

**PLANNING COMMISSION MEETING**  
**TUESDAY, June 13, 2023 6:00 P.M.**  
**Council Chambers**  
**40 W MAIN ST, NEWARK, OH 43055**

## **AGENDA**

- 1. CALL TO ORDER**
- 2. APPROVAL OF MINUTES FOR THE May 9, 2023 PLANNING COMMISSION MEETING**

### **PUBLIC HEARING**

**3. ZONING CHANGE FOR 1339 WEST MAIN ST., NEWARK OHIO**

Application Number : PC-23-14  
Owner: Brewers Real Estate  
Applicant: Steven Brewer  
Current Zoning: GO -General Office  
Proposed Zoning: MB - Medium Intensity Business

**4. ZONING CHANGE FOR MORRIS STREET., NEWARK OHIO**

Application Number : PC-23-15  
Owner: Brewers Real Estate  
Applicant: Steven Brewer  
Current Zoning: Single-Family-Residence, RH-High Density District and MB - Medium Intensity Business  
Proposed Zoning: GC - General Commercial

### **OLD BUSINESS**

**5. RECOMMENDATION FOR ZONING CHANGE FOR 882 WEIANT AVE., NEWARK OHIO**

Application Number : PC-23-08  
Owner: James Hunt  
Applicant: James Hunt  
Current Zoning: Single-Family-Residence, RH-High Density District  
Proposed Zoning: MFR Multi-Family Residence

**6. RECOMMENDATION FOR ZONING CHANGE FOR 281 ELMWOOD AVE., NEWARK OHIO**

Application Number : PC-23-09  
Owner: Angus and Mac Property Solutions LLC  
Applicant: Jason Angus  
Current Zoning: Single-Family-Residence, RH-High Density District  
Proposed Zoning: TFR Two-Family Residence

### **NEW BUSINESS**

**7. SITE PLAN REVIEW FOR MOULL STREET, APARTMENT DEVELOPMENT CREATING 24-2 BEDROOM UNITS**

**Application Number :** PC-23-10  
**Owner:** Bryan McAnally, 35 South Park Place, Newark, Ohio 43055  
**Applicant:** Elmasian Engineering LLC, PO Box 626, Pataskala, Ohio 43062

**8. SITE PLAN REVIEW FOR 169 DAYTON ROAD, OFFICE ADDITION TO EXISTING COMMERCIAL BUILDING**

**Application Number :** PC-23-21

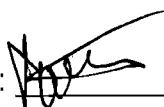
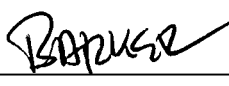

**Owner:** Layton Excavating Inc., 169 Dayton Rd, Newark, Oh 43055

**Applicant:** Northpoint Ohio LLC, 19 N. 4<sup>th</sup> St, Newark, Ohio 43055, Phil Claggett

**9. MISCELLANEOUS – ADMINISTRATIVE APPROVALS**

There are none this meeting

**THE NEXT SCHEDULED PLANNING COMMISSION MEETING WILL BE HELD ON TUESDAY, JULY 11, 2023, 6:00 P.M. THE DEADLINE FOR AGENDA ITEM SUBMITTAL IS TUESDAY JUNE 20, 2023 4:30 P.M.**

BY:    ORDINANCE NO. 23-13

AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS 1339 WEST MAIN STREET, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID #054-220188-00.000 FROM THAT OF GO – GENERAL OFFICE DISTRICT TO MB – MEDIUM INTENSITY BUSINESS DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO.

WHEREAS, an application for zoning classification has been filed with Council; and

WHEREAS, pursuant to Article 4.12 of the Charter of the City of Newark, Ohio, this ordinance shall be referred to the Planning Commission immediately after its first reading; and

WHEREAS, the Planning Commission shall hold a public hearing upon such application and the Clerk of Council shall cause notice of such hearing to be publicized one time at least seven (7) days prior to the date of such public hearing; and

WHEREAS, upon the return of the ordinance to Council by the Planning Commission, council shall cause a second reading to be made of this ordinance and shall take such action as is appropriate pursuant to Article 4.12 of the Charter of the City of Newark, Ohio.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF NEWARK, COUNTY OF LICKING, AND STATE OF OHIO, THAT:

**Section 1:** The zoning map as established by Ordinance 08-33 (A) is hereby revised by changing the zoning classification for the following described property from GO – GENERAL OFFICE DISTRICT TO MB – MEDIUM INTENSITY BUSINESS DISTRICT, Zoning Code of the City of Newark.

**SEE EXHIBIT “A” FOR LEGAL DESCRIPTION**

**Section 2:** Pursuant to Article 4.12(C) of the Charter of the City of Newark, Ohio, a vote of at least six (6) members shall be necessary to adopt or defeat the ordinance in the event the Planning Commission has recommended approval or has made no recommendation. An affirmative vote of at least seven (7) Council members shall be necessary to adopt a zoning ordinance that the Planning Commission has recommended against approval.

**Section 3:** The Newark Planning Commission is hereby authorized and directed to make the change described herein on the aforementioned zoning map.

**Section 4:** This ordinance shall become effective at the earliest time permitted by Section 4.07 of the Charter of the City of Newark, Ohio.

Passed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

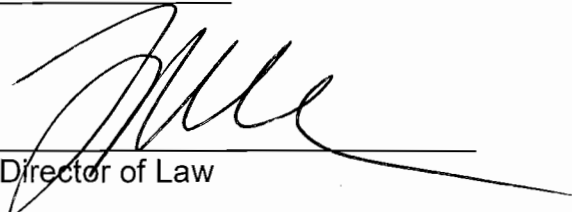
\_\_\_\_\_  
PRESIDENT OF COUNCIL

ATTEST: \_\_\_\_\_  
Clerk of Council

DATE FILED WITH MAYOR: \_\_\_\_\_

DATE APPROVED BY MAYOR: \_\_\_\_\_

\_\_\_\_\_  
MAYOR

FORM APPROVED:   
\_\_\_\_\_  
Director of Law

DESCRIPTION APPROVED: \_\_\_\_\_  
Brian Morehead, Engineer

Prepared by the Office of the Director of Law

**NOTICE OF HEARING**

Notice is hereby given that the Newark City Council shall at a later date to be determined and announced hereafter, take action upon Ordinance No. \_\_\_\_\_. Said Ordinance accepts a proposed amendment to the Zoning Map attached to Ordinance 08-33 (A) which would allow the change of zoning classification of certain real property, generally described as 1339 West Main Street, City of Newark, Licking County, Ohio, Parcel Tax Id #054-220188-00.000. The amendment would change the zoning of the property from GO – General Office District, to MB – Medium Intensity Business District, Zoning Code of the City of Newark, Ohio.

The text or a copy of the text of such Ordinance, together with a copy of Ordinance 08-33 (A) and the Zoning Map attached thereto, and the maps, plans, and reports submitted by the Newark Planning Commission relative to said zoning are on file, for public examination, in the office of the Clerk of Newark City Council, 40 West Main Street, Newark, Ohio.

Notice is further given that a public hearing on said Ordinance shall be held before the Newark City Council during the meeting of Council which begins at 7:00 p.m. on \_\_\_\_\_, at which time and place any interested person may be heard.

BY ORDER OF THE CITY COUNCIL OF NEWARK, OHIO.

JANINE PAUL  
Clerk of Council

TO THE ADVOCATE

Please publish the foregoing Notice of Hearing one day only, to wit: on \_\_\_\_\_.

JANINE PAUL  
Clerk of Council



Planning Commission  
 c/o Engineering Department  
 40 West Main St, 2<sup>nd</sup> Floor  
 Newark, Ohio 43055  
 (740) 670-7727  
 (740)349-5911 Fax

# City of Newark Planning Commission Zoning District Change Application

[www.newarkohio.net/government/boards-commissions/planning-commission](http://www.newarkohio.net/government/boards-commissions/planning-commission)

**Office Use Only**  
 Zoning File # \_\_\_\_\_  
 PC Application # PC-23-14  
 Date Received: 3-3-23  
 Received by: 3-3-23  
 Amount Due: \$100.00 ✓  
 Paid By: (circle one)  
 Check # 1636 Cash  
 Receipt # 949512

Rev 2/13

<input checked="" type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
<b>Owner</b>			
Property Owner: <u>BREWERS Real ESTATE</u>		Telephone: <u>740-973-9969</u>	
Address: <u>228 E. MAIN ST</u>		E-mail: <u>brewer0769@gmail.com</u>	
City: <u>NEWARK</u>	State: <u>OH</u>	Zip: <u>43055</u>	Fax: _____
I would prefer to have agendas mailed rather than e-mailed <input checked="" type="checkbox"/>			
<b>Applicant/Representative</b>			
Representative: <u>Steven Brewer</u>		Same as above <input type="checkbox"/>	Telephone: _____
Address: <u>9800 HERON DR</u>		E-mail: _____	
City: <u>Thorville</u>	State: <u>OH</u>	Zip: <u>48076</u>	Fax: _____
I would prefer to have agendas mailed rather than e-mailed <input checked="" type="checkbox"/>			
<b>Property Location</b>			
Street Address: <u>1339 W. Main St Newark, OH 43055</u>			
Parcel Tax ID #: <u>054-220188-00.000</u>		Number of Acres: <u>.5</u>	
Lot Number: (if applicable) <u>8224 PT</u>		Property Platted? Yes <input type="checkbox"/> No <input type="checkbox"/>	
<b>District Classification</b> <span style="float: right;">(Zoning Code 08-33, see <a href="http://www.newarkohio.net">www.newarkohio.net</a>)</span>			
<b>Present Zoning District:</b> <input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input checked="" type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input type="checkbox"/> Single-Family Residence (Circle one) <small>RS-Suburban RL-Low Density RM-Medium Density RH-High Density</small> <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence		<b>Proposed Zoning District:</b> <input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input checked="" type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input type="checkbox"/> Single-Family Residence (Circle one) <small>RS-Suburban RL-Low Density RM-Medium Density RH-High Density</small> <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence	

Property Use

Present Use: Dentist Office

Proposed Use: Cosmo tology

Additional Comments

Reason For Request: Business relocation

Required Documentation and Process Overview

- Original Application Form - must contain notarized signature of the property owner
Tax Map and Auditor's Parcel Numbers for the parcels to be re-zoned. Contact the Licking County Engineer's Office
Legal Description of parcels to be re-zoned. (typically a survey description or valid deed description)
A drawing or map showing the location of all buildings on the parcels. (A current Google aerial photo is acceptable.)
Application Fee of \$100.00, cash or check. Make check payable to "City of Newark".
Call the Newark City Engineering/Zoning Department to schedule a Zoning and Legal Description Review.
Submit all application materials to the Newark City Engineering/Zoning Department for inclusion on a Planning Commission Agenda.
Attend the Planning Commission Meetings and Council Meetings held in Newark City Council Chambers, 40 W. Main Street (1st Floor) throughout the process.

Owner Acknowledgement

I hereby certify that the information provided in this application is true and factual to the best of my knowledge.

Property Owner Signature: [Signature] Date 3-13-2023

Sworn and subscribed before me this 13th day of March, 2023

My Commission Expires: 5/11/2024 [Signature] Notary Public

Engineering/Zoning Authorization - Office Use Only

Approved [checked] Denied [ ] Approved with Conditions [ ]

Representative Signature [Signature] Date 4/15/2023

Comments/Conditions: Description provided for zoning purposes.

Planning Commission Recommendation to Council - Office Use Only

Approved [ ] Denied [ ] Approved with Conditions [ ] (See Letter of Recommendation)

Planning Director Signature: \_\_\_\_\_ Date \_\_\_\_\_

Conditions: \_\_\_\_\_

After Planning Commission Recommendation:

- Contact the Clerk of Council regarding Council Public Hearing Date and Final Vote. Clerk of Council's Office is located at 40 W Main St (2nd Floor) Newark, OH 43055 (740) 670-7516.

DESCRIPTION APPROVED  
JARED N. KNERR  
LICKING COUNTY ENGINEER

Approved By JW Jan 27, 2023  
02121002705225002000

TRANSFERRED

Jan 30, 2023  
Michael L. Smith  
LICKING COUNTY AUDITOR  
SEC 319.902 COMPLIED WITH  
MICHAEL L. SMITH  
By: SLM 780.00

InstrID:202301300001687	1/30/2023
Pages:2	F: 534.00 8:54 AM
Bryan A. Long	T20230002153
Licking County Recorder	

**GENERAL WARRANTY DEED**  
(R.C. 5302.05 and 5302.06)

KNOW ALL MEN BY THESE PRESENTS, that **Scott A. Null and Diane Null, husband and wife**, of Licking County, for valuable consideration paid, grant(s), with general warranty covenants, to **Brewer's Real Estate, LLC**, an Ohio limited liability company,

whose tax mailing address is 228 E Main St. Newark OH

the following real property situated in the City of Newark, County of Licking, State of Ohio:

Being Lot Number 8224 in the C.M. Johnson Addition to the said City of Newark, as the same is shown of record in Vol. 5, at Page 225, of the Plat Records of Licking County, Ohio.

EXCEPTING from the foregoing described real estate, a parcel of 745 square feet, more or less, described as follows:

Being a part of Lot No. 8224 of the C. M. Johnson Addition as the same is shown of record in Volume 5, Page 225 of the Licking County Plat Records, and being more particularly described as follows:

Beginning, for reference, at a concrete monument in the intersection of the Southerly R/W line of existing West Main Street and the Easterly R/W line of existing South 34th Street, said point being 30.18 feet right of Sta. 102+25.14 in the centerline of a survey made for the City of Newark in 1975 of West Main Street in Licking County;

Thence N 16°59'30" W a distance of 30.18 feet to a point in the centerline of survey of West Main Street, said point being P.O.T. Sta. 102+25.14, West Main Street;

Thence with the aforementioned centerline of survey S 73°00'30" W a distance of 1,173.50 feet to a point, said point being P.O.T. Sta. 90+51.64, West Main Street;

Thence S 16°59'30" E a distance of 27.42 feet to a point being the Grantor's Northwesterly property corner and the Northwesterly corner of the aforementioned Lot No. 8224 in the Southerly R/W line of existing West Main Street and the Easterly R/W line of existing 36th Street, said point being 27.42 feet right of Sta. 90+51.64, West Main Street and the true place of beginning;

Thence with the Grantor's Northerly property line and the Northerly line of the aforementioned Lot No. 8224 in the Southerly R/W line of existing West Main Street N 73°08'34" E a distance of 98.74 feet to a point being the Grantor's Northeasterly property corner in the Southerly R/W line of existing West Main Street, said point being 27.65 feet right of Sta. 91+50.38, West Main Street;

Thence with the Grantor's Easterly property line S 03°19'04" W a distance of 7.83 feet to a point, said point being 35.00 feet right of Sta. 91+47.66, West Main Street;

Thence S 73°00'30" W a distance of 98.82 feet to a point in the Grantor's Westerly property line and the Westerly line of the aforementioned Lot No. 8224 in the Easterly R/W line of existing 36th Street, said point being 35.00 feet right of Sta. 90+48.84, West Main Street;

Thence with the Grantor's Westerly property line and the Westerly line of the aforementioned Lot No. 8224 in the Easterly R/W line of existing 36th Street N 03°19'04" E a distance of 8.08 feet to the true place of beginning, containing 745 square feet, more or less, of which the present road occupies 000 square feet, more or less.

This description is based on a survey made under the direction of James T. Holden, Registered Surveyor No. 3766.

DESCRIPTION APPROVED FOR ZONING PURPOSES  
By Bryan A. Long  
Div. of Engineering  
City of Newark, Ohio



Parcel No.: 054-220188-00.000

Property Address: 1339 W Main Street, Newark, OH 43055

Prior Instrument Reference: Recorded in Deed Record Volume 765, Page 261, Recorder's Office, Licking County, Ohio.

Except for the following and subject to all of which this conveyance is made: legal highways; zoning ordinances; real estate taxes and assessments which are now or may hereafter become a lien on said premises; covenants, conditions, restrictions and easements of record; and all coal, oil, gas, and other mineral rights and interests previously transferred or reserved of record.

Executed this 13<sup>th</sup> day of January, 2023.

Grantor(s):

[Signature]  
Scott A. Null  
[Signature]  
Diane Null

State of Ohio Licking  
County of Licking

The foregoing instrument was acknowledged before me freely this 13<sup>th</sup> day of Jan, 2023, by **Scott A. Null and Diane Null**.



WENDY S MILLER  
NOTARY PUBLIC - OHIO  
MY COMMISSION EXPIRES 12-13-2026

[Signature]  
Notary Public:  
Notary County/State: /  
County Acting In:  
Commission Expires:

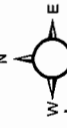
This instrument was prepared by:  
Blevins & Associates LLC  
920 Cherryfield Avenue  
Columbus, OH 43235

File Number: 2765136NE NE

# OnTrac Property Map



March 31, 2023



- Street Number Only
- Sales - 2023
- Sales - 2022
- Owner Name & Acres
- Interstate/US/State Route
- County Road
- Township Road
- Other Road Type
- Driveway
- Interstates
- Municipal Corporations

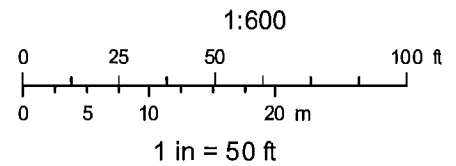
LICKING COUNTY TAX MAP

Licking County Auditor GIS





March 13, 2023



BY: [Signature] **BADLER** ORDINANCE NO. 23-14  
[Signature] [Signature]

AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS MORRIS STREET, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID #054-203118-00.000 FROM THAT OF MB – MEDIUM INTENSITY BUSINESS AND SINGLE-FAMILY RESIDENCE – RH HIGH DENSITY DISTRICT TO GC – GENERAL COMMERCIAL DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO.

WHEREAS, an application for zoning classification has been filed with Council; and

WHEREAS, pursuant to Article 4.12 of the Charter of the City of Newark, Ohio, this ordinance shall be referred to the Planning Commission immediately after its first reading; and

WHEREAS, the Planning Commission shall hold a public hearing upon such application and the Clerk of Council shall cause notice of such hearing to be publicized one time at least seven (7) days prior to the date of such public hearing; and

WHEREAS, upon the return of the ordinance to Council by the Planning Commission, council shall cause a second reading to be made of this ordinance and shall take such action as is appropriate pursuant to Article 4.12 of the Charter of the City of Newark, Ohio.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF NEWARK, COUNTY OF LICKING, AND STATE OF OHIO, THAT:

**Section 1:** The zoning map as established by Ordinance 08-33 (A) is hereby revised by changing the zoning classification for the following described property from MB – MEDIUM INTENSITY BUSINESS AND SINGLE-FAMILY RESIDENCE – RH HIGH DENSITY DISTRICT TO GC – GENERAL COMMERCIAL DISTRICT, Zoning Code of the City of Newark.

**SEE EXHIBIT “A” FOR LEGAL DESCRIPTION**

**Section 2:** Pursuant to Article 4.12(C) of the Charter of the City of Newark, Ohio, a vote of at least six (6) members shall be necessary to adopt or defeat the ordinance in the event the Planning Commission has recommended approval or has made no recommendation. An affirmative vote of at least seven (7) Council members shall be necessary to adopt a zoning ordinance that the Planning Commission has recommended against approval.

**Section 3:** The Newark Planning Commission is hereby authorized and directed to make the change described herein on the aforementioned zoning map.

**Section 4:** This ordinance shall become effective at the earliest time permitted by Section 4.07 of the Charter of the City of Newark, Ohio.

Passed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.


\_\_\_\_\_  
PRESIDENT OF COUNCIL

ATTEST: \_\_\_\_\_  
Clerk of Council

DATE FILED WITH MAYOR: \_\_\_\_\_

DATE APPROVED BY MAYOR: \_\_\_\_\_

\_\_\_\_\_  
MAYOR

FORM APPROVED:   
Director of Law

DESCRIPTION APPROVED: \_\_\_\_\_  
Brian Morehead, Engineer

Prepared by the Office of the Director of Law

**NOTICE OF HEARING**

Notice is hereby given that the Newark City Council shall at a later date to be determined and announced hereafter, take action upon Ordinance No. \_\_\_\_\_. Said Ordinance accepts a proposed amendment to the Zoning Map attached to Ordinance 08-33 (A) which would allow the change of zoning classification of certain real property, generally described as Morris Street, City of Newark, Licking County, Ohio, Parcel Tax Id #054-203118-00.000. The amendment would change the zoning of the property from MB – Medium Intensity Business District and Single-Family Residence – RH – High Density District to GC – General Commercial District , Zoning Code of the City of Newark, Ohio.

The text or a copy of the text of such Ordinance, together with a copy of Ordinance 08-33 (A) and the Zoning Map attached thereto, and the maps, plans, and reports submitted by the Newark Planning Commission relative to said zoning are on file, for public examination, in the office of the Clerk of Newark City Council, 40 West Main Street, Newark, Ohio.

Notice is further given that a public hearing on said Ordinance shall be held before the Newark City Council during the meeting of Council which begins at 7:00 p.m. on \_\_\_\_\_ , at which time and place any interested person may be heard.

BY ORDER OF THE CITY COUNCIL OF NEWARK, OHIO.

JANINE PAUL  
Clerk of Council

TO THE ADVOCATE

Please publish the foregoing Notice of Hearing one day only, to wit: on \_\_\_\_\_.

