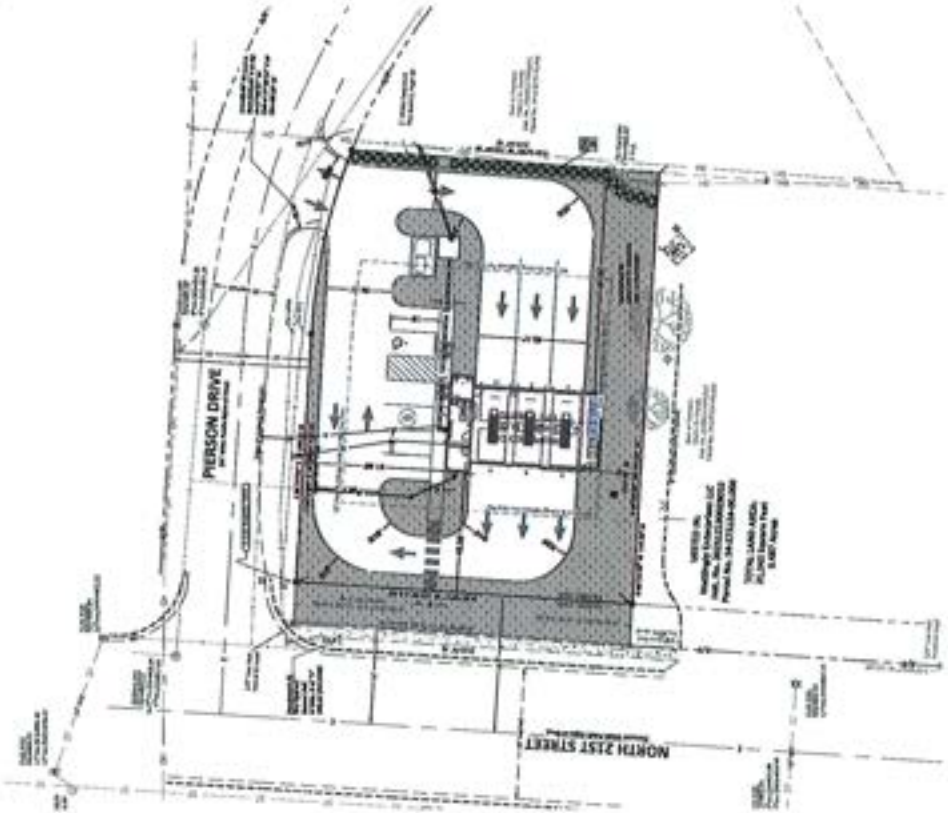
TAKE 5 OIL CHANGE
1200 N 21ST STREET
NEWARK, OH 43055



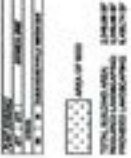
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THIS SHEET IS FOR LANDSCAPE USE ONLY

CONTRACTOR'S AND OWNER'S NOTES:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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- LANDSCAPE NOTES:**
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TAKE 5 OIL CHANGE
 1200 N 21ST STREET
 NEWARK, OH 43055



DATE: 08/15/2011
DRAWN BY: J. W. BROWN
CHECKED BY: J. W. BROWN
PROJECT NO.: 11000000000000000000
PROJECT NAME: TAKE 5 OIL CHANGE



L1
 LANDSCAPE PLAN



ARCHITECT OF RECORD
RALPH M. COLEMAN
AND ASSOCIATES ARCHITECT
1000 N. STATE ST.
ANN ARBOR, MI 48106



COR3 Design, LLC
125 West 18
Greenville, SC 29601
Phone: 864-671-1388
Fax: 864-671-8888
www.cor3design.com