JANINE PAUL  
Clerk of Council



Planning Commission  
 c/o Engineering Department  
 40 West Main St, 2<sup>nd</sup> Floor  
 Newark, Ohio 43055  
 (740) 670-7727  
 (740)349-5911 Fax

**City of Newark**  
**Planning Commission**  
**Zoning District Change Application**

[www.newarkohio.net/government/boards-commissions/planning-commission](http://www.newarkohio.net/government/boards-commissions/planning-commission)

**Office Use Only**

Zoning File #  
 PC Application # PC-23-15  
 Date Received: 4-3-23  
 Received by: [Signature]  
 Amount Due: \$100.00  
 Paid By: (circle one)  
 Check # 1048 Cash  
 Receipt # 949520

Rev 2/13

<input checked="" type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
<b>Owner</b>			
Property Owner: <u>Brewers Real Estate</u>		Telephone: <u>740-973-9969</u>	
Address: <u>228 E MAIN ST</u>		E-mail: <u>brewer0769@gmail.com</u>	
City: <u>Newark</u>	State: <u>OH</u>	Zip: <u>43055</u>	Fax:
I would prefer to have agendas mailed rather than e-mailed <input checked="" type="checkbox"/>			
<b>Applicant/Representative</b>			
Representative: <u>Steven Brewer</u>		Same as above <input checked="" type="checkbox"/>	Telephone:
Address:		E-mail:	
City:	State:	Zip:	Fax:
I would prefer to have agendas mailed rather than e-mailed <input checked="" type="checkbox"/>			
<b>Property Location</b>			
Street Address: <u>0 Morris Street</u>			
Parcel Tax ID #: <u>054-203118-00-000</u>		Number of Acres: <u>1.31</u>	
Lot Number: (if applicable) <u>223 PT. 230-232 + YAC ST. + YACCANAL</u>		Property Platted? Yes <input type="checkbox"/> No <input type="checkbox"/>	
<b>District Classification</b> (Zoning Code 08-33, see <a href="http://www.newarkohio.net">www.newarkohio.net</a> )			
<b>Present Zoning District:</b> <input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input checked="" type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input checked="" type="checkbox"/> Single-Family Residence (Circle one) RS-Suburban RL-Low Density RM-Medium Density <u>RH-High Density</u> <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence		<b>Proposed Zoning District:</b> <input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input checked="" type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input type="checkbox"/> Single-Family Residence (Circle one) RS-Suburban RL-Low Density RM-Medium Density RH-High Density <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence	



**Property Use**

Present Use:

Gross Field Zoned Residential

Proposed Use:

Storage units  
Commercial Storage

**Additional Comments**

Reason For Request: 211 E. Main St is currently MB, and I want to use that for Drive way for proposed parcels to become Storage units. Instead of a Area to collect Homeless people.

**Required Documentation and Process Overview**

- Original Application Form – must contain notarized signature of the property owner
- Tax Map and Auditor's Parcel Numbers for the parcels to be re-zoned. Contact the Licking County Engineer's Office for a tax map or visit <http://www.lcounty.com/Treasurer> to print out Real Estate Tax parcel information and a parcel map. Licking County Engineer's Office is located at 20 South 2<sup>nd</sup> St (3<sup>rd</sup> Floor) Newark, OH 43055 (740) 670-5280.
- Legal Description of parcels to be re-zoned. (typically a survey description or valid deed description)  
*Note: Legal Description must be reviewed and stamped approved by the Newark City Engineering Department*
- A drawing or map showing the location of all buildings on the parcels. (A current Google aerial photo is acceptable.)
- Application Fee of \$100.00, cash or check. Make check payable to "City of Newark".
- Call the Newark City Engineering/Zoning Department to schedule a Zoning and Legal Description Review. Newark City Engineering/Zoning Department is located at 40 W. Main Street (2nd Floor) Newark, OH 43055 (740) 670-7727  
*Note: an Engineering/ Zoning Authorization Signature is required on this application. See below.*
- Submit all application materials to the Newark City Engineering/Zoning Department for inclusion on a Planning Commission Agenda.
- Attend the Planning Commission Meetings and Council Meetings held in Newark City Council Chambers, 40 W. Main Street (1<sup>st</sup> Floor) throughout the process. The process typically takes 3 -4 months to complete.  
*Note: be prepared to answer Planning Commission and Council Member's questions regarding your application*

**Owner Acknowledgement**

I hereby certify that the information provided in this application is true and factual to the best of my knowledge.

Property Owner Signature: [Signature] Date 4-3-23

Sworn and subscribed before me this 3<sup>rd</sup> day of April, 2023

My Commission Expires: 5/11/2024  
[Signature]  
Notary Public

**Engineering/Zoning Authorization – Office Use Only**

Approved  Denied  Approved with Conditions

Representative Signature [Signature] Date 4/19/2023

Comments/Conditions: DESCRIPTION APPROVED FOR ZONING PURPOSES

**Planning Commission Recommendation to Council – Office Use Only**

Approved  Denied  Approved with Conditions   
(See Letter of Recommendation)

Planning Director Signature: \_\_\_\_\_ Date \_\_\_\_\_

Conditions: \_\_\_\_\_

**After Planning Commission Recommendation:**

- Contact the Clerk of Council regarding Council Public Hearing Date and Final Vote.  
Clerk of Council's Office is located at 40 W Main St (2nd Floor) Newark, OH 43055 (740) 670-7516.

Exhibit A

PAUL J. BOESHART, Professional Land Surveyor 94 CANYON VILLA DRIVE  
Email: [pjboeshart@hotmail.com](mailto:pjboeshart@hotmail.com) Hebron, OH 43025  
Ph: 740-928-4130

May 20, 2022 Job No. 22-7224

Surveyor's Description - TRACT I - All of Parcel No. 054-203112-00.000 - 0.148 Acres

The parcel herein described is known as being part of the same lands conveyed to Rita F. Jackson as described in Instrument No. 200011220037106 found in the Licking County Recorder's Office in Newark, Ohio and is situated in and part of Lot 1988 in the James H. & Henry Smith's Addition (Plat Book 2 Page 231) to the City of Newark in the Fourth Quarter of Township 2 North in Range 12 West in the U.S. Military Lands of Licking County, Ohio and is better described as follows:

**Beginning for a reference** at the northeast corner of Lot 1988 in the James H. & Henry Smith's Addition (Plat Book 2 Page 231) at a set 4" Magnetic Spike at the intersection of the south line of East Main Street (66' R/W) and the west line of Morris Street (66' R/W);

**Thence**, with the west line of Morris Street, **South 1 degree 00 minutes 55 seconds East, 96.24 feet** to an existing 3/4" iron pipe;

**Thence**, leaving the said road and with the north line of East Newark Homes LLC (Instr. No. 200711070028946), **South 88 degrees 54 minutes 56 seconds West, 83.29 feet** to an existing 3/4" iron pipe on the west line of said Lot 1988;

**Thence**, with the west line of Lot 1988, **North 1 degrees 11 minutes 26 seconds West, 26.68 feet** to an existing 1" iron pipe on the south line of the P.C.C. & St. Louis RR;

**Thence**, with the said RR line, **North 32 degrees 13 minutes 18 seconds East, 82.70 feet** to a set 4" Magnetic Spike on the south line of the said East Main Street;

**Thence**, with the said road, **North 88 degrees 15 minutes 40 seconds East, 38.05 feet** to the **Point of Beginning**.

Containing **0.148 ACRES** and being subject to all legal roads, easements and restrictions of record.

TRACT II - All of Parcel No. 054-203118-00.000 - 0.629 Acres and  
All of Parcel No. 054-213732-00.000 - 0.690 Acres

1.319 Acres in all

The parcel herein described is known as being part of the same lands conveyed to Rita F. Jackson as described in Instrument No. 200011220037106 found in the Licking County Recorder's Office in Newark, Ohio and is situated in and part of Lot 223, All of Lots 230, 231, 232 and part of the vacated alleys (Ord. 158 & 209) in the Rachel Wilson's Addition (Plat Book 2 Page 129), also, all of the Abandoned Ohio Canal and the Abandoned Ohio Canal between the east line of the PCC & St. Louis RR and the west line of Morris Street in the City of Newark in the Fourth Quarter of Township 2 North in Range 12 West in the U.S. Military Lands of Licking County, Ohio and is better described as follows:

**Beginning for a reference** at the northeast corner of Lot 1609 in the Henry Smith's Addition (Plat Book 2 Page 216) at an existing 5/8" iron pin on the west line of Morris Street (Varying R/W);

**Thence**, with the north line of Henry Smith's Addition (Plat Book 2 Page 216) and the south line of the Abandoned Ohio Canal, **North 83 degrees 13 minutes 10 seconds West**, passing an existing 5/8" iron pin at 145.24 feet, 211.69 feet and 295.35 feet, a total distance of **363.94 feet** to a set 5/8" iron pin on the east line of the PCC & St. Louis RR;

**Thence**, with the lines of the PCC & St. Louis RR, the following (5) five courses:

- 1.) **North 41 degrees 28 minutes 39 seconds East, 72.63 feet** to a set 5/8" iron pin;

TRACT II  
DESCRIPTION APPROVED FOR ZONING PURPOSES  
By [Signature]  
Div. of Engineering  
City of Newark, Ohio

- 2.) Thence, North 26 degrees 50 minutes 11 seconds East, 45.26 feet to a set 5/8" iron pin;
- 3.) Thence, South 84 degrees 01 minutes 58 seconds East, 108.00 feet to a set 5/8" iron pin;
- 4.) Thence, North 1 degree 00 minutes 55 seconds West, 200.23 feet to a set 5/8" iron pin;
- 5.) Thence, North 32 degrees 13 minutes 18 seconds East, passing an existing 1" iron pin at 30.10 feet, a total distance of 177.03 feet to an existing 1" iron pipe on the west line of Lot 1988 in James H. & Henry Smith's Addition (Plat Book 2 Page 231);

Thence, with the west line of the said James H. & Henry Smith's Addition (Plat Book 2 Page 231), the west line of Lots 1988 thru 1996, South 1 degree 11 minutes 26 seconds East, passing an existing 3/4" iron pipe at 26.68 feet, 82.24 feet, 121.79 feet and 162.14 feet, a total distance of 402.95 feet to an existing 3/4" iron pipe;

Thence, with the south line of Lot 1996 in the said James H. & Henry Smith's Addition (Plat Book 2 Page 231) and the north line of the abandoned Ohio Canal, South 84 degrees 01 minutes 58 seconds East, 82.75 feet to an existing 3/4" iron pipe on the west line of Morris Street (Varing R/W);

Thence, with the west line of Morris Street, South 3 degrees 26 minutes 54 seconds East, 65.17 feet to the Point of Beginning.

Containing 1.319 ACRES, of which, 0.086 acres are in Lot 223, 0.154 acres are in Lot 230, 0.116 acres are in Lot 231, 0.164 acres are in Lot 232, 0.109 acres are in vacated alleys, 0.211 acres are in the Abandoned Canal Street, 0.479 acres are in the Abandoned Ohio Canal and being subject to all legal roads, easements and restrictions of record.


\*Bearings are based on the Ohio State Plane Coordinate System, Ohio South Zone, NAD83 (CORS), as established using GPS Observations processed against the Ohio CORS network, with the south line of East Main Street as bearing North 88 degrees 15 minutes 40 seconds East, and are used to denote angles only.\*

All iron pins set are 5/8" x 30" rebar with a 2" Aluminum ID cap stamped "Paul J. Boeshart S-6512".

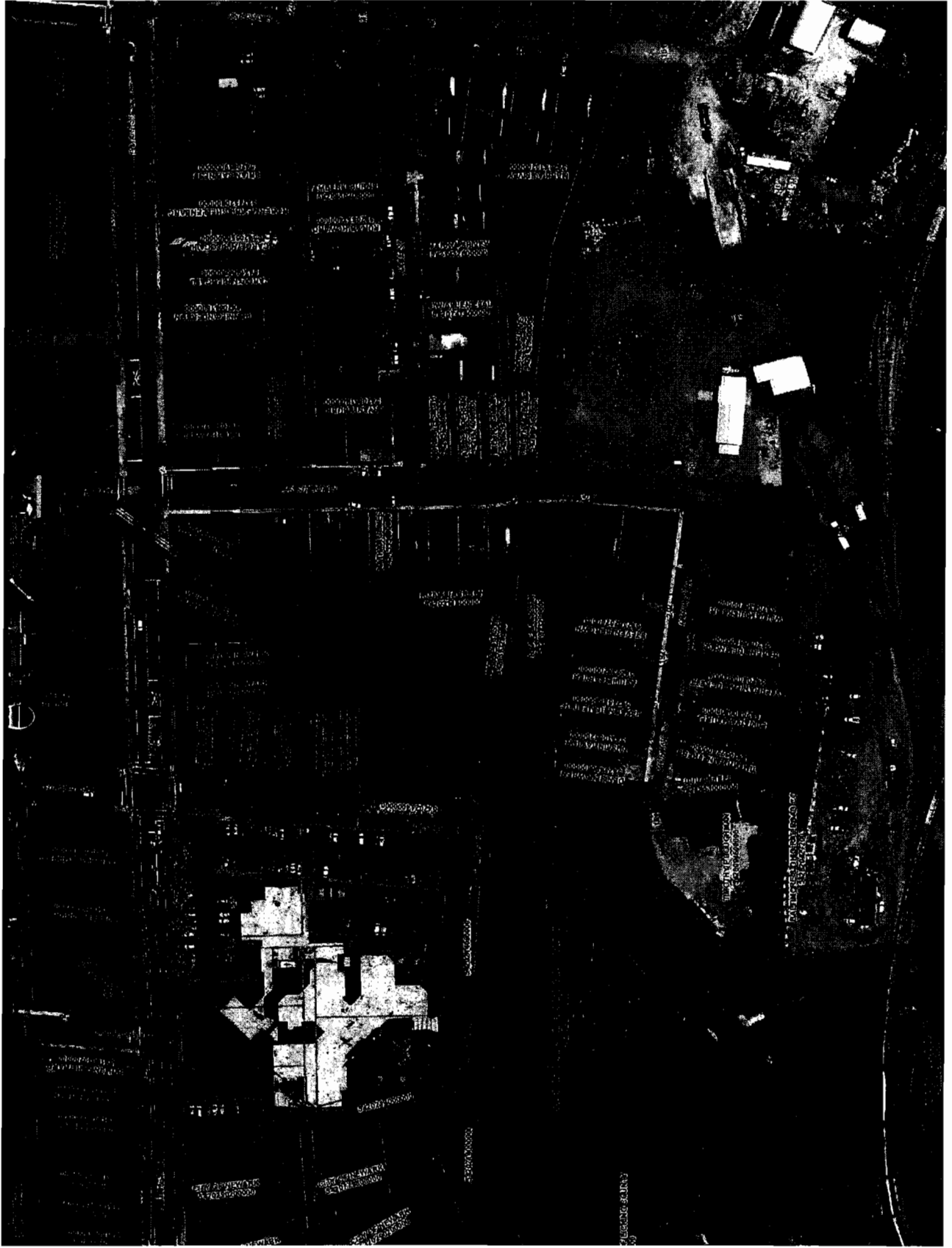
I, Paul J. Boeshart, (Reg. No. S-6512), hereby certify that the above description represents a true and correct survey and all measurements were made under my direct supervision in accordance with Chapter 4733-37 of the Ohio Administration Code in May, 2022.

  
 Paul J. Boeshart, P.L.S.  
 Registration No. S-6512



<b>PRE-APPROVAL</b> LICKING COUNTY ENGINEER	
APPROVED <input checked="" type="checkbox"/>	CONDITIONAL <input type="checkbox"/>
APPROVED BY:	
DATE:	04/02/2022

# Morris Street







# Michael L. Smith

## Auditor, Licking County, Ohio

### BREWERS REAL ESTATE LLC S MORRIS ST

Parcel #: 054-203118-00.000  
Rt #: 054-101.50-073.000

Tax District: 054 - NEWARK CITY-NEWARK CSD  
 School District: NEWARK CSD  
 Neighborhood: 00606 Newark -- East Side South Of Main St  
 Classification: 400 Commercial vacant land  
 Acreage:  
 Property Desc: LOT 223 PT, 230, 231, 232 RACHEL WILSON'S ADD  
 (UNRECORDED) + VAC ST + CANAL LANDS (1.319 AC)

1 of 1

ON

ATTRIBUTES						
<b>Story Height:</b> <b>Exterior Wall:</b> <b>Heating:</b> <b>Cooling:</b> <b>Basement:</b> <b>Attic:</b>  <b>Total Rooms:</b> <b>Bedrooms:</b> <b>Family Rooms:</b> <b>Dining Rooms:</b>  <b>Full Baths:</b> <b>Half Baths:</b> <b>Other Fixtures:</b>  <b>Year Built:</b> <b>Finished Living Area:</b>  <b>Fireplace Openings:</b> <b>Fireplace Stacks:</b>  <b>Basement Garage(s):</b> <b>Basement Finished:</b> No						
AREA	VALUES (by tax year)	Land	Improvement	Total		
First Floor:	2021 Market	8,600	0	8,600		
Upper Floor:	2021 CAUV	0	0	0		
Attic:	2020 Market	8,800	0	8,600		
Half Story:	2020 CAUV	0	0	0		
Crawl:	2019 Market	8,600	0	8,600		
Basement:	2019 CAUV	0	0	0		
SALES HISTORY						
Pcl #	Instrument Type	Sale Price	Conv #	V	LO	Previous Owner
06/06/2022	2 WD - WARRANTY	95000.00	1994	N	Y	JACKSON RITA F
06/06/2022	2 WD - WARRANTY	0.00	11111	N	Y	JACKSON RITA F
11/22/2000	3 EX - EXEMPT CONVEYANCE	0.00	99999	N	N	Refer to deed
IMPROVEMENTS						
Description	Yr Built	SqFt	Value			
TAXES						
	Prior	1st Half	2nd Half	Total		
Taxes/Reductions	0.00	163.45	163.45	326.90		
Pen/Int/Adj	0.00	0.00	0.00	0.00		
Recoupment	0.00	0.00	0.00	0.00		
Specials	0.00	6.00	6.00	12.00		
Gross Due	0.00	169.45	169.45	338.90		
Payments	0.00	169.45	0.00	169.45		
Net Due	0.00	0.00	169.45	169.45		

Public information data is furnished by this office, and must be accepted and used by the recipient with the understanding that this office makes no warranties, expressed or implied, concerning the accuracy, completeness, reliability, or suitability of this data. Furthermore, this office assumes no liability whatsoever associated with the use or misuse of such data.



202206060014033  
 Pgs:4 \$50.00 T20220014904  
 6/6/2022 3:23 PM BXSTIMSON HO  
 Bryan A. Long Licking County Recorder

TRANSFERRED  
 Date June 6, 2022  
Manda Smit  
 Licking County Auditor  
 SEC. 319.202 COMPLIED WITH  
 MICHAEL L. SMITH, AUDITOR  
 BY MS 289.00

DESCRIPTION APPROVED  
 JARED N. KNERR  
 LICKING COUNTY ENGINEER  
 APPROVED BY  
JN 6-6-22

GENERAL WARRANTY DEED

Rita F. Jackson, a married woman, the Grantor(s) for valuable consideration paid, grant(s), with general warranty covenants to Brewers Real Estate, LLC, an Ohio Limited Liability Company, the Grantee(s), whose tax mailing address is 228 East Main Street, Newark, OH 43055, the following REAL PROPERTY:

See Exhibit "A" attached hereto and made a part hereof

Prior Reference: Instrument No. 200011220037106  
 Parcel Number: 054-203112-00.000 and 054-203118-00.000 and 054-213732-00.000  
 Property Address: 211 East Main Street, Newark, OH 43055

SUBJECT to any and all easements, rights of way, conditions and restrictions of record; all legal highways and public roadways; zoning ordinances, rules and regulations.

EXCEPTED from the general warranty covenants are the real estate taxes and assessments which shall be prorated between the Grantor(s) and Grantee(s) to the time of closing and those taxes and assessments due and payable thereafter.

John L. Jackson, being the spouse of Grantor, releases to said Grantee(s) all rights of dower therein.



Executed this 3rd day of June, 2022

*Rita F. Jackson*  
Rita F. Jackson

*John L. Jackson*  
John L. Jackson

This is an acknowledgement certificate; no oath or affirmation was administered to the signer with regard to this notarial act.

STATE OF OHIO  
COUNTY OF LICKING

The foregoing instrument was acknowledged before me this 3rd day of June, 2022 by Rita F. Jackson and John L. Jackson

*[Handwritten Signature]*

Signature of person taking acknowledgment  
Title or rank \_\_\_\_\_  
Serial number \_\_\_\_\_



DEREK SANNER  
Notary Public  
State of Ohio  
My Comm. Expires  
February 9, 2025

**This instrument prepared by:**

Reese Pyle Meyer PLL  
36 N. Second St., P.O. Box 919  
Newark, Ohio 43058-0919.  
(740) 345-3431





**DAVID RHODES**  
NEWARK CITY  
DIRECTOR OF PUBLIC

City Hall  
40 West Main Street  
Newark, Ohio 43055-5531  
www.newarkohio.net

(740) 670-7703  
drhodes@newarkohio.net

June 8, 2022

RE: APPLICATION NO. PC-23-08 for Zoning District Change

Location: 882 Weiant Avenue  
Current Zoning Classification: Single Family Residence, RH - High Density District  
Requested Zoning Classification: MFR –Multi-Family Residence  
Owner/Applicant: James Hunt

Re: **Ordinance No. 23-07** AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS 882 WEIANT AVENUE, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID#054-226500-00.000 FROM THAT OF SINGLE-FAMILY RESIDENCE - RH - HIGH DENSITY DISTRICT TO MFR - MULTI-FAMILY RESIDENCE DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO

Ladies and Gentlemen:

A Public Hearing was held by the City of Newark Planning Commission on Tuesday, May 9, 2022 and the following were public comments for and against this proposal:

**Ronald Duval, 872 Weiant Ave.** - I am just adjacent to this gentleman's property and the reason I'm down here is I just want to know what the zoning for a multi-family is, those two hoses have been on that lot for probably twenty some years and I just don't understand what's going on.

**Mr. Ennen** - The application indicates that they want to convert it to two rental units and two apartments or two apartment garages is what the application says. It's not our application so we can't give you details, I apologize.

**Mr. Duval** - So you mean they're wanting to build apartments?

**Mr. Ennen** - That's not what it looks like they're saying, but I can't rule that out if that zoning change is allowed.

**Director Rhodes** - I've not been out to the site, but generally what happens is we have these public hearings, you take 30 days to make a decision, after checking with the engineer and review with the Board Members and after visiting the site and figuring out

exactly what they're doing, then we come back with an opinion on whether we support the change or not.

**Mr. Ennen** - Today is just the opportunity for you who are residents and neighbors to come in and make your comment on the proposal.

**Mr. Duval** - I've lived there for thirty eight years and I just recently built a pole barn and I kind of had a hard time myself just trying to get the pole barn built just with the lot that I live on with distance and zoning and all that.

**Mayor Hall** - I failed to explain how this process will go with zoning. Tonight we hear comments from anyone associated or anyone in that neighborhood who can discuss it for or against, we take one month for this group to render a decision, so it would be presented at next month's Planning Commission meeting, which will be on the 13<sup>th</sup>, second Tuesday. At that point that's a recommendation for Council, it would go to Council on July 3<sup>rd</sup>, at 7pm Council starts, there will be another public hearing similar to this and following that, they will make a vote. So, there's plenty of time, you're here to give us comments to help us make decisions, we can certainly get answers for you, not always right here, but we can work on that zoning maps and things like that you can look at and see how things are zoned around there.

**Mr. Duval** - Yes, because I mean to try to build something else there, there's two houses already on one lot and to build something on the back of that lot to those homes, to me, that would be a fire hazard.

**Mayor Hall** - Just so you know, zoning is one thing, getting permits to build and permissions and there's setbacks and if there are variances, all of that is another thing. If he needs a variance, there are other rules, this is just that piece of ground and future potential zoning change to it. So that doesn't give them permission to build what they want to build without proper application.

**James Hunt, 1003 Montgomery Rd** - This is my property. What we are planning to do is add a small, and when I say small, 25x25 two car garage with a 2 bedroom studio type apartment. That's all we're trying to do, no multi anything, I think that's what that guys concern was, so it's less than his pole barn.

**Mr. Ennen** - So, are you talking about putting this in the greenspace behind the house?

**Mr. Hunt** - Yes.

**Mr. Ennen** - Are you going to put one behind each house?

**Mr. Hunt** - I would like to, but I want to start out with one. I don't know if that is what I need to do, but this whole process is new to me so, eventually I would like to do that, but we are going to definitely start out with one.

**Mr. Ennen** - You don't currently have any drawings or anything?

**Mr. Hunt** - I've got sketches. I've got what we're looking at. I've got plans if you would like to see them.

**Barbara Athey, 867 Weiant Ave.** - I've lived there almost 50 years and I think the houses that are there now were built like in 1986. I guess I'm concerned about more housing going in there, it's maybe going to depreciate the value of our homes around there and stuff. I just don't know why it took 37 years that they want to change it now, I have a concern about that.

**Beth Bline, 2<sup>nd</sup> Ward Councilwoman** - I'm the council person for that area and I've gotten calls from residents, probably your neighbors, and they have concerns about depreciating property values as well. Then I don't know if the owners are local or if they're out of town and if indeed it becomes multiples, who is watching over the site, how does it not become another place where people come and do inappropriate things as far as drugs and that sort and so,, they are very concerned that it will just be a "glorified flophouse" those are the words that I'm getting from the residents, so there we go. Thank you for coming. The other question, which you've already mentioned was how come all of a sudden they want to come into compliance because there's a lot of different things going on, so that was another set of questions that you've already addressed. Thank you.

**Ms. Athey, 867 Weiant Ave.** - As Beth Bline just said the people in that neighborhood have lived there for years. We're just afraid, by putting apartments in, we've got apartments behind us on Harris, we've got them up on 30<sup>th</sup> Street near the car wash, and they're nothing but drug places. We're afraid that if they start putting apartments in closer to us, we have a handicap right next to the residence at 882, a lot of neighbors and there should be more of them here than are here, but they're concerned. So, it's just something that I think really needs to be checked out.

**Mr. Hunt, 1003 Montgomery Rd.** - Just to let everybody know, we've owned those two front buildings for over six years, I feel we've kept them up pretty nice, haven't heard of any problems, haven't had any issues. We are local, live in Newark, lived here all our lives, so I just wanted to state that.

**Mayor Hall** - We will close the public hearing for that particular item on the agenda.

**Motion by Mr. Ennen to close the hearing and refer to the Planning Director for his recommendation, Second by Mr. Gebhart, Motion passed 4-0**

Upon consideration of the information presented, the following actions are recommended:

1. The zoning classification for the parcel at 882 Weiant Avenue shall remain Single Family Residence RH - High Density District. Ordinance 23-07 is not recommended for passage and approval by Council.

Sincerely,



David Rhodes  
Newark City Planning Commission Director  
Cc: Law Director  
Zoning Inspector  
City Engineer



Planning Commission  
 c/o Engineering Department  
 40 West Main St, 2<sup>nd</sup> Floor  
 Newark, Ohio 43055  
 (740) 670-7727  
 (740)349-5911 Fax

# City of Newark Planning Commission Zoning District Change Application

[www.newarkohio.net/government/boards-commissions/planning-commission](http://www.newarkohio.net/government/boards-commissions/planning-commission)

**Office Use Only**  
 Zoning File # \_\_\_\_\_  
 PC Application # PC-23-208  
 Date Received: 2-27-23  
 Received by: PKemp  
 Amount Due: \$100.00  
 Paid By: (circle one)  
 Check # \_\_\_\_\_ Cash Credit  
 Receipt # \_\_\_\_\_ Card

Rev 2/13

<input checked="" type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
<b>Owner</b>			
Property Owner: <u>JAMES HUNT</u>		Telephone: <u>740-403-1359</u>	
Address: <u>1003 MONTGOMERY Rd NE</u>		E-mail: <u>huntj081@yahoo.com</u>	
City: <u>Newark</u>	State: <u>Ohio</u>	Zip: <u>43055</u>	Fax: <u>—</u>
I would prefer to have agendas mailed rather than e-mailed <input checked="" type="checkbox"/>			
<b>Applicant/Representative</b>			
Representative:		Same as above <input checked="" type="checkbox"/>	Telephone:
Address:		E-mail:	
City:	State:	Zip:	Fax:
I would prefer to have agendas mailed rather than e-mailed <input type="checkbox"/> <span style="float: right;">First: X</span>			
<b>Property Location</b>			
Street Address: <u>882 WELANT Ave.</u>			
Parcel Tax ID #: <u>054-226500-00-003</u>		Number of Acres: <u>0.29</u>	
Lot Number: (if applicable) <u>15-16</u>		Property Platted? Yes <input type="checkbox"/> No <input type="checkbox"/>	
<b>District Classification</b> <span style="float: right;">(Zoning Code 08-33, see <a href="http://www.newarkohio.net">www.newarkohio.net</a>)</span>			
<b>Present Zoning District:</b>		<b>Proposed Zoning District:</b>	
<input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input checked="" type="checkbox"/> Single-Family Residence (Circle one) RS-Suburban RL-Low Density RM-Medium Density <u>RH</u> -High Density <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence		<input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input checked="" type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input type="checkbox"/> Single-Family Residence (Circle one) RS-Suburban RL-Low Density RM-Medium Density RH-High Density <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence	

**Property Use**

Present Use: two single family rentals

Proposed Use: two single family rentals plus two apartment garages

**Additional Comments**

Reason For Request:

**Required Documentation and Process Overview**

- Original Application Form – must contain notarized signature of the property owner
- Tax Map and Auditor's Parcel Numbers for the parcels to be re-zoned. Contact the Licking County Engineer's Office for a tax map or visit <http://www.lcounty.com/Treasurer> to print out Real Estate Tax parcel information and a parcel map. Licking County Engineer's Office is located at 20 South 2<sup>nd</sup> St (3<sup>rd</sup> Floor) Newark, OH 43055 (740) 670-5280.
- Legal Description of parcels to be re-zoned. (typically a survey description or valid deed description)  
*Note: Legal Description must be reviewed and stamped approved by the Newark City Engineering Department*
- A drawing or map showing the location of all buildings on the parcels. (A current Google aerial photo is acceptable.)
- Application Fee of \$100.00, cash or check. Make check payable to "City of Newark".
- Call the Newark City Engineering/Zoning Department to schedule a Zoning and Legal Description Review. Newark City Engineering/Zoning Department is located at 40 W. Main Street (2nd Floor) Newark, OH 43055 (740) 670-7727  
*Note: an Engineering/ Zoning Authorization Signature is required on this application. See below.*
- Submit all application materials to the Newark City Engineering/Zoning Department for inclusion on a Planning Commission Agenda.
- Attend the Planning Commission Meetings and Council Meetings held in Newark City Council Chambers, 40 W. Main Street (1<sup>st</sup> Floor) throughout the process. The process typically takes 3 -4 months to complete.  
*Note: be prepared to answer Planning Commission and Council Member's questions regarding your application*

**Owner Acknowledgement**

I hereby certify that the information provided in this application is true and factual to the best of my knowledge.



NOTARY PUBLIC  
STATE OF OHIO  
MY COMMISSION EXPIRES

Signature: [Handwritten Signature]  
Subscribed before me this February day of 2023

Date 2-27-23

My Commission Expires: 5/11/2024

[Handwritten Signature]  
Notary Public

**Engineering/Zoning Authorization – Office Use Only**

Approved  Denied  Approved with Conditions

Representative Signature [Handwritten Signature]

Date 3/13/2023

Comments/Conditions: DESCRIPTION APPROVED FOR ZONING PURPOSES

**Planning Commission Recommendation to Council – Office Use Only**

Approved  Denied  Approved with Conditions   
(See Letter of Recommendation)

Planning Director Signature: \_\_\_\_\_

Date \_\_\_\_\_

Conditions: \_\_\_\_\_

**After Planning Commission Recommendation:**

- Contact the Clerk of Council regarding Council Public Hearing Date and Final Vote.  
Clerk of Council's Office is located at 40 W Main St (2nd Floor) Newark, OH 43055 (740) 670-7516.

DESCRIPTION APPROVED  
 WILLIAM C LOZIER  
 LICKING COUNTY ENGINEER  
 APPROVED BY  
*W.C. Lozier* 4-29-16

TRANSFERRED  
 Date April 29, 2016  
*Michael L. Smith*  
 Licking County Auditor  
 SEC. 319.202 COMPLIED WITH  
 MICHAEL L. SMITH, AUDITOR  
 BY: *TH* 450.00

  
 201604290008363  
 Pgs: 1 \$28.00 720180009732  
 04/29/2016 1:17PM BXMG8  
 Bryan A. Long  
 Licking County Recorder

Survivorship Deed

## Know all Men by these Presents

That RJCK Properties, LLC, aka The RJCK Properties, LLC, an Ohio limited liability company, of Licking County, Ohio, for valuable consideration received, grants with general warranty covenants to Donna J. Wheeler-Hunt and James L. Hunt, wife and husband, for their joint lives, remainder to the survivor of them, whose tax mailing address is 1003 Montgomery Rd., Newark, Ohio 43055, the following real estate:

Situated in the State of Ohio, County of Licking, and City of Newark, and bounded and described as follows:

Being Lots Numbered 15 and 16 in The Newark Real Estate and Improvement Company's Idlewilde Park Addition in the said City of Newark, as shown on the plat of said Addition recorded in Volume 3, at page 90, of the Plat Records in the Office of the Recorder of Licking County, Ohio.

Subject to all valid and existing building and other restrictions and conditions of record, to all valid and existing zoning laws, ordinances and resolutions, to all valid and existing easements of record.

Except for real estate taxes and special assessments, if any, which shall be prorated to the date of the delivery of the deed after which the grantee assumes and agrees to pay.

Property Address: 878-882 Weiant Ave., Newark, Ohio 43055  
 Permanent Parcel No.: 054-226500-00.000  
 Last Reference: Instrument No. 200708210022027, Official Record, Licking County, Ohio

Witness my hand this 28 day of April, 2016.

RJCK Properties, LLC, aka The RJCK Properties, LLC, an Ohio limited liability company

By: *Ronald J. Jones*  
 Ronald J. Jones, Member

STATE OF OHIO  
 COUNTY OF LICKING, SS:

Before me, a Notary Public, in and for said County and State, personally appeared the above named RJCK Properties, LLC, aka The RJCK Properties, LLC, an Ohio limited liability company, by Ronald J. Jones, its authorized member, personally known by me to be the person executing the foregoing instrument, who acknowledged the signing of the same to be his free and voluntary act and deed and the free and voluntary act and deed of RJCK Properties, LLC, aka The RJCK Properties, LLC, an Ohio limited liability company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal at Newark, Licking County, Ohio this 28th day of April, 2016.

BRENDAS BORDERS  
 Notary Public, State of Ohio  
 My Commission Expires 08-07-2018



*Brenda Borders*  
 Notary Public

MORROW, GORDON & BYRD, Ltd. 33 West Main Street, P.O. Box 4190, Newark Ohio 43058-4190, (740) 345-9611



882-Weiant Ave.  
 APPROVED  
 BY *Brenda Borders*  
 Div. of Engineering  
 City of Newark, Ohio

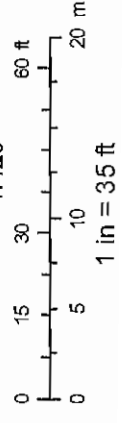
DONOR'S PURPOSES  
 FOR ZONING

882 Weiant Ave



February 28, 2023

1:420









**DAVID RHODES**  
NEWARK CITY  
DIRECTOR OF PUBLIC

City Hall  
40 West Main Street  
Newark, Ohio 43055-5531  
www.newarkohio.net

(740) 670-7703  
drhodes@newarkohio.net

June 8, 2022

RE: APPLICATION NO. PC-23-09 for Zoning District Change

Location: 281 Elmwood Avenue  
Current Zoning Classification: Single Family Residence, RH - High Density District  
Requested Zoning Classification: TFR Two-Family Residence  
Owner/Applicant: Jason Angus

Re: **Ordinance No. 23-08** AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS 281 ELMWOOD AVENUE, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID #054-278850-00.000 FROM THAT OF SINGLE-FAMILY RESIDENCE - RH - HIGH DENSITY DISTRICT TO TFR-TWO-FAMILY RESIDENCE DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO

Ladies and Gentlemen:

A Public Hearing was held by the City of Newark Planning Commission on Tuesday, May 9, 2022 and the following were public comments for and against this proposal:

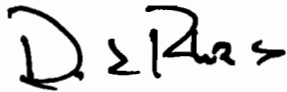
**Jason Angus, 901 West Main St.** - I'm the owner of 281 Elmwood, also own 277 and 275, they are all three right in a row. We are proposing to this committee that we are allowed to turn what is a ¾ bedroom single family into two 2 bedroom units. Both floors are basically identical, so both units will be identical units, a very large living room, kitchen and full bath with laundry. We stick a lot of money in our properties, we're trying to do our part and trying to improve our properties here in our community. The two houses next to it, just in the last 3 or 4 months, we've stuck about \$45k into those two properties, this one we are proposing about a \$70k-\$80k renovation, basically it's going to be a complete remodel, it's not going to be something slapped together, band aided, we're going to do it right. With the ever growing issue of housing in the community we think it would be nice to do it with this unit. There's at least 7 zoned units on the street. Elmwood's a very short street, they're already 2 family or multi-family and within a quarter mile there's over 20, so it's already being used I that area

quite a bit and I think there's quite a few of them that are not zoned that are also duplexes that were just done, but we want to do things correctly, we ask the committee to consider this for our property at 281 Elmwood.

Upon consideration of the information presented, the following actions are recommended:

1. The zoning classification for the parcels at 281 Elmwood Avenue shall be changed to TFR Two-Family Residence. Ordinance 23-08 is recommended for passage and approval by Council.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Rhodes". The signature is written in a cursive, slightly slanted style.

David Rhodes  
Newark City Planning Commission Director

Cc: Law Director  
Zoning Inspector  
City Engineer



Planning Commission  
 c/o Engineering Department  
 40 West Main St, 2<sup>nd</sup> Floor  
 Newark, Ohio 43055  
 (740) 670-7727  
 (740)349-5911 Fax

# City of Newark Planning Commission Zoning District Change Application

[www.newarkohio.net/government/boards-commissions/planning-commission](http://www.newarkohio.net/government/boards-commissions/planning-commission)

**Office Use Only**  
 Zoning File # \_\_\_\_\_  
 PC Application # PC-23-09  
 Date Received: 2-28-23  
 Received by: [Signature]  
 Amount Due: \$100.00  
 Paid By: (circle one)  
 Check # 2 Cash  
 Receipt # 999499

Rev 2/13

<input checked="" type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
<b>Owner</b>			
Property Owner: <u>Angus &amp; Mac Property Solutions LLC</u>		Telephone: <u>740 644 5696</u>	
Address: <u>4100 Penna Dr</u>		E-mail: <u>jangus911@gmail.com</u>	
City: <u>Newark</u>	State: <u>OH</u>	Zip: <u>43055</u>	Fax: _____
I would prefer to have agendas mailed rather than e-mailed <input type="checkbox"/>			
<b>Applicant/Representative</b>			
Representative: <u>Jason Angus</u>		Same as above <input type="checkbox"/>	
Address: <u>901 W. Main St.</u>		E-mail: <u>jangus911@gmail.com</u>	
City: <u>Newark</u>	State: <u>OH</u>	Zip: <u>43055</u>	Fax: _____
I would prefer to have agendas mailed rather than e-mailed <input type="checkbox"/>			
<b>Property Location</b>			
Street Address: <u>281 Elmwood Ave. Newark OH 43055</u>			
Parcel Tax ID #: <u>054-278850-00.000</u>		Number of Acres: <u>1.060</u>	
Lot Number: (if applicable) <u>568 PT</u>		Property Platted? Yes <input type="checkbox"/> No <input type="checkbox"/>	
<b>District Classification</b> <span style="float: right;">(Zoning Code 08-33, see <a href="http://www.newarkohio.net">www.newarkohio.net</a>)</span>			
<b>Present Zoning District:</b>		<b>Proposed Zoning District:</b>	
<input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input checked="" type="checkbox"/> <b>Single-Family Residence (Circle one)</b> RS-Suburban RL-Low Density RM-Medium Density <u>RH</u> -High Density <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence		<input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input type="checkbox"/> <b>Single-Family Residence (Circle one)</b> RS-Suburban RL-Low Density RM-Medium Density RH-High Density <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input checked="" type="checkbox"/> <b>TFR Two-Family Residence</b>	

**Property Use**

Present Use: Single Family Home

Proposed Use: 2 Family Home

**Additional Comments**

Reason For Request: Additional housing in the community

**Required Documentation and Process Overview**

- Original Application Form – must contain notarized signature of the property owner
- Tax Map and Auditor's Parcel Numbers for the parcels to be re-zoned. Contact the Licking County Engineer's Office for a tax map or visit <http://www.lcounty.com/Treasurer> to print out Real Estate Tax parcel information and a parcel map. Licking County Engineer's Office is located at 20 South 2<sup>nd</sup> St (3<sup>rd</sup> Floor) Newark, OH 43055 (740) 670-5280.
- Legal Description of parcels to be re-zoned. (typically a survey description or valid deed description)  
*Note: Legal Description must be reviewed and stamped approved by the Newark City Engineering Department*
- A drawing or map showing the location of all buildings on the parcels. (A current Google aerial photo is acceptable.)
- Application Fee of \$100.00, cash or check. Make check payable to "City of Newark".
- Call the Newark City Engineering/Zoning Department to schedule a Zoning and Legal Description Review. Newark City Engineering/Zoning Department is located at 40 W. Main Street (2nd Floor) Newark, OH 43055 (740) 670-7727  
*Note: an Engineering/ Zoning Authorization Signature is required on this application. See below.*
- Submit all application materials to the Newark City Engineering/Zoning Department for inclusion on a Planning Commission Agenda.
- Attend the Planning Commission Meetings and Council Meetings held in Newark City Council Chambers, 40 W. Main Street (1<sup>st</sup> Floor) throughout the process. The process typically takes 3 -4 months to complete.  
*Note: be prepared to answer Planning Commission and Council Member's questions regarding your application*

**Owner Acknowledgement**

I hereby certify that the information provided in this application is true and factual to the best of my knowledge.

Property Owner Signature: [Signature] Date 28 Feb 2023

Sworn and subscribed before me this 28<sup>th</sup> day of February, 20 23

My Commission Expires: 5/11/2024  
[Signature]  
Notary Public

**Engineering/Zoning Authorization – Office Use Only**

Approved  Denied  Approved with Conditions

Representative Signature [Signature] Date 3/13/2023

Comments/Conditions: DESCRIPTION APPROVED FOR ZONING PURPOSES

**Planning Commission Recommendation to Council – Office Use Only**

Approved  Denied  Approved with Conditions   
(See Letter of Recommendation)

Planning Director Signature: \_\_\_\_\_ Date \_\_\_\_\_

Conditions: \_\_\_\_\_

**After Planning Commission Recommendation:**

- Contact the Clerk of Council regarding Council Public Hearing Date and Final Vote.  
Clerk of Council's Office is located at 40 W Main St (2nd Floor) Newark, OH 43055 (740) 670-7516.

EXHIBIT "A"

The parcel herein described is known as being the same lands conveyed to John R. & June A. Whiteside as described in Instrument No. 200803310007182 and is better known as being a part of Old Lot 31 (Renumbered Lot 568 in Deed Book 52 on Page 15) in the Council Plat of Newark (Plat Book 2, Page 141) in the City of Newark in Licking County, Ohio and is better described as follows:

Beginning for a reference at an existing iron pin at the southeast corner of the above said Lot 568 on the west line of Elmwood Avenue;

Thence, with the west line of Elmwood Avenue, North 27 degrees 34 minutes 12 seconds West, 29.66 feet to an existing 5/8" iron pipe and the true point of beginning;

Thence, leaving the said road and following the north line of Harold D. & Charlotte R. Phipps (Inst. No. 200404020011375), South 63 degrees 49 minutes 21 seconds West, 80.32 feet to an existing 3/4" iron pipe;

Thence, with the east line of Robert c. & Claudia Robinson-Co-Tr. (Inst. No. 201401170001122), North 27 degrees 34 minutes 12 seconds West, 30.61 feet to a point;

Thence, with the south line of Charles E. Quick, Jr. (Inst. No. 200601110001169), North 64 degrees 21 minutes 30 seconds East, 80.34 feet to an existing 3/4" iron pipe on the west line of Elmwood Avenue;

Thence, with the said road, South 27 degrees 34 minutes 12 seconds East, 29.86 feet to the true point of beginning. Containing 0.056 acres and being subject to all legal roads, easements and restrictions of record. North is based on the west line of Elmwood Avenue as bearing South 27 degrees 34 minutes 12 seconds East. The bearings, used in this description, show the relationship of the angles of the property lines and are not based on true bearings.

I, Paul J. Boeshart, Ohio Registered Surveyor Number S-6512, hereby certify that the above description represents a true and correct survey and all measurements were made under my direct supervision in accordance with Chapter 4733-37 of the Ohio Administration Code in January, 2015.

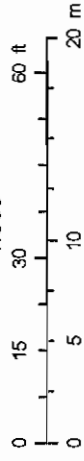
DESCRIPTION 281 ELMWOOD AVE. FOR ZONING PURPOSES  
APPROVED  
By Ben [Signature]  
Div. of Engineering  
City of Newark, Ohio

281 Elmwood Ave



February 28, 2023

1:360







## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

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### JUNE 13, 2023 PLANNING COMMISSION MEETING

#### Application:

1. ***PC-23-10: SITE PLAN FOR THE MOULL STREET APARTMENTS - NEW APARTMENT DEVELOPMENT AT WEST END OF MOULL STREET***

#### Staff Report & Recommendations:

##### **Overview:**

The applicant intends to build 6 multi-family apartment buildings (24 – 2 bedroom units) development at the west end of Moull Street.