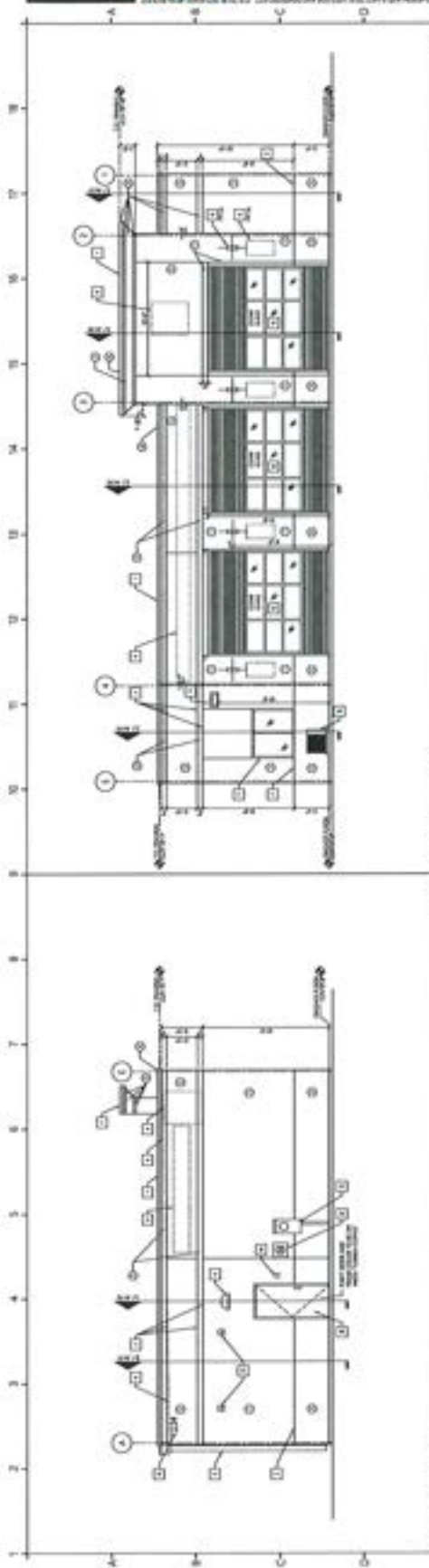
THE CLIENT
THE ARCHITECT
THE ENGINEER
THE CONTRACTOR
THE MANUFACTURER
THE SUPPLIER
THE DISTRIBUTOR
THE INSTALLER
THE MAINTENANCE PERSONNEL