The Site Plan Review Committee submitted comments on 6/9/2022 regarding this application. Reviewers included:

- Mark Mauter, Development Director
- Brandon Metzger, Fire Chief
- Aaron Holman, NFD
- Erik McKee, Police Chief
- Craig Riley, Deputy Police Chief
- Brandon Fox, Utilities Superintendent
- Adam Bernard, Utilities Engineer
- Lindsey Brighton, Stormwater Utility
- Nick Shultz, Street and Traffic Engineer
- Don Hiltner, Senior Engineer
- Brian Morehead, City Engineer
- George Carter, Zoning Inspector

##### A. Zoning District:

This site is zoned Multi Family Residential District (MFR) as a result of a recent zoning change; the proposed use is a permitted use.

**Flood Zones:** These structures are not located in the 100-year Floodplain Area.

##### B. Safety Division Review:

The Police Division and Fire Divisions have no issues with the proposed structure.

##### C. Height Restrictions:

The proposed buildings shown on the elevation drawings are one and two story and the proposed 27' building heights meet the requirements in this district.

##### D. Lot Area & Setbacks:

The proposed Parcel 1 is approximately 95,400 S.F. +/-, and with the proposed density / number of bedrooms in the 6 proposed buildings, the required lot area is 87,120 S.F.; the proposed development meets acceptable density requirement. The proposed setbacks meet the requirements as well.





## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

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*We recommend a lot split be submitted for approval, to separate the existing commercial structures (car wash and office building) on separate parcels. The split commercial parcels should apply to Temporary Board of Zoning Adjustment to correct the zoning districts to the current uses.*

E. Off-Street Parking & Loading:

Code requires 60 parking spaces for 24 – 2 bedroom units, and 8 outdoor and 24 garage spaces are proposed, which does not meet the requirements, so this parking would require a variance approval from the Board of Zoning Appeals.

F. Corner Lots:

No structures are proposed at this time in the lot corner area.

G. Landscaping, Buffering & Greenspace:

*(For this calculation, we have assumed the lots are split and calculated for only the apartment development site.)*

The landscaping requirement consists of 6,500 +/- SF of green space (Lawn) and greater than 1,600 SF of the green space area shall be ground cover (planting areas) as required by the Zoning Code. In addition, 9 trees are required on the entire site. No landscaping plan has been submitted for review, but is required to verify the required landscaping areas.

H. Public & Private Roadways – Access Management:

All of the proposed streets and driveways are privately owned and maintained by the development. The new private driveway into the development from Moull Street is shown 20' wide.

We are not in favor of the 5 driveway access points along the Moull Street frontage. Can these be combined to reduce the number of conflict points?

I. Site Signage:

No development sign locations are shown on the site plan. Any development sign shall be submitted and will be reviewed separately.

J. Traffic Control / Street / Right-of-Way Issues:

The City has recently been requiring 5' wide sidewalk in the public right-of-way to better comply with ADA requirements. The designer should try to accommodate a 1 foot wider walk on Moull Street in this plan.

Signage is needed to be installed to prohibit on-street parking, in order to provide clear access for emergency vehicles, fire lanes, etc.



## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

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**K. Engineering / Utilities:**

Engineering and Water staff will be reviewing the detailed water, sanitary and stormwater management plans; these have been submitted for review. Engineering will follow up for compliance prior to construction.

There have been no stormwater management calculations submitted, and this should be submitted and reviewed prior to zoning approval. The existing 12” storm sewer along the west side of the parcel may need to be upsized, depending on the calculations. The area is tributary to the existing detention pond located on the north side of Moull Street.

**L. Other Standards/Regulations**

The City should be provided with copies of the easements for access, utilities and stormwater; there are several adjacent properties that use / will use these facilities, so the City needs to have a clear understanding of those rights and maintenance responsibilities.

**Recommendations:**

Staff recommends conditional approval of the Site Plan for the Moull Street Apartments development in order to grant Zoning approval of the site, provided the following issues are addressed:

1. BZA variances approved for parking space count.
2. Lot split is submitted and approved for 3 separate parcels.
3. Temporary Board of Zoning Adjustment application submitted for remaining commercial parcels after the split.
4. Landscaping plan submitted with more detail, calculations and measurements.
5. Any of the remaining issues listed above will be addressed on the final construction plans. Compliance with City’s Stormwater Management requirements.

If approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

**Planning Commission Action on Recommendation:**

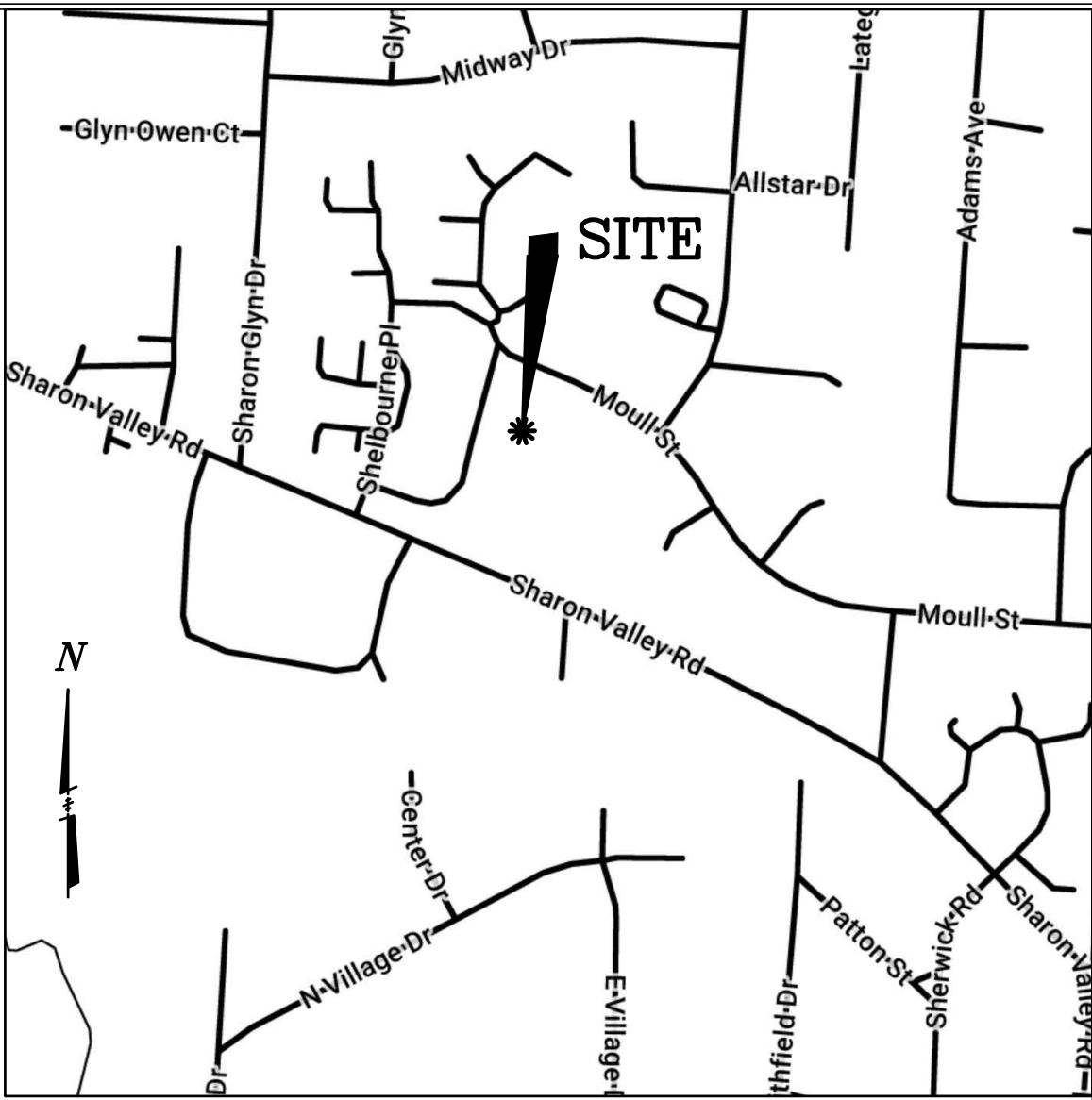
- Approved As Submitted
- Approved As Noted, With Contingencies / Conditions
- Denied

---

Planning Director Date

# SITE IMPROVEMENTS FOR MOULL STREET APTS.

NEWARK, OH



LOCATION MAP  
NO SCALE

**elmasian**  
engineering, LLC  
PO BOX 626  
PATASKALA, OH 43062  
PH: 614-349-2002  
www.elmasian.net



**SURVEY NOTES**

1. THE BOUNDARY INFORMATION SHOWN HEREON IS FROM SURVEY BY PAUL J. BOESHART, PLS ~ REG. NO. S-6512, 94 CANYON VILLA DRIVE HEBRON, OH 43025 PHONE: 740-926-4130
2. UTILITY LOCATIONS ON THIS SURVEY ARE REPORTED FROM FIELD LOCATIONS OR INFORMATION PROVIDED BY UTILITY REPRESENTATIVES. THIS DOES NOT MEAN THERE COULD NOT BE OTHER UTILITIES IN THE AREA.
3. BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, OHIO SOUTH ZONE, NAD83 (CORS), AS ESTABLISHED USING GPS OBSERVATIONS PROCESSED AGAINST THE OHIO CORS NETWORK, WITH THE CENTER LINE OF SHARON VALLEY ROAD AS BEARING N 67° 10' 52" W AND ARE USED TO DENOTE ANGLES ONLY.

**SOURCE BENCH MARK (NAVD 88)**

- BM-1 - 2" MAGNETIC NAIL SET IN PAVEMENT 8.5 FEET EAST OF THE SE CORNER OF THE DUMPSTER PAD AND 59.5 FEET NORTH OF THE NW CORNER OF THE OLD CAR WASH BUILDING.  
OHIO STATE PLANE COORDINATES (SOUTH ZONE)  
N. 754654.7604 E. 1986261.9625 ELEV. 871.80
- BM-2 - 5/8" IRON PIN FOUND AT THE NW CORNER OF THE SITE ON THE SOUTH SIDE OF MOULL STREET 50' EAST OF CB-14 AND 11.5' SW OF CI-1.  
OHIO STATE PLANE COORDINATES (SOUTH ZONE)  
N. 754991.1459 E. 1986276.0871 ELEV. 861.56
- BM-3 - 5/8" IRON PIN FOUND AT THE NW CORNER OF THE SITE ON THE SOUTH SIDE OF MOULL STREET 19' NORTH OF POWER POLE AND 54' NW OF APT BLDG  
OHIO STATE PLANE COORDINATES (SOUTH ZONE)  
N. 754866.3666 E. 1986549.7691 ELEV. 861.82

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

_____	DATE
MAYOR, CITY OF NEWARK	
_____	DATE
CITY ENGINEER, CITY OF NEWARK	
_____	DATE
DIRECTOR UTILITIES, CITY OF NEWARK	
_____	DATE
STREET SUPERINTENDENT, CITY OF NEWARK	
_____	DATE
ZONING DIRECTOR, CITY OF NEWARK	
_____	DATE
FIRE CHIEF, CITY OF NEWARK	

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL OF THE MINIMUM STANDARDS AS DELINEATED IN THE FAIRFIELD COUNTY CODIFIED ORDINANCES HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICE AND ARE NOT DETRIMENTAL TO PUBLIC SAFETY AND CONVENIENCE.

*Nicholas Elmasian*  
REGISTERED ENGINEER E-81167



5/19/2023  
DATE

**INDEX OF SHEETS**

- 1.....TITLE SHEET
- 2.....GENERAL NOTES
- 3.....EXISTING CONDITIONS PLAN
- 4.....PROPOSED SITE PLAN
- 5.....SITE GRADING PLAN
- 6.....UTILITY PLAN
- 7.....STORM PROFILES
- 8.....STORMWATER POLLUTION PREVENTION PLAN
- 9.....SEDIMENT AN EROSION CONTROL DETAILS

**STANDARD DRAWINGS**

THE STANDARD DRAWINGS LISTED ON THIS PLAN SHALL BE CONSIDERED A PART THEREOF.

NEWARK	
400-3	800-3
400-4	800-4
600-4	900-0
600-5	900-1
800-WS-3	900-4
800-WS-3A	900-5
800-WS-5	900-7
800-WS-6B	900-9

**TOPOLOGY**

THE CONTOURS SHOWN ON THESE PLANS ARE BASED OF TOPOGRAPHIC SURVEY.

**SITE ZONING INFORMATION**

ZONING DISTRICT: MFR - MULTI-FAMILY RESIDENCE DISTRICT  
PROPOSED USE: MULTI-FAMILY  
OWNER: GARRY MCANALLY & LANNEY M. MCANALLY  
PROPERTY ADDRESS: XX MOULL STREET  
PARCEL NUMBER: 054-286470-01.000  
PARCEL ACREAGE: 3.6856 AC. (2.190 AC. AFTER LOT SPLIT)

ZONING REQUIREMENTS:  
SETBACKS: FRONT YARD - 25'  
SIDE YARD - 15'/17'  
REAR YARD - 45'  
BUILDING COVERAGE:  
EXISTING: 0 S.F. (0.0%)  
PROPOSED: 80,000 S.F. (37.6%)

LOT COVERAGE:  
EXISTING: 0.0 AC. (0.0%) - IMPERVIOUS  
PROPOSED: 0.57 AC. (26.1%) - IMPERVIOUS

TOTAL DISTURBED AREA: 2.0 ACRES

**PARKING LOT CALCULATIONS**

TOTAL PARKING SPACES PROPOSED: 8 PARKING SPACES

**ENGINEER INFORMATION**

ELMASIAN ENGINEERING, LLC  
CONTACT: NICHOLAS ELMASIAN, PE  
PO BOX 626  
PATASKALA, OH 43062  
PHONE: (614) 327-2008  
EMAIL: NICK@ELMASIAN.NET

**OWNER INFORMATION**

MOULL STREET APTS  
CONTACT: BRYAN MCANALLY  
35 S. PARK PLACE  
NEWARK, OHIO 43055  
PHONE: 614-374-1365  
EMAIL: B\_MCANALLY@WACHTEL.MCANALLY.COM

NO.	DATE	BY

COVER SHEET  
**MOULL STREET APTS.**  
MOULL ST., NEWARK, OH 43055

DATE	5/19/23
SCALE	N/A
SHEET NO.	1 OF 9
FILE NO.	MAD002

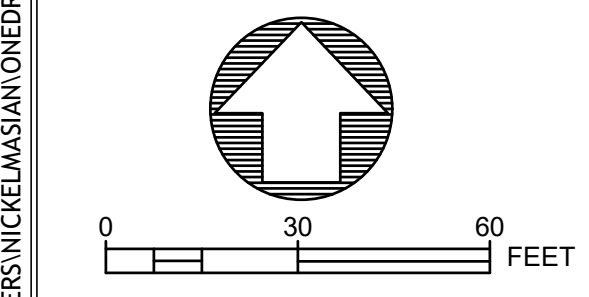






**LEGEND**

- S — SANITARY SEWER
- ST — STORM SEWER
- W — WATER MAIN
- G — GAS LINE
- U/C — UNDERGROUND CABLES
- O/L — OVERHEAD LINES
- MANHOLE
- ⊞ STORM INLET
- ⊞ FIRE HYDRANT
- ⊞ LIGHT & UTILITY POLES
- ⊞ GUY WIRE
- ⊞ FENCE
- ⊞ SIGN
- ⊞ VALVE BOX
- ⊞ GAS LINE MARKER
- ⊞ TELEPHONE CLOSURE
- ▲ 2" MAGNETIC NAIL SET
- △ 4" MAGNETIC SPIKE SET
- ⊙ 5/8" X 30" REBAR WITH A 2" ALUMINUM ID  
CAP STAMPED "BOESHART S-6512" SET
- EXISTING 3/4" IRON PIPE
- EXISTING 5/8" IRON PIN
- ⊙ CONCRETE MONUMENT FOUND (MON)



NO.	DATE	BY

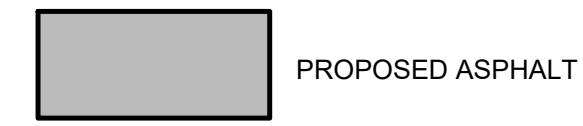
**EXISTING CONDITIONS PLAN**  
**MOULL STREET APTS.**  
MOULL ST., NEWARK, OH 43055

DATE	5/19/23
SCALE	1" = 30'
SHEET NO.	3 OF 9
FILE NO.	MAD002

C:\USERS\NICHEMASIAN\CONDRIVE - ELMASIAN ENGINEERING, LLC\MAD\MAD002\CADD\MAD002\_SITE.DWG 5/19/2023



### PAVEMENT LEGEND



PROPOSED ASPHALT

### SITE DIMENSION PLAN NOTES:

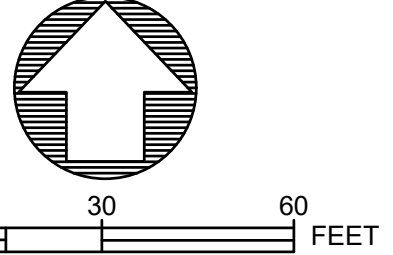
1. ALL DIMENSIONS AND RADII ARE GIVEN TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION IS NOT GIVEN.
3. REFER TO ARCHITECTURAL DRAWINGS FOR PROPOSED BUILDING DETAILS AND SPECIFICATIONS.



DATE	
SCALE	
SHEET NO.	
FILE NO.	

**PROPOSED SITE PLAN**  
**MOULL STREET APTS.**  
 MOULL ST., NEWARK, OH 43055

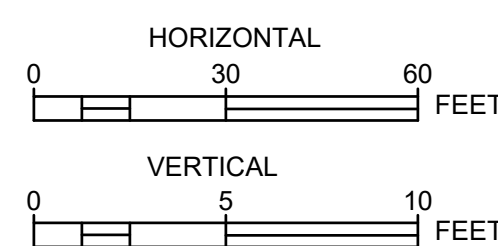
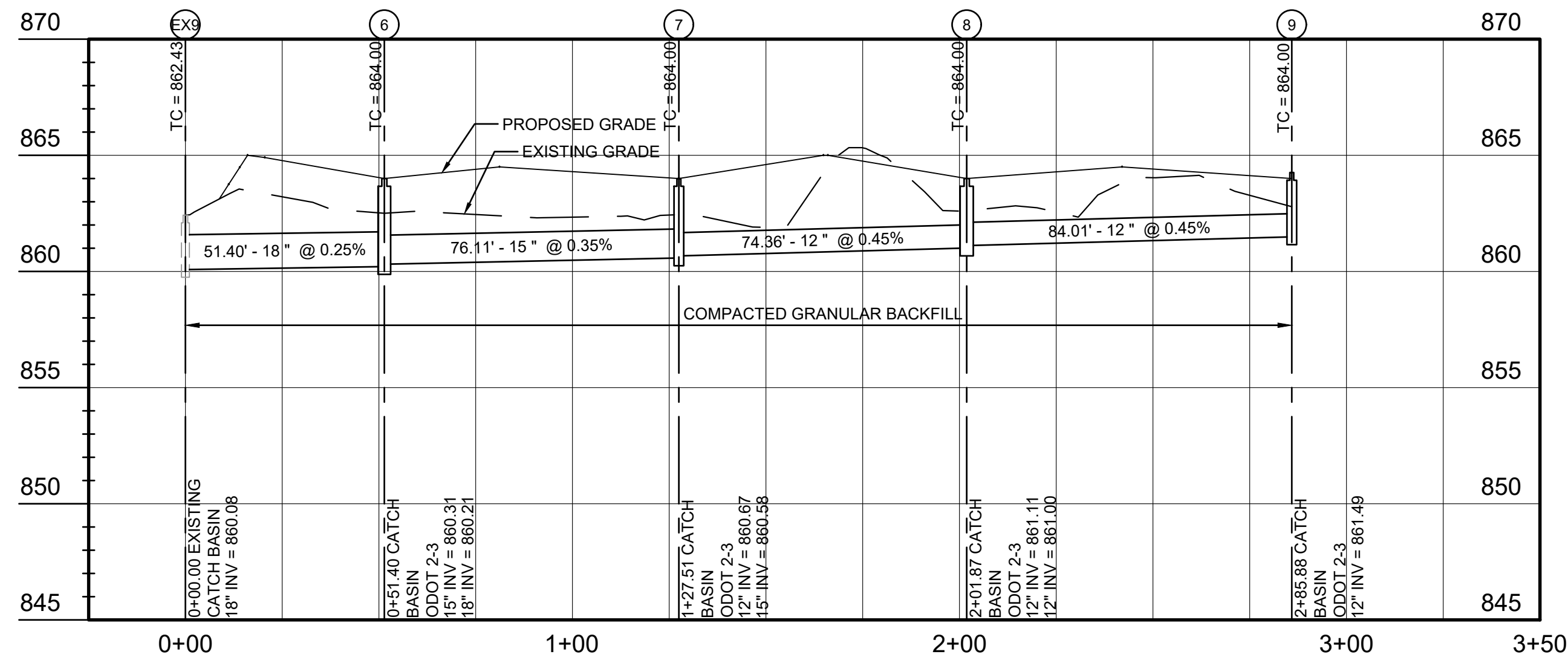
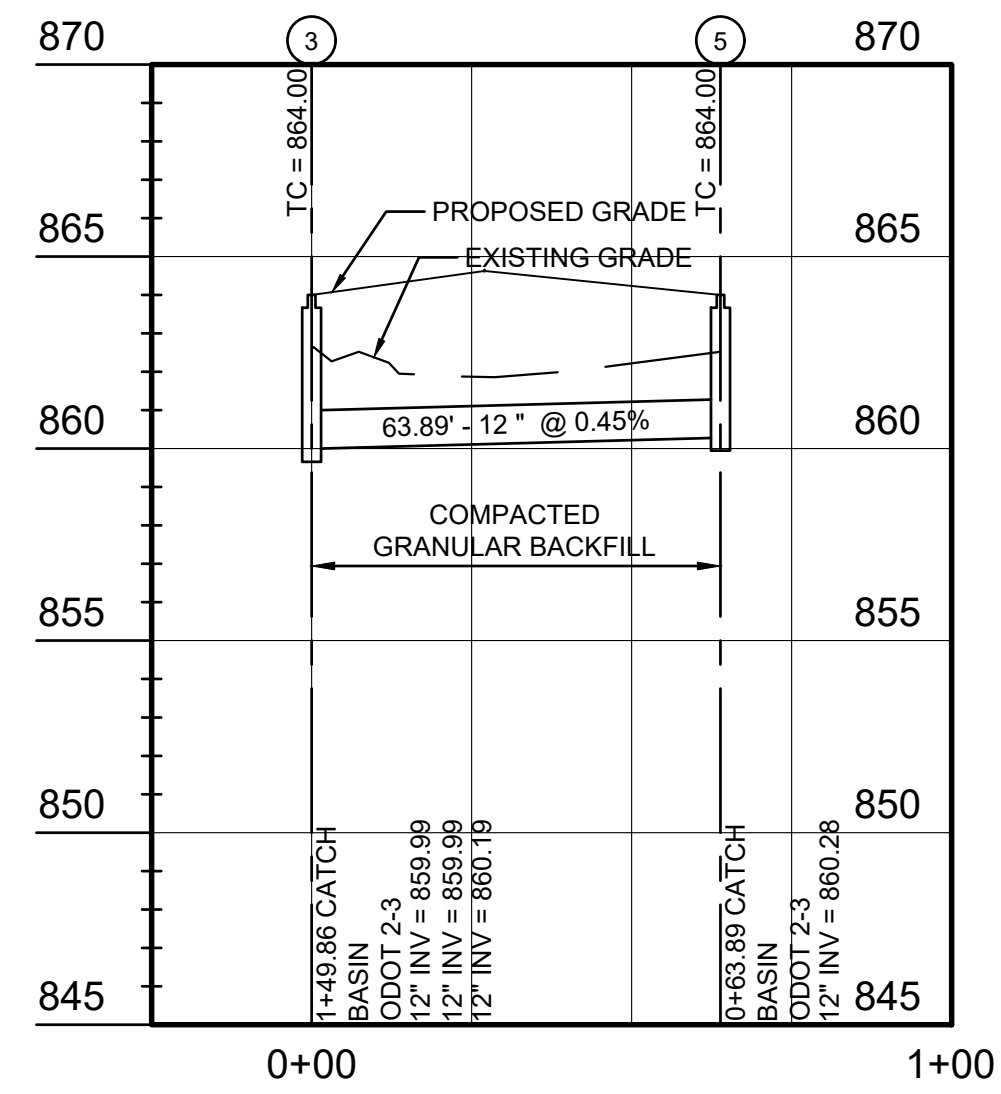
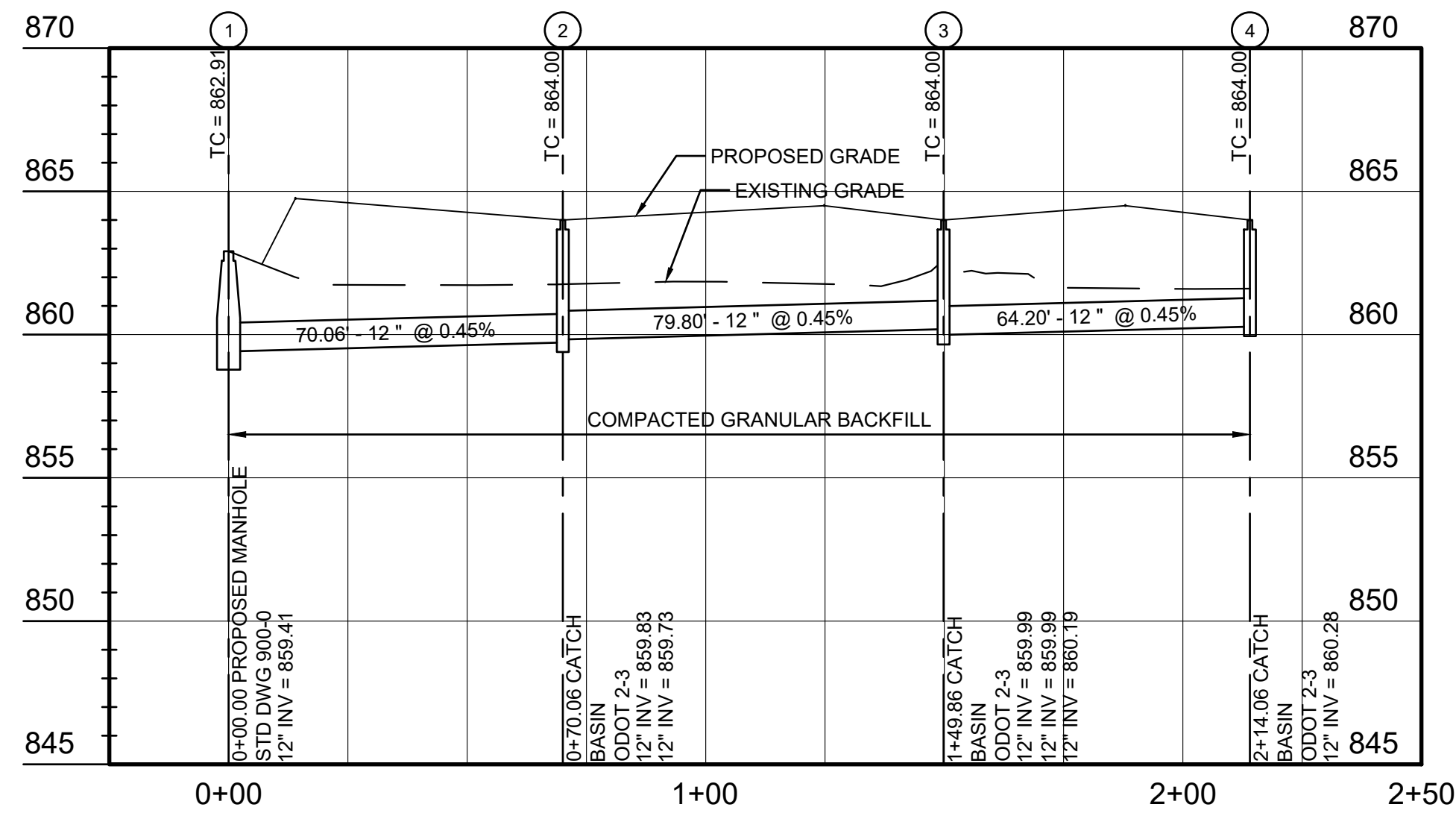
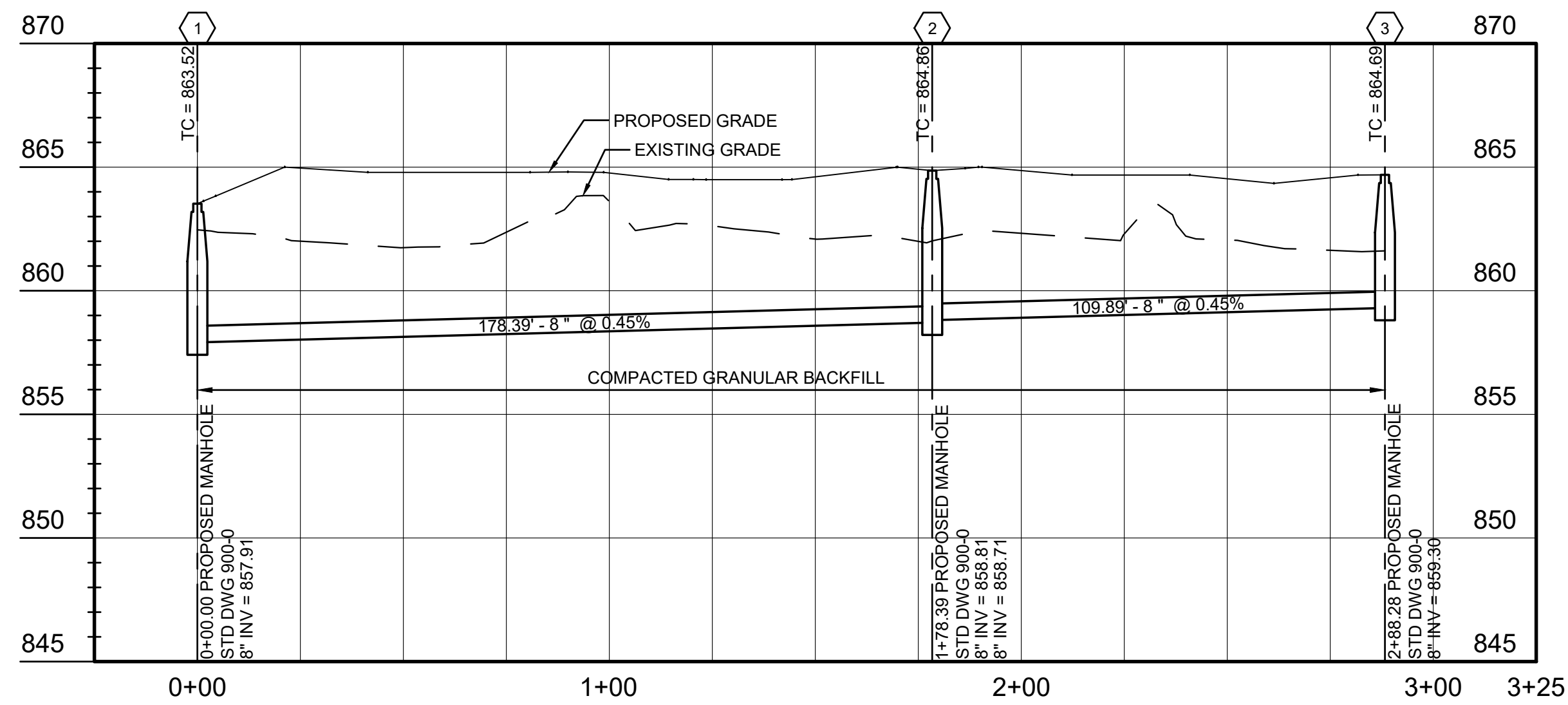
DATE	5/19/23
SCALE	1" = 30'
SHEET NO.	4 OF 9
FILE NO.	MAD002











PROFILE NOTES:

1. PRIOR TO THE CONSTRUCTION OF THE STORM SEWER THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES ALONG THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE EXISTING UTILITIES MAY BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION.
2. EMBANKMENT SHALL BE IN PLACE AND COMPACTED IN LAYERS, A MINIMUM OF 2'-6" ABOVE THE STORM SEWER, PRIOR TO INSTALLATION OF THE STORM SEWER.



NO.	DATE	BY

STORM & SANITARY PROFILES  
**MOULL STREET APTS.**  
MOULL ST., NEWARK, OH 43055

DATE	5/19/23
SCALE	1" = 30'
SHEET NO.	7 OF 9
FILE NO.	MAD002



**EROSION AND SEDIMENT CONTROL NOTES**

CONTRACTOR RESPONSIBILITY: DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE MOST RECENT VERSION OF O.D.N.R. MANUAL "RAINWATER AND LAND DEVELOPMENT". THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM THE SITE ALONG WITH PROPERTY MAINTENANCE AND INSPECTION IN COMPLIANCE WITH NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATION AND DIMENSIONS MAY BE MADE BY THE ENGINEER.

THE CONTRACTOR SHALL PLACE INLET AND CHANNEL PROTECTION FOR EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF THE INLETS OR CHANNELS WHICH ARE NOT TRIBUTARY TO A SEDIMENT BASIN OR DAM.

IT MAY BECOME NECESSARY TO REMOVE PORTIONS OF THE BARRIER DURING CONSTRUCTION TO FACILITATE THE GRADING OPERATIONS IN CERTAIN AREAS. HOWEVER, THE BARRIER SHALL BE IN PLACE IN THE EVENING OR DURING ANY INCLEMENT WEATHER. ADDITIONALLY, ANY SILT FENCE BARRIER SHALL BE PROPERLY REINSTALLED IF IT IS TEMPORARILY REMOVED OR DAMAGED TO ALLOW FOR CONSTRUCTION ACTIVITIES.

THE LIMITS OF SEEDING AND MULCHING ARE AS SHOWN WITHIN THE PLANS. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDDED AND MULCHED AT THE CONTRACTOR'S EXPENSE.

"TEMPORARY SEEDING" NO AREA FOR WHICH GRADING HAS BEEN COMPLETED OR WHERE A DENUDED AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS SHALL BE LEFT UNSEEDDED FOR LONGER THAN 7 DAYS. IF PERMANENT SEED IS NOT APPLIED AT THIS TIME, TEMPORARY SEEDING SHALL BE DONE AT THE FOLLOWING RATES:

MARCH 1 TO AUGUST 15	AUGUST 15 TO NOVEMBER 1:
SEED: OATS 2 LBS./1,000 S.F.	SEED: ANNUAL RYE 2 LBS./1,000 S.F.
FERTILIZER: (12: 12:12) 25 LBS./1,000 S.F.	FERTILIZER: (12: 12:12) 25 LBS./1,000 S.F.
MULCH: (STRAW OR HAY) 2 TONS/ACRE	MULCH: (STRAW OR HAY) 2 TONS/ACRE

NOVEMBER 1 TO MARCH 1:  
MULCH (ONLY): STRAW OR HAY 2 TONS/ACRE

"PERMANENT SEEDING" SHALL BE DONE BETWEEN MARCH 15 AND SEPTEMBER 15. IF SEEDING IS DONE BETWEEN SEPTEMBER 15 AND MARCH 15, IT SHALL BE CLASSIFIED AS "TEMPORARY SEEDING." PERMANENT SEED SHALL BE 40% KENTUCKY BLUEGRASS, 40% CREEPING RED FESCUE, 20% ANNUAL RYEGRASS. PERMANENT SEEDING SHALL CONSIST OF FERTILIZING, WATER AND SEEDING RATES INDICATED UNDER ODOT MATERIALS AND SPECIFICATIONS ITEM 659. SEEDING SHALL BE APPLIED WITHIN TWO (2) DAYS AFTER FINAL GRADING OR FOLLOWING SEED BED PREPARATION.

RATES OF APPLICATION OF ODOT MATERIALS AND SPECIFICATIONS ITEM 659:

SEED	4 LBS./1,000 S.F.
FERTILIZER: (12: 12: 12)	20 LBS./1,000 S.F.
MULCH: STRAW (HAY)	2 TONS/ACRE (3 TONS/ACRE)

MAINTENANCE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENT CONTROL FEATURES USED ON THIS PROJECT. AT A MINIMUM, ALL SEDIMENT AND EROSION CONTROLS ON THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE HALF INCH OF RAIN PER 24 HOUR PERIOD. RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A STRUCTURE SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER. NOT ALL DETAILS SHOWN ON THIS SHEET MAY BE REQUIRED FOR THIS PROJECT. REFERENCE SEDIMENT CONTROL PLAN.

THE COST FOR TEMPORARY CHANNELS, SEDIMENT DAMS, SEDIMENT BASINS, AND OTHER APPURTENANT EARTHMOVING OPERATIONS SHALL BE INCLUDED IN THE PRICE BID FOR EROSION AND SEDIMENTATION CONTROL QUANTITIES.

NOT ALL DETAILS SHOWN ON THIS SHEET MAY BE REQUIRED FOR THIS PROJECT.

THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT OFF-SITE TRACKING OF SEDIMENTS BY VEHICLES AND EQUIPMENT IS MINIMIZED. ALL SUCH OFF-SITE SEDIMENT SHALL BE CLEANED UP DAILY.

STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGH THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.

THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT NO SOLID OR LIQUID WASTE IS DISCHARGED INTO STORM WATER RUNOFF. SEDIMENT-LADEN WATER SHALL BE FILTERED THROUGH THE USE OF SEDIMENT FILTERING FENCES OR SEDIMENTATION BASINS PRIOR TO DISCHARGE TO SURFACE WATERS. CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE INTO OR ALONGSIDE RIVERS, STREAMS, AND CREEKS OR INTO NATURAL OR MAN-MADE CHANNELS OR SWALES LEADING THERETO. CONCRETE TRUCK WASH WATER AND SURPLUS CONCRETE SHALL BE CONFINED TO AREAS APPROVED BY THE ENGINEER; AFTER SOLIDIFYING, THESE WASTE MATERIALS SHALL BE REMOVED FROM THE SITE.

ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD INSPECTIONS. THE CONTRACTOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT INSPECTIONS AT LEAST ON A WEEKLY BASIS AND AFTER A RAIN EVENT GREATER THAN OR EQUAL TO .5" WITHIN 24 HOURS AND THOSE RECORDS SHALL BE KEPT FOR 3 YEARS.

FUELING SHALL NOT BE DONE ON SITE.

DIRECT DISCHARGE OF SEDIMENT LADEN WATER TO THE SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF THE OHIO EPA AND LICKING COUNTY REGULATIONS. THE CONTRACTOR WILL BE HELD LIABLE FOR THE VIOLATION AND SUBSEQUENT FINES.

STREET CLEANING (ON AN AS-IS BASIS) IS REQUIRED THROUGH THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.

THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP PLAN AND THE APPROVED EPA STORMWATER PERMIT (WITH THE SITE-SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES.

ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE LICKING COUNTY AND/OR THE OHIO EPA.

A SEDIMENT TRAP MAY BE NEEDED TO HELP REDUCE SEDIMENT LADEN RUNOFF.

TOPSOIL SHALL BE ADDED FOR ANY PERMANENT SEEDING

TABLE 1: PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

TABLE 2: TEMPORARY STABILIZATION

AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA
THE DISTURBED AREA THAT WILL BE IDLE OVER THE WINTER	FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S)
WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. PERMANENT AND TEMPORARY STABILIZATION IS DEFINED IN PART VII OF THE OHIO ENVIRONMENTAL PROTECTION AGENCY GENERAL PERMIT AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM, PERMIT NUMBER OH000006, EFFECTIVE APRIL 23, 2023, AND EXPIRES APRIL 22, 2028. SOURCE: OHIO EPA PERMIT NO. OH000006, PART II, SUBSECTION (B) ON PAGE 9 OF 61.	PRIOR TO THE ONSET OF WINTER WEATHER

**SEQUENCE OF CONSTRUCTION**

1. INSTALL CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCING.
2. CONSTRUCT SANITARY SEWER. LIMIT GRADING/DISTURBANCE TO TRENCH ONLY.
3. ROUGH GRADING AND CONSTRUCT STORM SEWERS, INCLUDING TEMPORARY SEDIMENT STRUCTURE.
4. INSTALL INLET PROTECTION AS STORM SEWERS ARE COMPLETED.
5. CONSTRUCT ALL WATER LINE.
6. FINAL GRADE AND CONSTRUCT ALL PARKING AREAS.
7. PERMANENTLY STABILIZE/SEED & MULCH OR SOD DISTURBED AREAS.
8. REMOVE REMAINING SEDIMENT CONTROLS.



**EROSION AND SEDIMENT CONTROL CRITERIA**

PLAN DESIGNER:

ELMASIAN ENGINEERING, LLC  
PO BOX 626  
PATASKALA, OH 43062  
PHONE: (614) 327-2008

OWNER:

MOULL STREET APTS  
CONTACT: BRYAN MCANALLY  
35 S. PARK PLACE  
NEWARK, OHIO 43055  
PHONE: 614-374-1365  
EMAIL: B\_MCANALLY@WACHTELMCANALLY.COM

PROJECT DESCRIPTION: THIS PROJECT CONSISTS OF CONSTRUCTING MULTIFAMILY UNITS AND PARKING ON A PORTION OF THE 2.190 ACRE SITE.

EXISTING SITE CONDITIONS: THE MAJORITY OF THE PROJECT DRAINS TO THE NORTH.

RECEIVING STREAM: LONGPOND RUN

ADJACENT AREAS: THE PROJECT AREA IS LOCATED WITHIN AN URBAN AREA.

SOILS: AMANDA SILT LOAM (AmC2), LURAY SILTY CLAY LOAM (Lu) AND OCKLEY SILT LOAM (Ocb) - HYDROLOGIC SOIL RATING: C (21.5%) C/D (48.2%) AND B (30.3%)

EROSION & SEDIMENT MEASURES: EROSION AND SEDIMENT WILL BE CONTROLLED BY THE USE OF PERIMETER SEDIMENT FENCE AS WELL AS CONSTRUCTION TECHNIQUES TO MINIMIZE LAND DISTURBANCE.

PERMANENT STABILIZATION: ALL DISTURBED AREAS SHALL BE SEEDDED AND MULCHED. GEOTEXTILE REINFORCEMENT OF EARTHEN EMBANKMENT IS SPECIFIED WHEN IN VICINITY OF CHANNEL BANKS. HARDENED, NON-ERODIBLE MATERIALS ARE ALSO SPECIFIED FOR CHANNEL BANK REINFORCEMENT.

MAINTENANCE: AT A MINIMUM, ALL SEDIMENT AND EROSION CONTROLS ON THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE HALF INCH OF RAIN PER 24 HOUR PERIOD. ANY DAMAGED FACILITIES ARE TO BE REPLACED/REPAIRED IMMEDIATELY AS MAY BE NECESSARY.

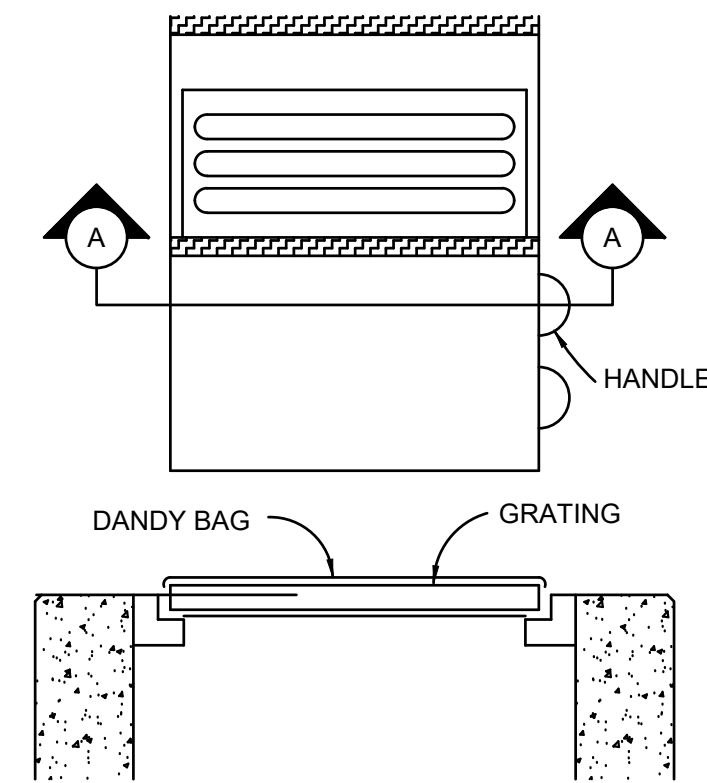
CONSTRUCTION: THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE COUNTY. SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE PLACED AND MAINTAINED IN ACCORDANCE WITH THIS SCHEDULE.