TAKE 5 OC NEWARK
OH
5920 N 207 ST., NEWARK, OH
43055

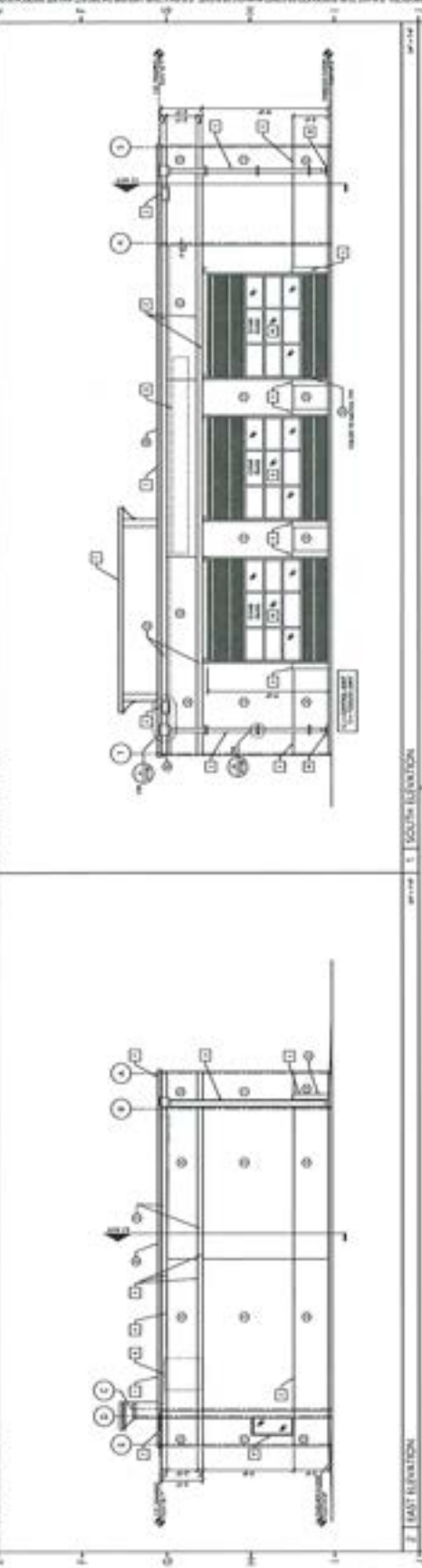


DATE: 08/14/18

A3.00
EXTERIOR ELEVATIONS



4 | WEST ELEVATION
3 | NORTH ELEVATION



2 | EAST ELEVATION
1 | SOUTH ELEVATION

- EXTERIOR FINISH SCHEDULE**
- | NO. | DESCRIPTION | FINISH |
|-----|-------------|------------|
| 1 | CONCRETE | CONCRETE |
| 2 | PAINT | PAINT |
| 3 | GLASS | GLASS |
| 4 | WOOD | WOOD |
| 5 | ROOFING | ROOFING |
| 6 | MECHANICAL | MECHANICAL |
| 7 | ELECTRICAL | ELECTRICAL |
| 8 | PLUMBING | PLUMBING |
| 9 | MECHANICAL | MECHANICAL |
| 10 | ELECTRICAL | ELECTRICAL |
| 11 | PLUMBING | PLUMBING |
| 12 | MECHANICAL | MECHANICAL |
| 13 | ELECTRICAL | ELECTRICAL |
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| 15 | MECHANICAL | MECHANICAL |
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| 95 | PLUMBING | PLUMBING |
| 96 | MECHANICAL | MECHANICAL |
| 97 | ELECTRICAL | ELECTRICAL |
| 98 | PLUMBING | PLUMBING |
| 99 | MECHANICAL | MECHANICAL |
| 100 | ELECTRICAL | ELECTRICAL |

EXTERIOR FINISH SCHEDULE

ARCHITECT OF RECORD:
RALPH W. COLEMAN
ARCHITECT REGISTERED
STATE OF NORTH CAROLINA
NO. 15475



COR3 Design, LLC
321 River St.
Suite 101
Greenville, SC 29615
Phone: 864-451-1288
Fax: 864-993-3385
www.cor3design.com

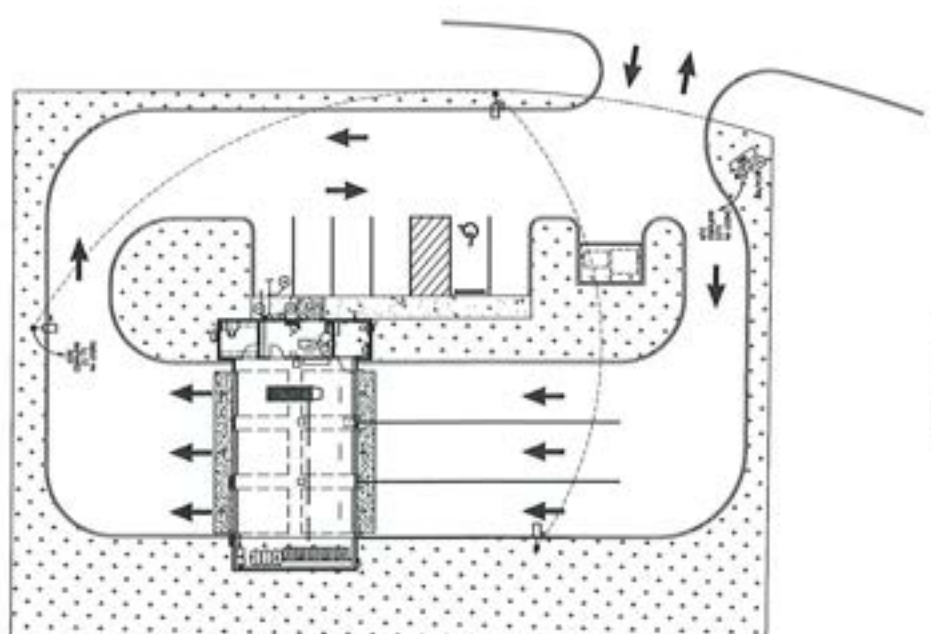
OWNER:
TRIMBLE
CORPORATION
10000
GREENWOOD
AVENUE
GREENVILLE, SC 29615
PH: 864-609-2000
WWW.TRIMBLE.COM