TOXIC OR HAZARDOUS WASTE, CHEMICAL STORAGE OR EQUIPMENT FUELING AND MAINTENANCE: NONE

DISPOSAL OF CONSTRUCTION DEBRIS AND OPEN BURNING: NONE

DISTURBED AREA: APPROXIMATELY 2.0 ACRES

EPA NOI PERMIT NO.: TBD



SECTION A-A

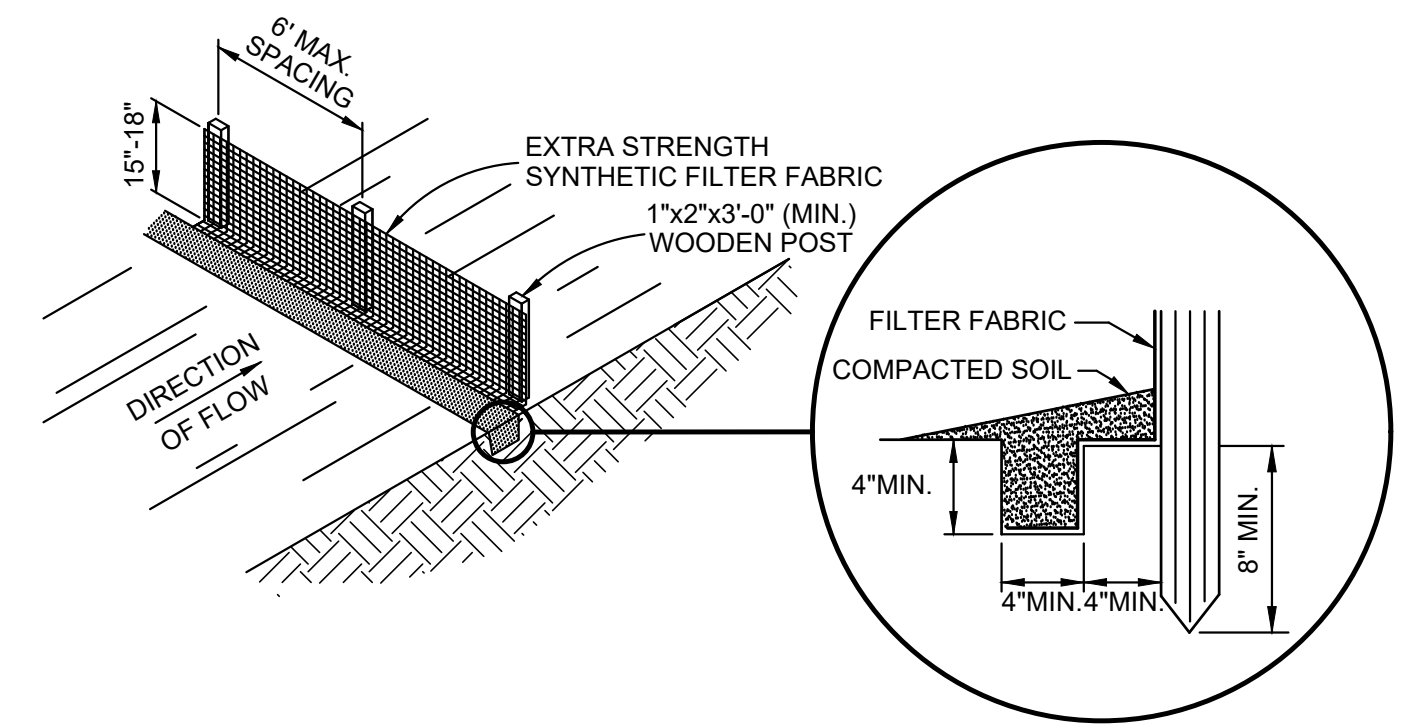
INSTALLATION: STAND GRATE ON END. PLACE BAG OVER GRATE. FLIP GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR BAG WILL NOT FIT PROPERLY. HOLDING HANDLES. CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE BAG IS VISIBLE.

MAINTENANCE: AFTER SILT HAS DRIED, REMOVE IT FROM THE SURFACE OF BAG WITH BROOM.

ANY EXISTING STORM INLETS IMPACTED BY THE NEW CONSTRUCTION ACTIVITY WILL NEED THE APPROPRIATE INLET PROTECTION FOR SEDIMENT CONTROL.

**CATCH BASIN PROTECTION**

NOT TO SCALE



NOTES:

1. FILTER FABRIC SHALL BE FASTENED TO WOODEN POSTS USING 1/2" HEAVY DUTY STAPLES. FILTER FABRIC SHALL BE PLACED IN A CONTINUOUS ROLL TO MINIMIZE THE OCCURANCE OF JOINTS. WHERE JOINTS CANNOT BE AVOIDED, FABRIC SHALL BE SPLICED TOGETHER AT SUPPORT POSTS, WITH A MINIMUM OF 6-INCH OVERLAP, AND SECURELY SEALED.
2. 14-GAUGE WIRE FENCE REINFORCEMENT, A MINIMUM OF 18-INCHES IN HEIGHT AND HAVING A MAXIMUM MESH SPACING OF 6 INCHES, MAY BE USED AS A FENCE SUPPORT. IF THE WIRE REINFORCEMENT IS USED, STANDARD STRENGTH SYNTHETIC FILTER FABRIC MAY BE USED AND WOODEN POSTS MAY BE SPACED AT 10-FOOT INTERVALS. THE WIRE REINFORCING SHALL BE BURIED A MINIMUM OF 4 INCHES AND SHALL BE FASTENED TO THE WOODEN POSTS USING 1" HEAVY-DUTY STAPLES.
3. THE USE OF STRAW WATTLES HAS PROVEN TO BE A VERSATILE AND EFFECTIVE ESC BMP, ESPECIALLY IN RESIDENTIAL SETTINGS. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE.
4. THE USE OF COMPOST FILTER SOCKS AND COMPOST BLANKETS ARE GAINING WIDER ACCEPTANCE NATIONWIDE. THEY ARE NOW APPROVED FOR USE ON ALL COLUMBUS SWP3 PLANS AND CONSTRUCTION SITES.
5. STRAW WATTLES OR COMPOST ROLLS HAVE TO BE A MINIMUM OF 12 INCHES IN DIAMETER.

**SILT FENCE DETAIL**

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS:

STONE SIZE- NO. 2 (2-1/2" TO 1-1/2") OR ITS EQUIVALENT.

LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.

THICKNESS - NOT LESS THAN EIGHT (8) INCHES.

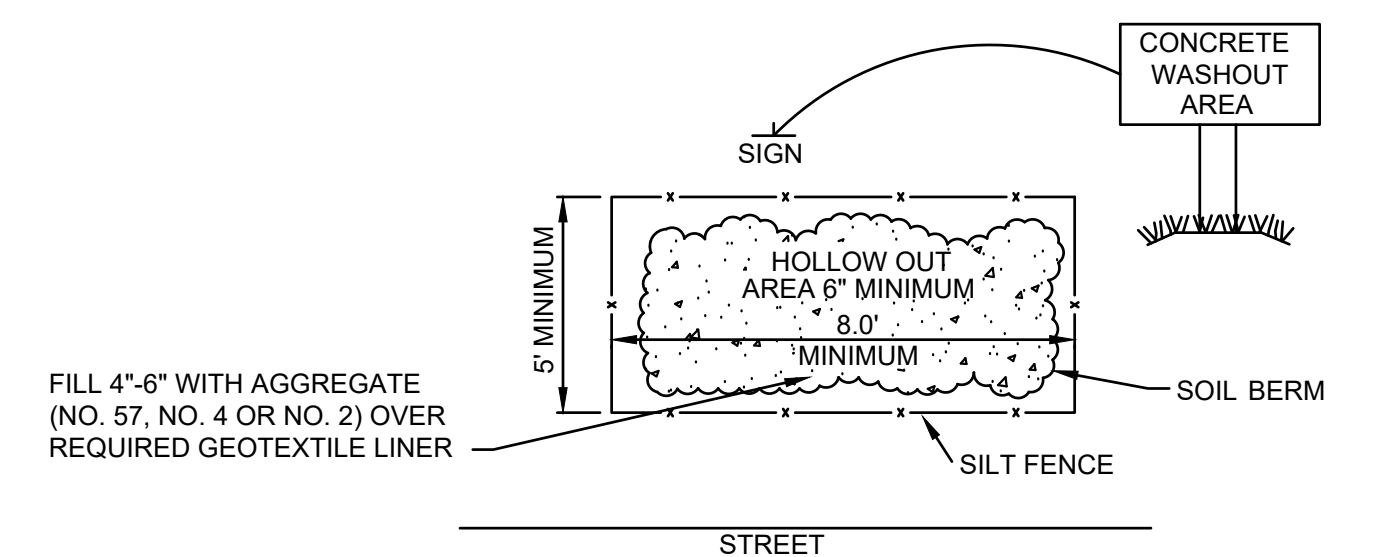
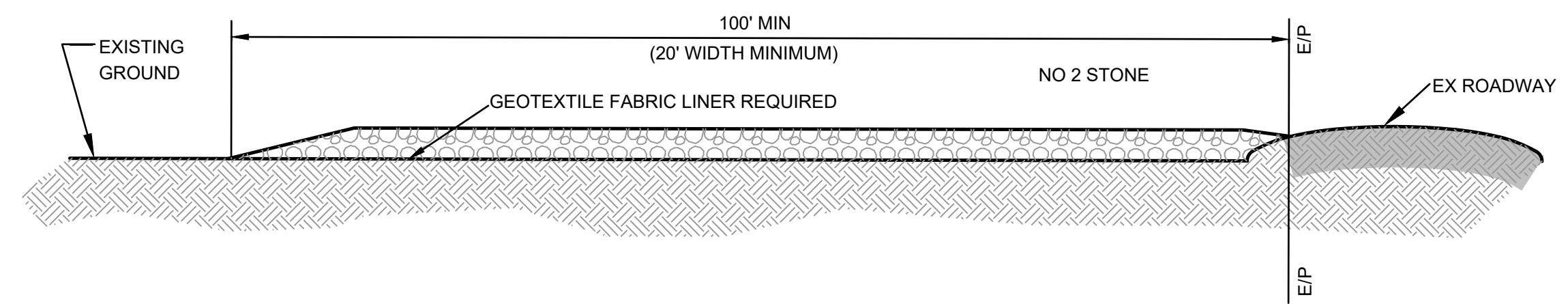
WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS

WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

**CONSTRUCTION ENTRANCE DETAIL**

NOT TO SCALE



FILL 4"-6" WITH AGGREGATE (NO. 57, NO. 4 OR NO. 2) OVER REQUIRED GEOTEXTILE LINER

NOTES:

1. THE USE OF PORTABLE CONCRETE WASHOUT UNITS IS APPROVED (AND ENCOURAGED) FOR ALL CONSTRUCTION AREAS IN THE CITY OF COLUMBUS.
2. THE EXACT LOCATION OF THE CONCRETE WASHOUT(S) MAY BE FIELD LOCATED BY THE ON-SITE PROJECT ENGINEER/CONTACT.

**CONCRETE WASHOUT AREA**

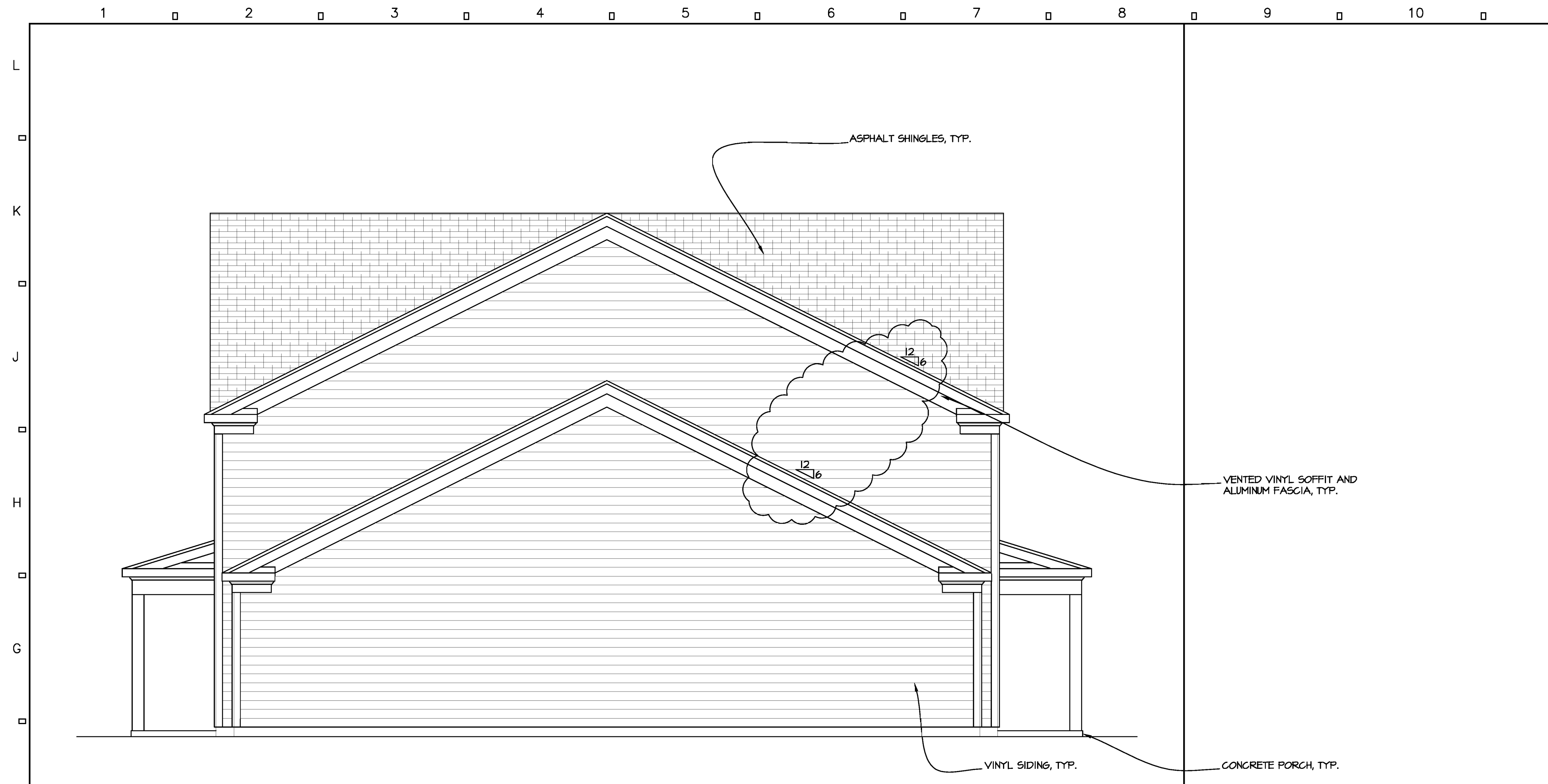
NOT TO SCALE



NO.	DATE	REVISION

**SEDIMENT AN EROSION CONTROL DETAILS**  
**MOULL STREET APTS.**  
MOULL ST., NEWARK, OH 43055

DATE	5/19/23
SCALE	N/A
SHEET NO.	9 OF 9
FILE NO.	MAD002



**A1** SIDE VIEW

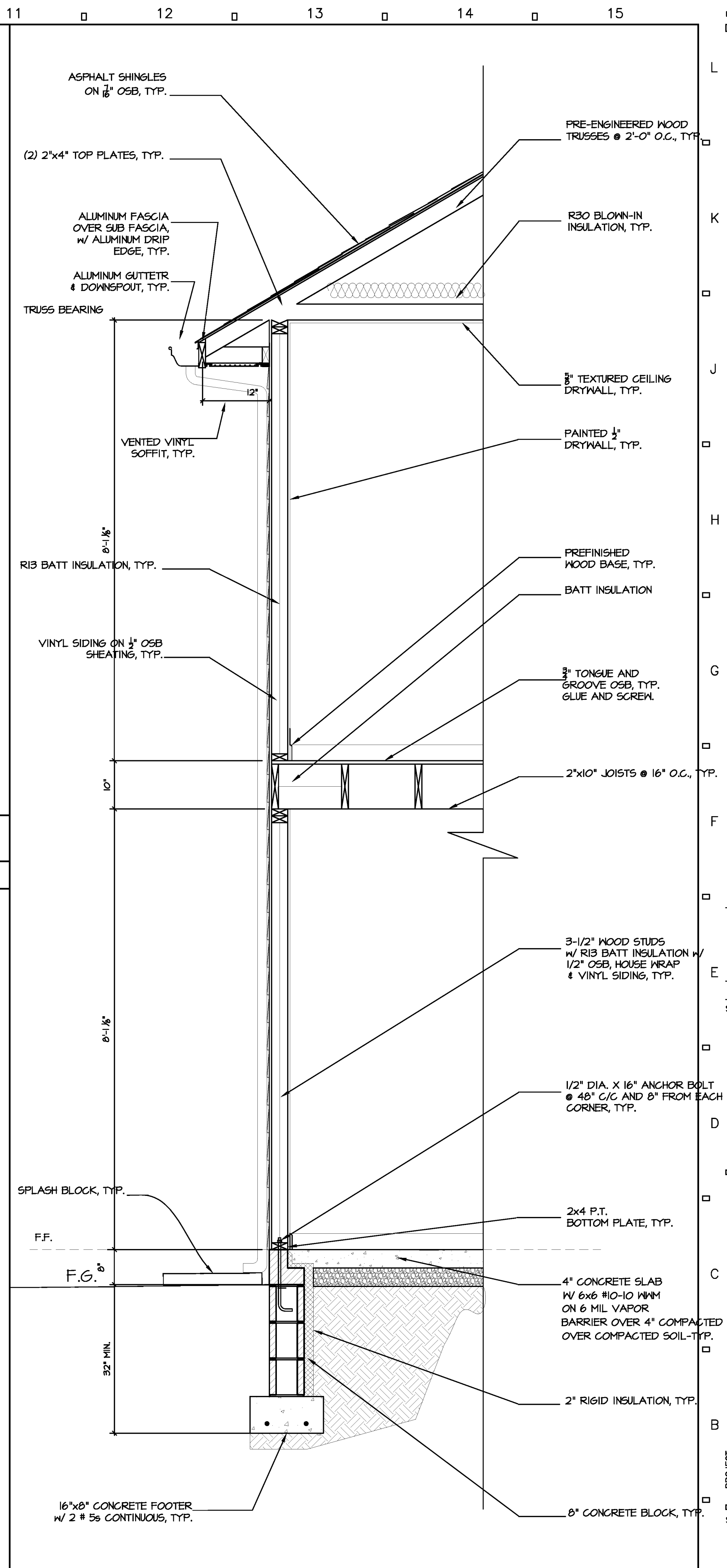
SCALE: 1/4"=1'-0"



**A1** FRONT AND REAR ELEVATION

SCALE: 1/4"=1'-0"

BASE BID (GABLE / VINYL FACADE)



**A11** TYPICAL WALL SECTION

SCALE: N.T.S.

NO.	REVISIONS	DATE

ARCHITECT

**Wachtel & McAnally**  
Architects/Planners Inc.

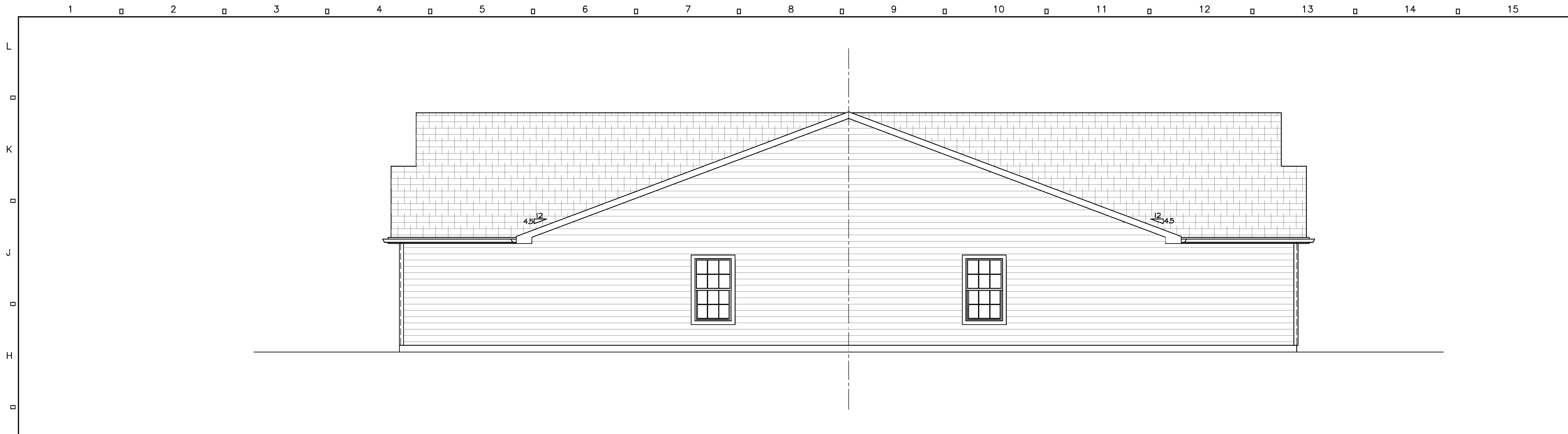
35 SOUTH PARK PLACE, SUITE 3300  
NEWARK, OHIO 43055  
www.wachtelmcannally.com Phone: (740) 345-3800 Fax: (740) 345-7970

PROJECT SHEET TITLE

**NEW 4 FAMILY EXTERIOR ELEVATIONS**

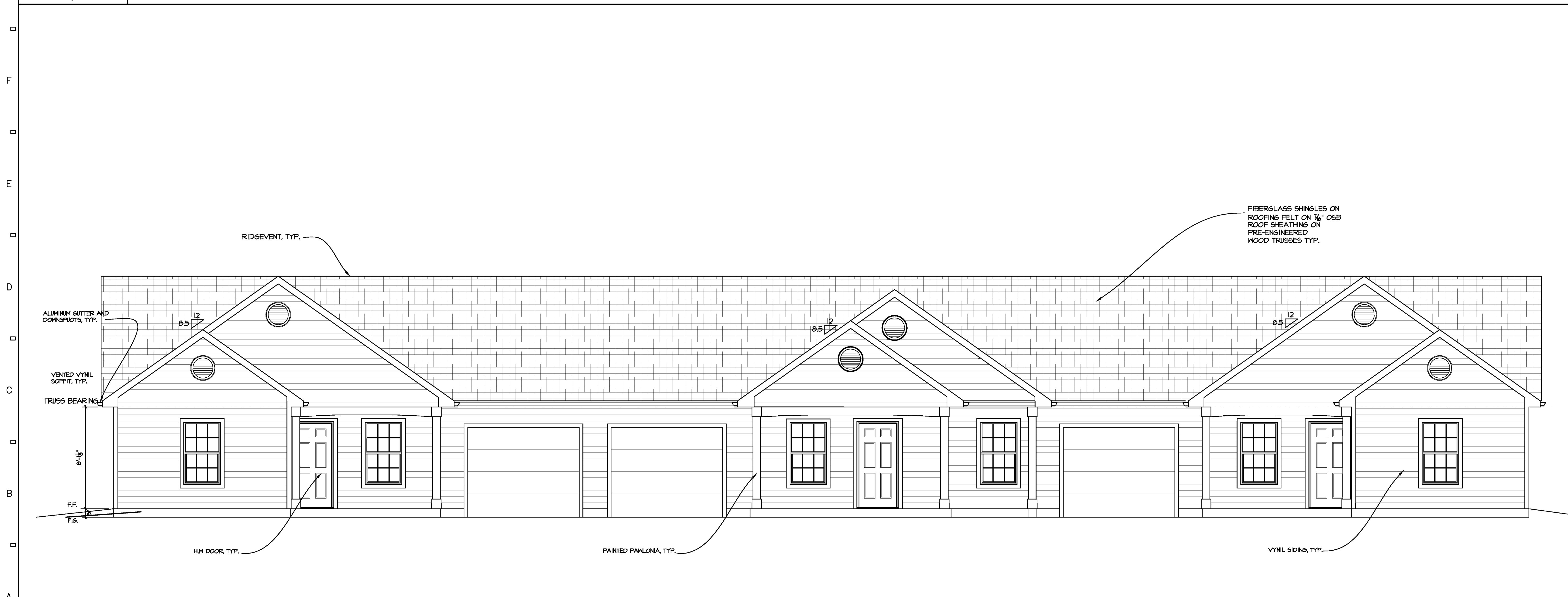
DRAWN BY: BMO  
PROJECT NO.:  
DATE:

DRAWING NO.:  
**A200**



**A1** SIDE VIEW

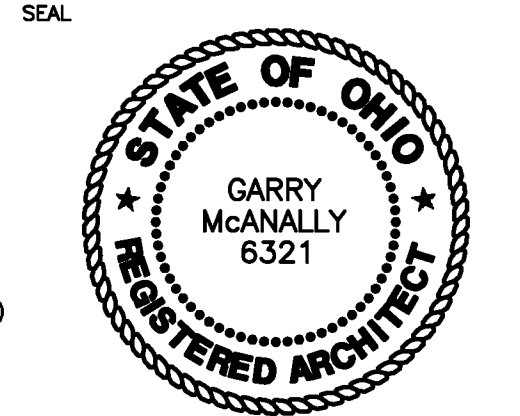
SCALE: 1/4"=1'-0" BASE BID



**A1** FRONT VIEW

SCALE: 1/4"=1'-0" BASE BID

NO.	REVISIONS	DATE

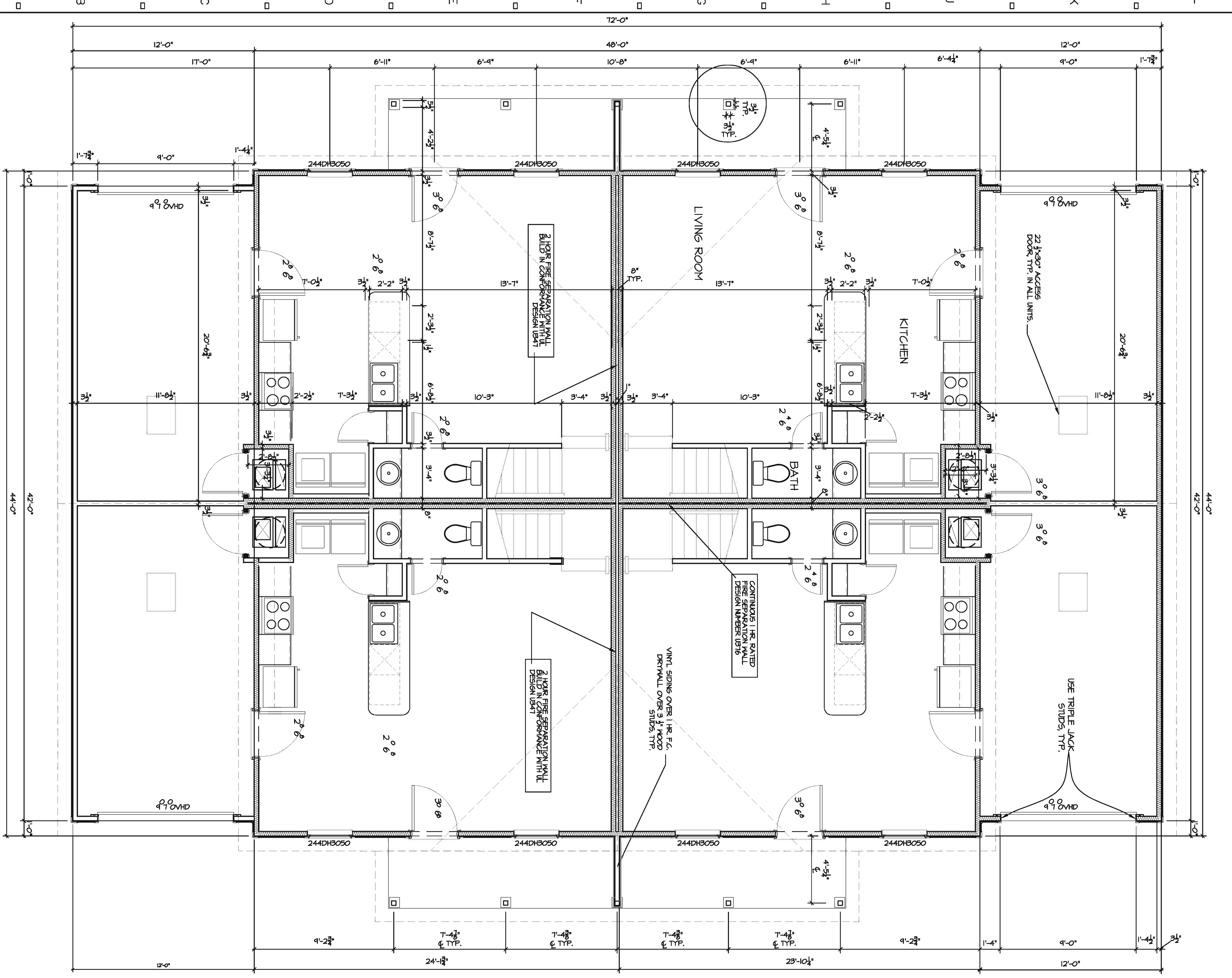


PROJECT: NEW MOULL ST. APARTMENTS

ARCHITECT: Wachtel & McAnally Architects/Planners Inc.  
 38 SOUTH PARK PLACE - SUITE 330 NEWARK, OHIO 43055  
 www.wachtelmcannally.com Phone: (740) 345-3300 Fax: (740) 345-7690

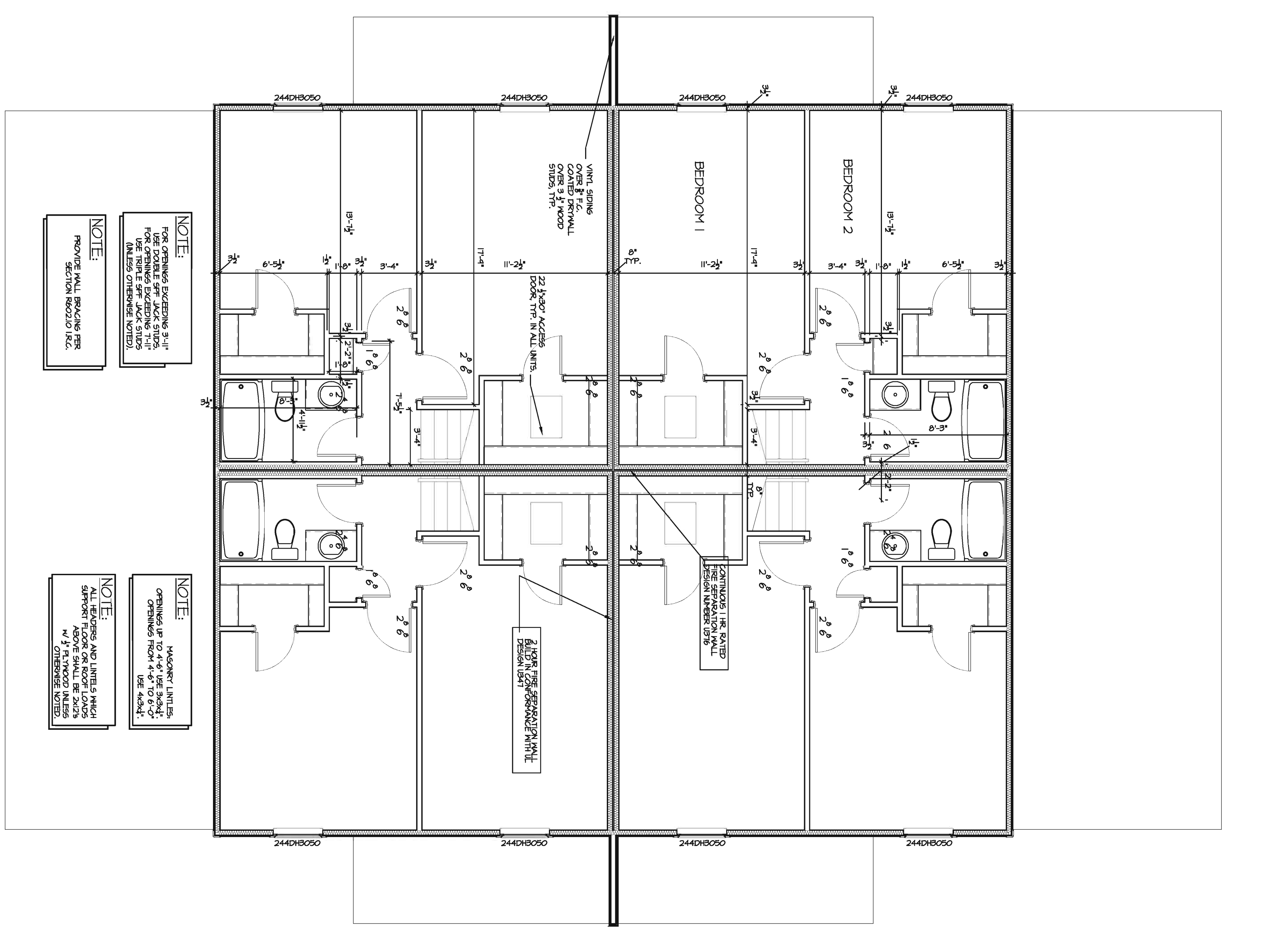
SHEET TITLE: EXTERIOR ELEVATIONS

DRAWN BY: BMC  
 PROJECT NO.: A200  
 DATE: 11-4-10



**A1**  
**FIRST FLOOR PLAN**

SCALE: 1/4"=1'-0"



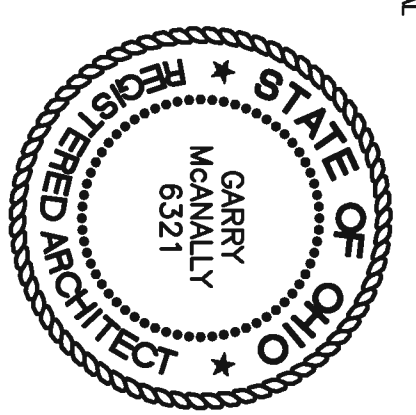
**A9**  
**SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"

**NOTE:**  
FIRE OPENINGS EXCEEDING 3'-11"  
USE DOUBLE TRIPLE JACK STUDS  
FOR OPENINGS EXCEEDING 7'-11"  
USE TRIPLE TRIPLE JACK STUDS  
(MINUS OVERSIZED STUDS).

**NOTE:**  
MASONRY LINTELS,  
OPENINGS UP TO 4'-6" USE 3x6x1"  
OPENINGS FROM 4'-6" TO 6'-0"  
USE 4x6x1"  
ALL HEADERS AND LINTELS WHICH  
SUPPORT FLOOR OR ROOF LOADS  
ABOVE SHALL BE 2x12'S  
W/ 3" OVERSIZED NOTED.

NO.	REVISIONS	DATE



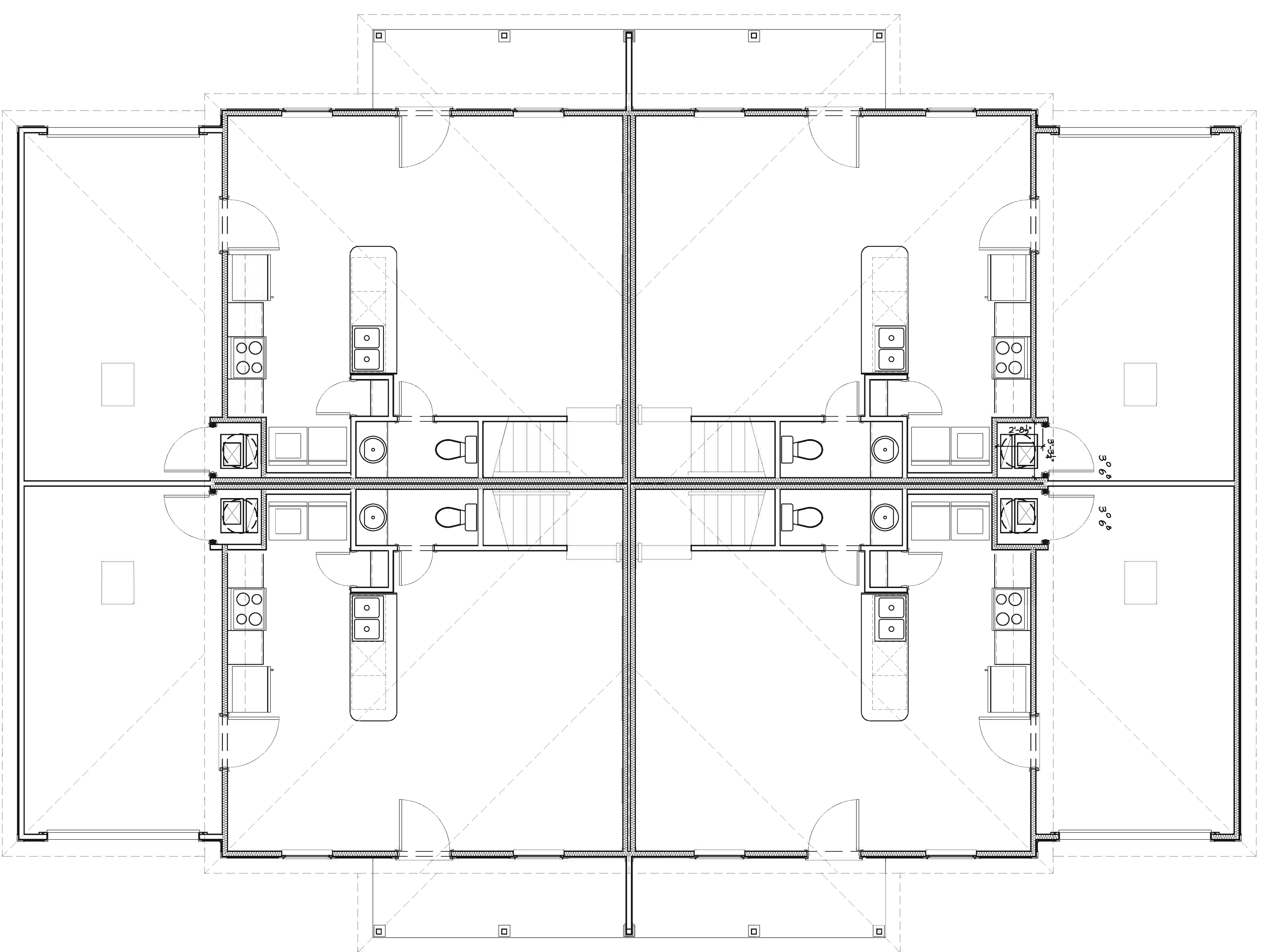
**PROJECT**  
NEW MOULL ST. APARTMENTS

**ARCHITECT**  
**Wachtel & McAnally**  
Architects/Planners Inc  
35 SOUTH PARK PLACE - SUITE 350 NEWARK, OHIO 43055  
www.wachtelmcanaly.com Phone: (740) 345-3500 Fax: (740) 345-7690

**SHEET TITLE**  
**NEW 4 FAMILY FLOOR PLAN**

**DRAWING NO.**  
**A100**

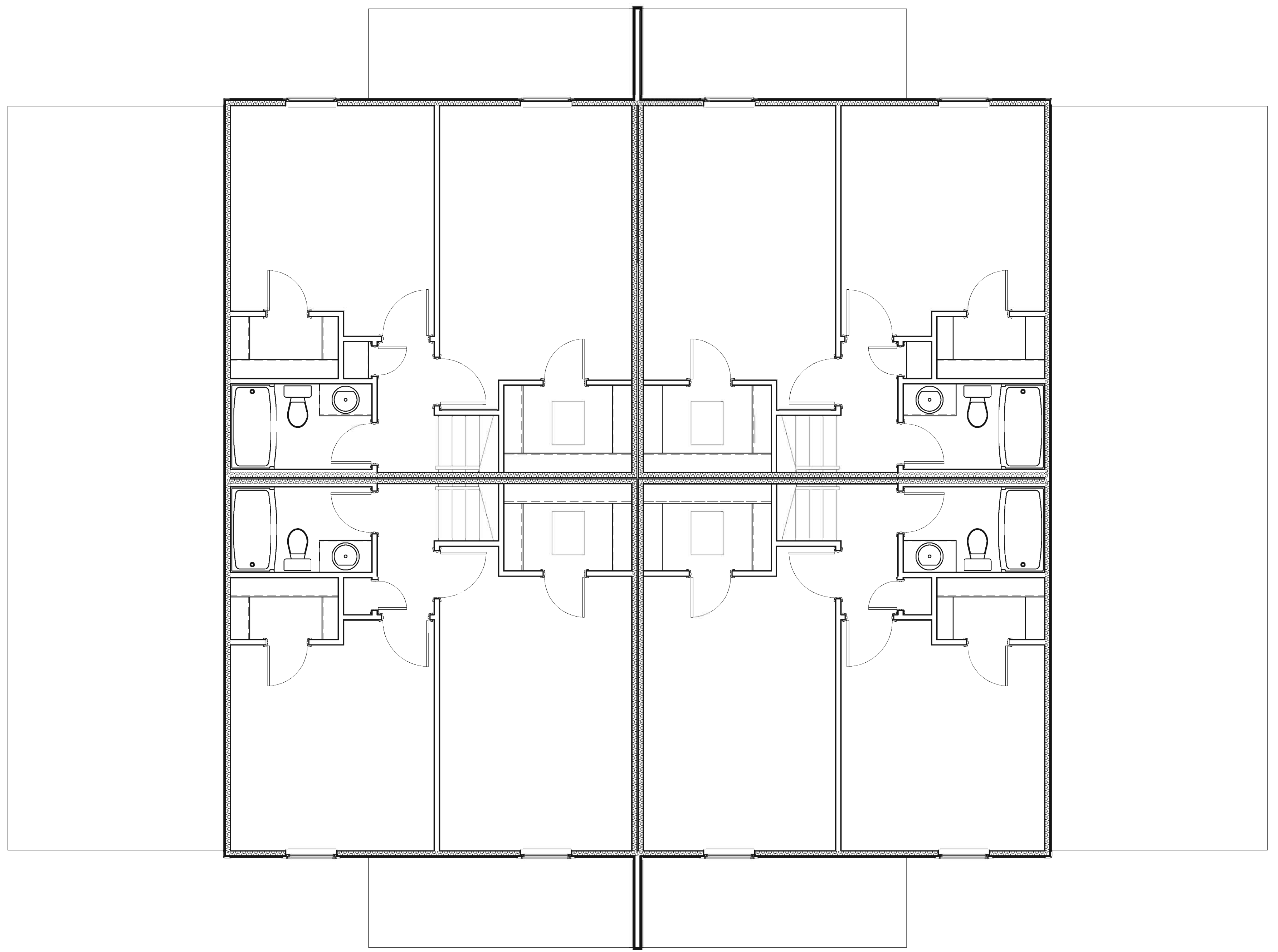
**DATE**  
11-4-10



**A1** FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

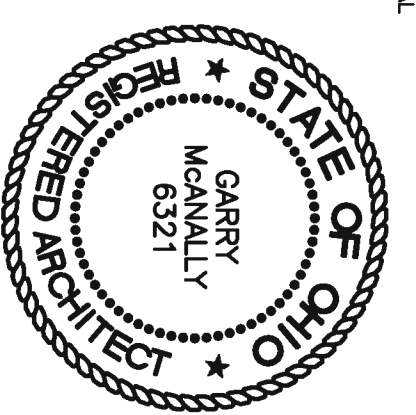
ALTERNATE HIP ROOF LINE



**A9** SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

NO.	REVISIONS	DATE



PROJECT  
**NEW MOULL ST. APARTMENTS**

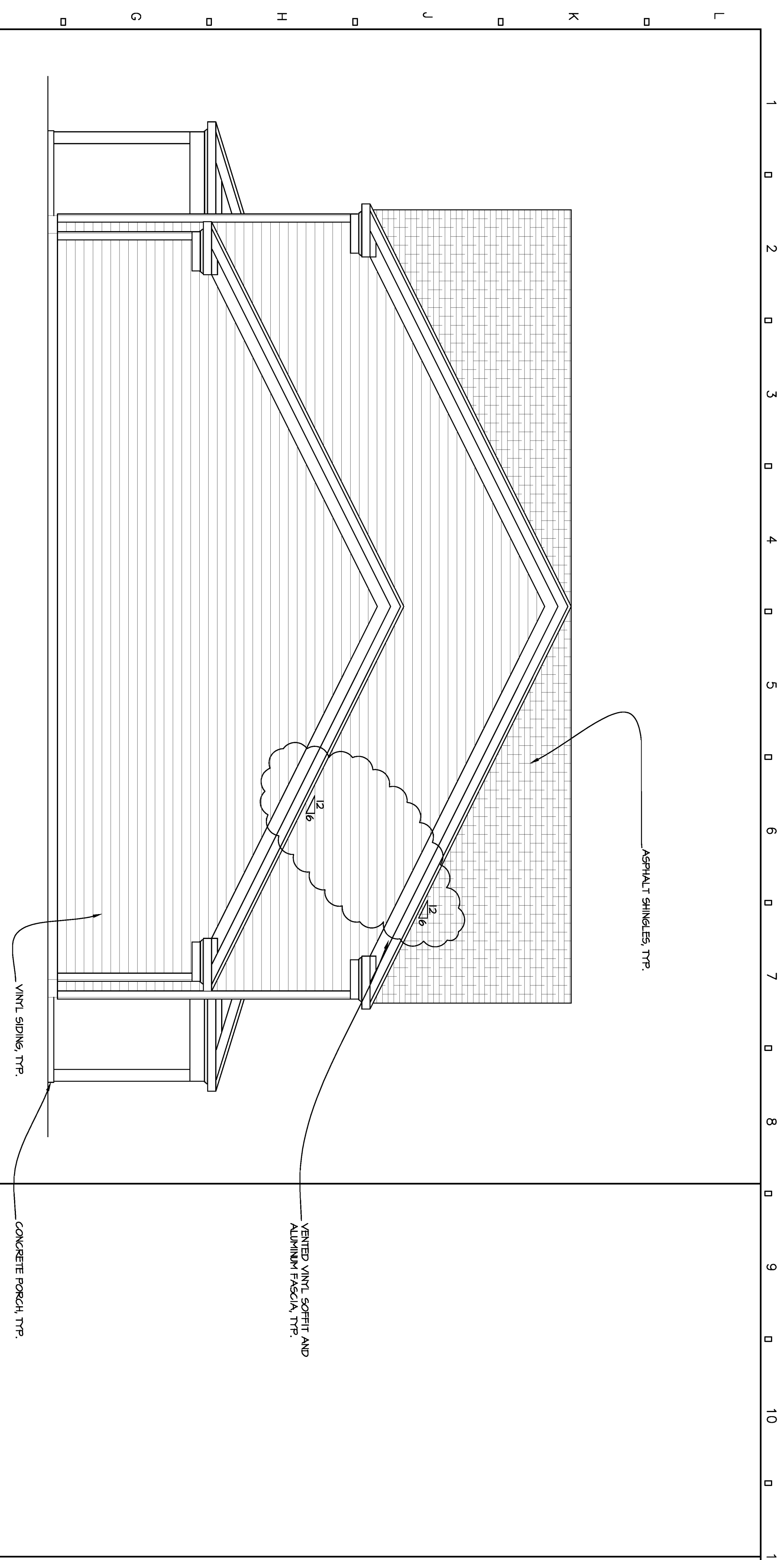
ARCHITECT  
**Wachtel & McNally Architects/Planners Inc**  
35 SOUTH PARK PLACE - SUITE 350 NEWARK, OHIO 43085  
www.wachtelmcnally.com Phone: (740) 345-3500 Fax: (740) 345-7690