TABLE 5 DC NETWORK
OH
1025 N 21ST ST., NEWARK, OH
43005



DATE: 08/08/14
DRAWN BY: JAC
CHECKED BY: JAC
SCALE: AS SHOWN

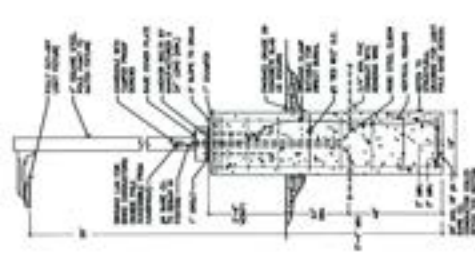
E4.0
ELECTRICAL SITE PLAN



ELECTRICAL SITE PLAN

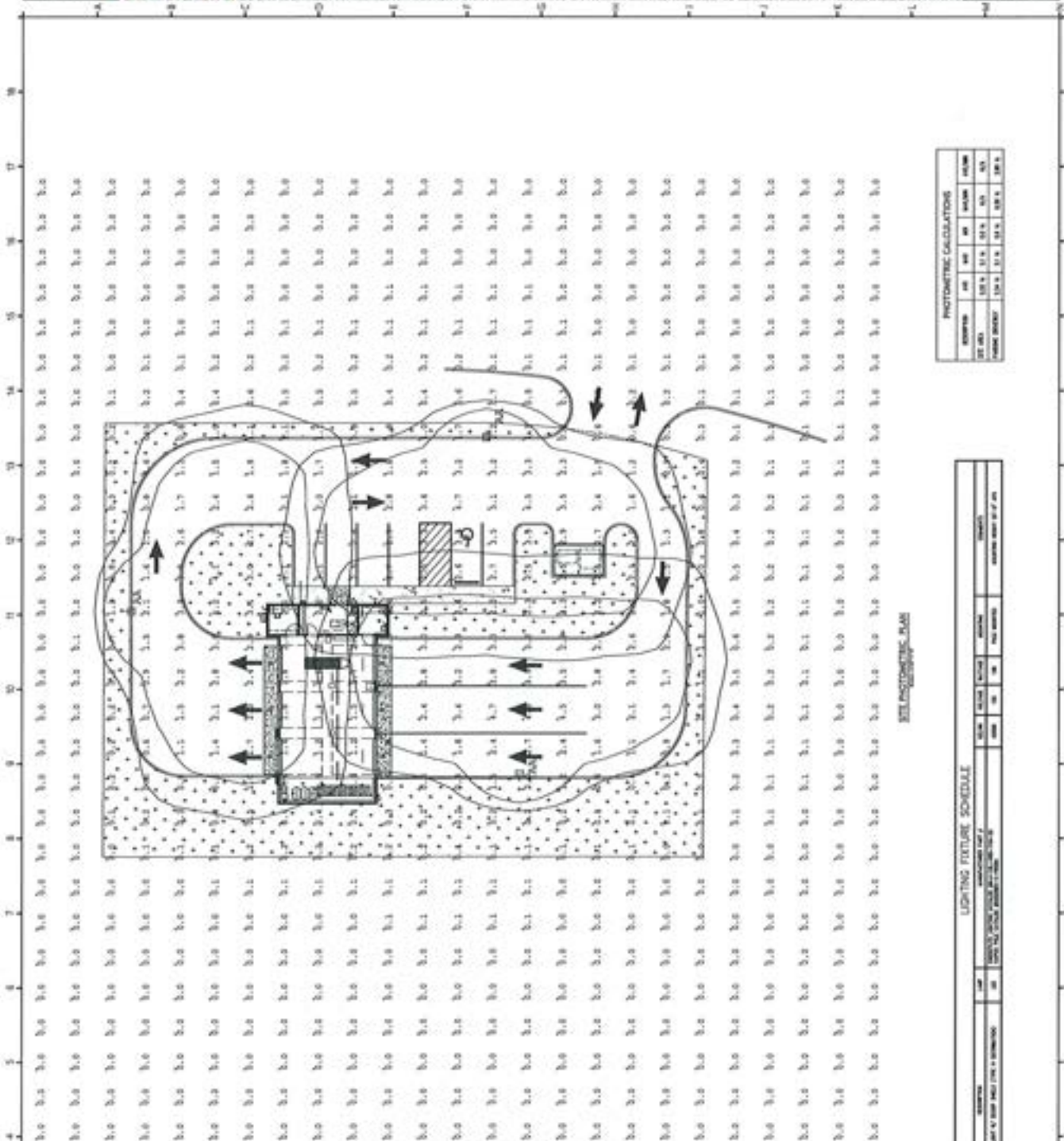
- GENERAL ELECTRICAL SITE PLAN NOTES:
- 1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 - 2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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- POLE MOUNTING DETAILS
- 1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 - 2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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POLE MOUNTING DETAILS



LIGHTING FEATURE SCHEDULE		DATE		SCALE		BY		CHECKED		APPROVED	
NO.	DESCRIPTION	DATE	SCALE	BY	CHECKED	APPROVED	DATE	BY	CHECKED	APPROVED	DATE
1	EXISTING LIGHT FIXTURES TO REMAIN										
2	NEW LIGHT FIXTURES TO BE INSTALLED										

PHOTOMETRIC CALCULATIONS	
SPACING	10' 0" x 10' 0"
FEET CDM	100.0, 117.4, 135.0, 152.5
FOOT CANDLES	10.0, 11.7, 13.5, 15.2

SITE PHOTOGRAPHIC PLAN