SHEET TITLE  
**NEW 4 FAMILY FLOOR PLAN**

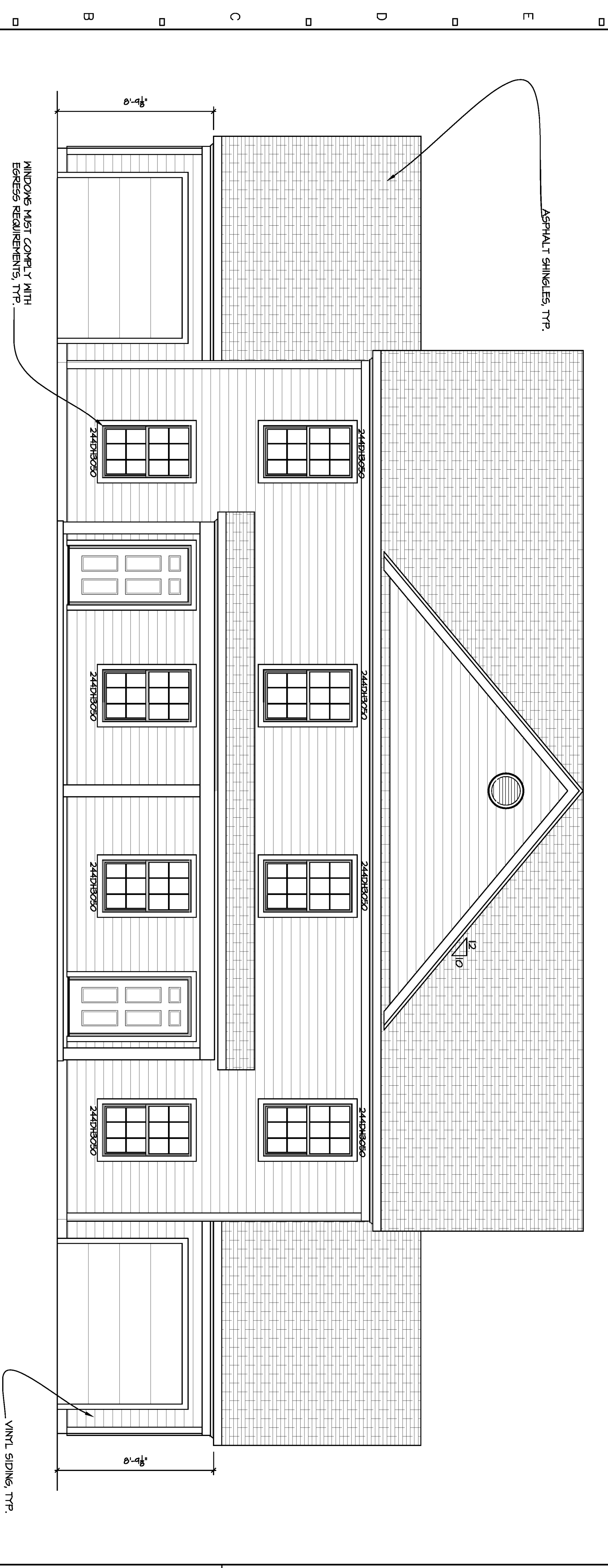
DRAWN PROJECT NO. DRAWING NO.  
**A101**

DATE  
11-14-10

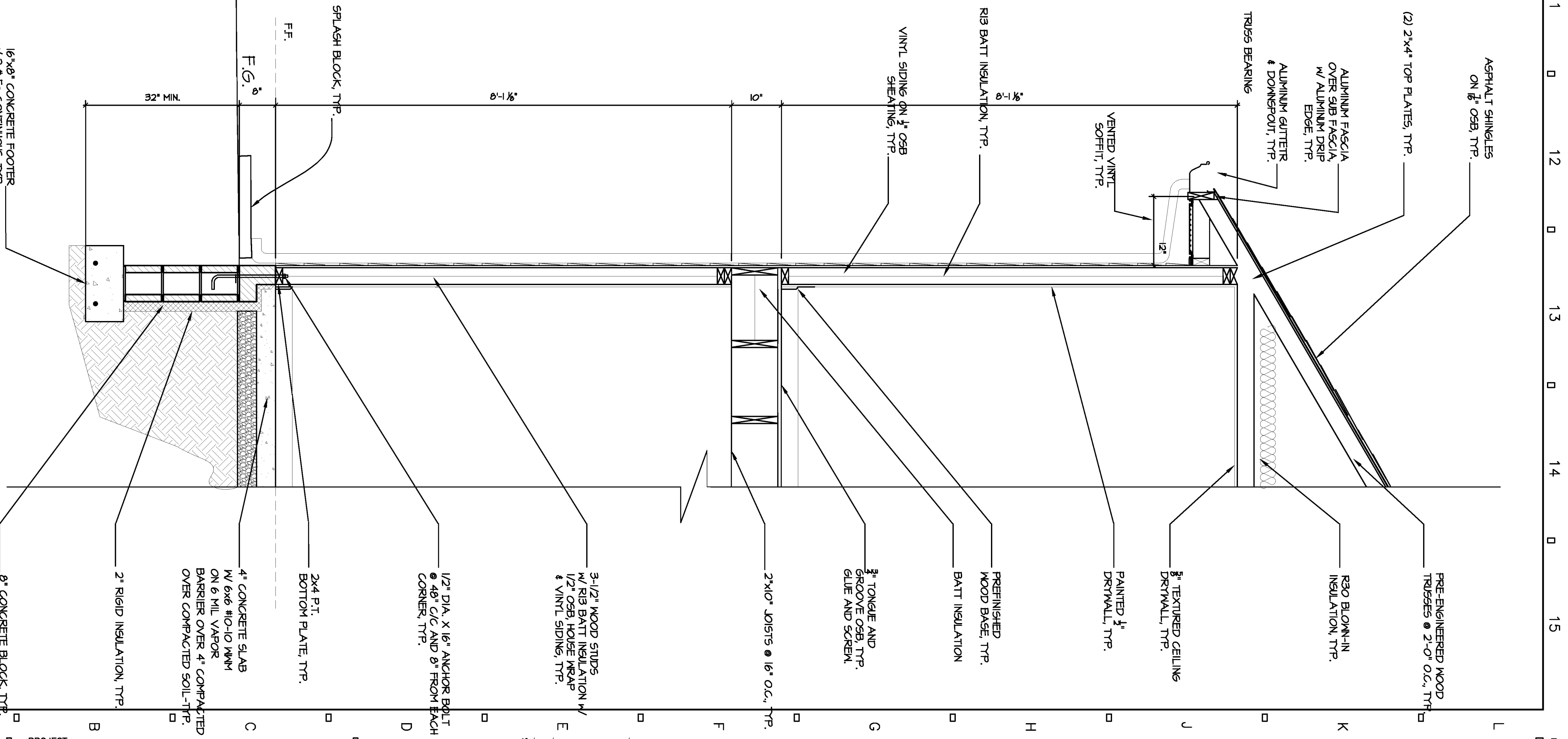
CONVERT: 2004 MOULTON & MANNETT ARCHITECTS/PARTNERS, INC.



**A1** **SIDE VIEW**  
SCALE: 1/4"=1'-0"



**A1** **FRONT AND REAR ELEVATION**  
SCALE: 1/4"=1'-0"  
BASE BID (GABLE / VINYL FACADE)



**A11** **TYPICAL WALL SECTION**  
SCALE: N.T.S.

DRAWINGS NOT PUBLISHED. ALL RIGHTS RESERVED

NO.	REVISIONS	DATE

PROJECT  
SHEET TITLE

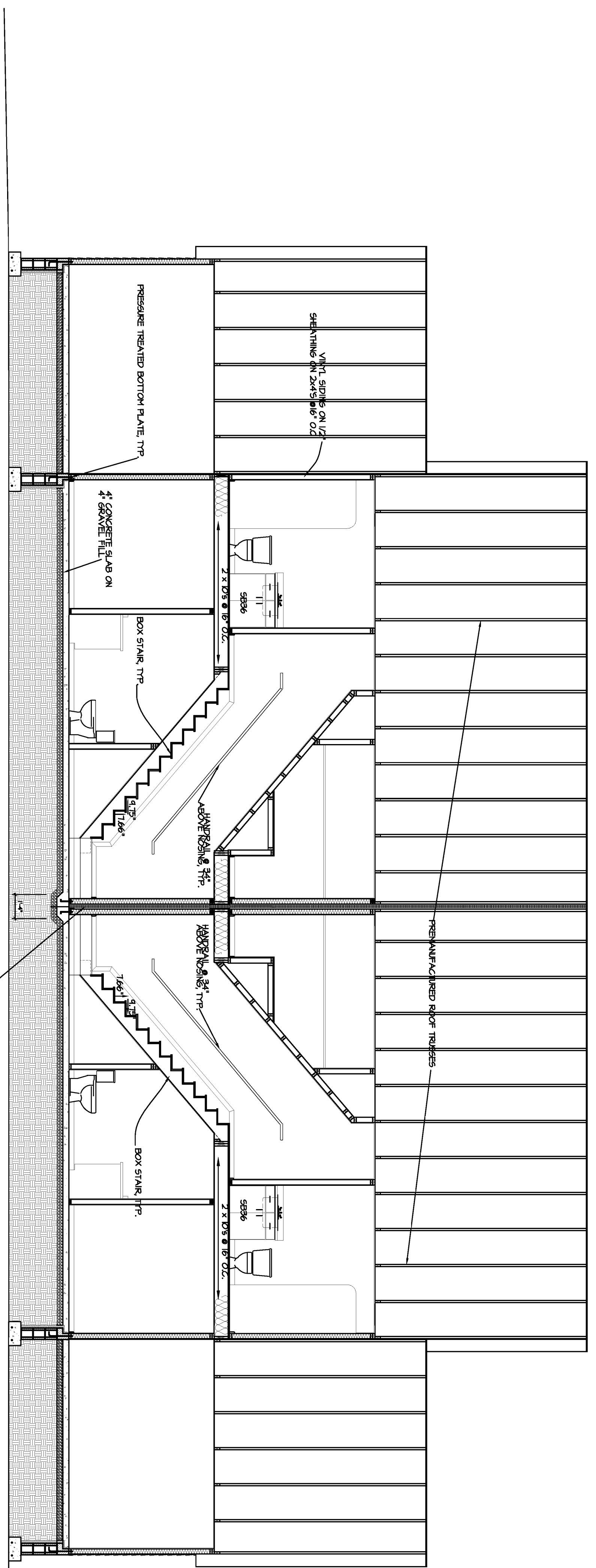
**ARCHITECT**  
**Wachtel & McAnally**  
Architects/Planners Inc  
35 SOUTH PARK PLACE - SUITE 350 NEWARK, OHIO 43055  
www.wachtelmcannally.com Phone: (740) 345-3500 Fax: (740) 345-7690

**NEW 4 FAMILY**  
**EXTERIOR ELEVATIONS**

DRAWN PROJECT NO. DATE  
DRAWING NO. **A200**

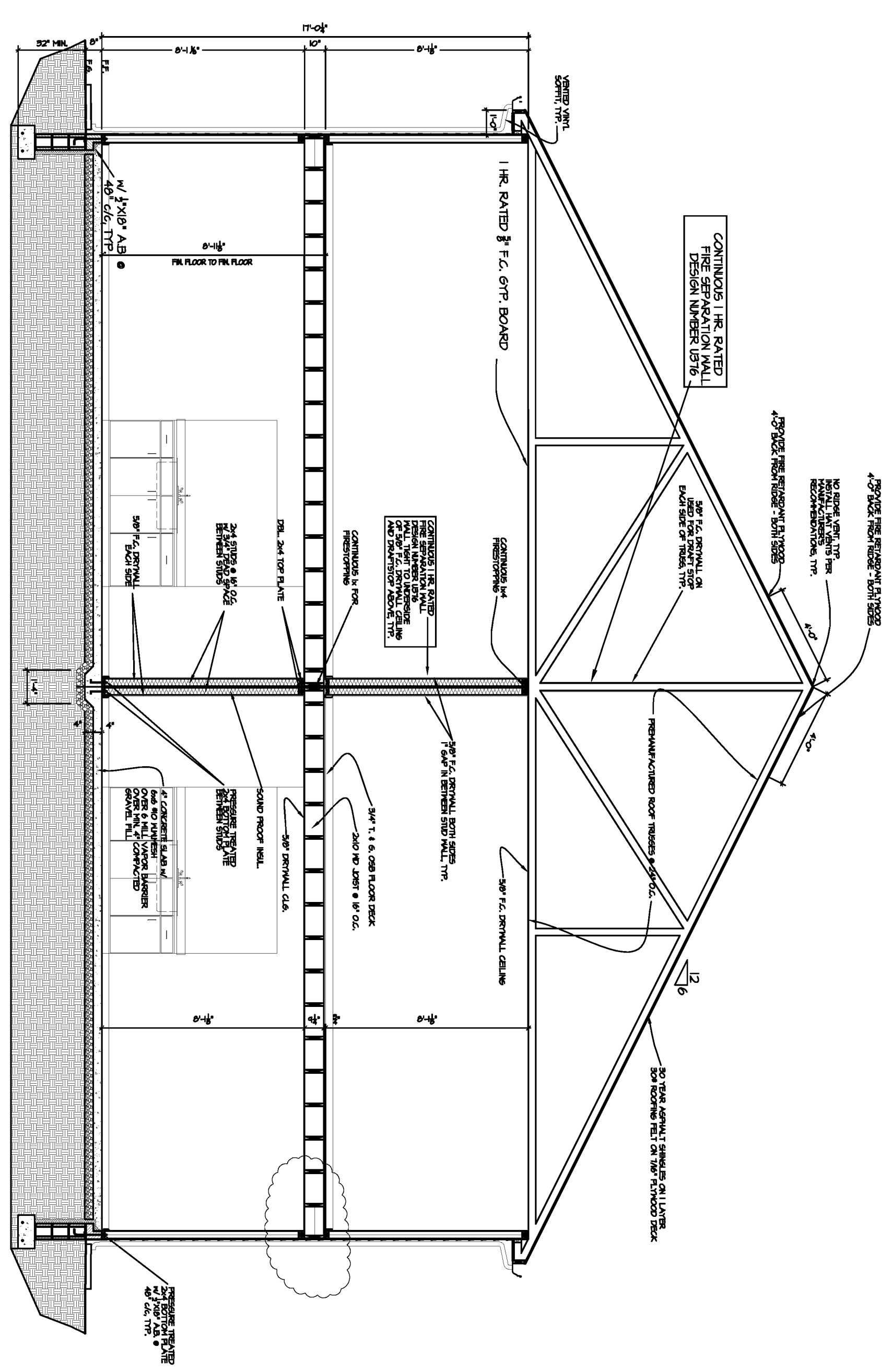
CONVERT 2004 MODEL & MODEL ARCHITECTS/PANNERS, INC.





F1 THRU SECTION

SCALE: 1/4"=1'-0"



A1 THRU SECTION

SCALE: 1/4"=1'-0"

NO.	REVISIONS	DATE

PROJECT

ARCHITECT



**Wachtel & McAnally**  
Architects/Planners Inc

35 SOUTH PARK PLACE - SUITE 350 NEWARK, OHIO 43085  
www.wachtelmcanaly.com Phone: (740) 345-3500 Fax: (740) 345-7690

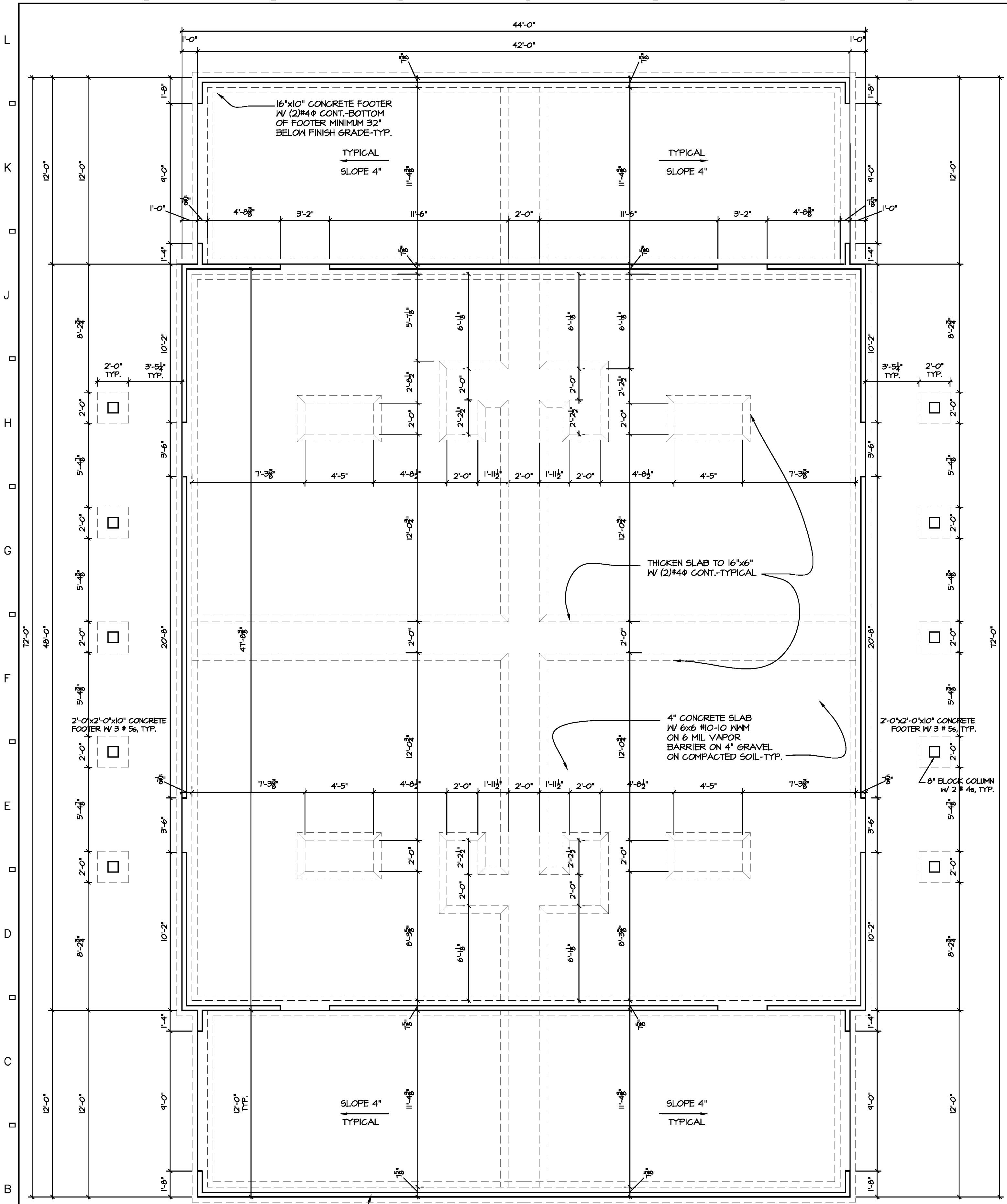
SHEET TITLE

**SECTIONS**

DRAWN PROJECT NO. DATE

DRAWING NO. **A230**

CONVERT: 2004 MODEL & REVISED ARCHITECTS/PLANNERS, INC.



FOUNDATION BLOCK WALL  
WITH # 4 @ 48" O/C,  
SLAB ON GRADE TYP.

ARCHITECT



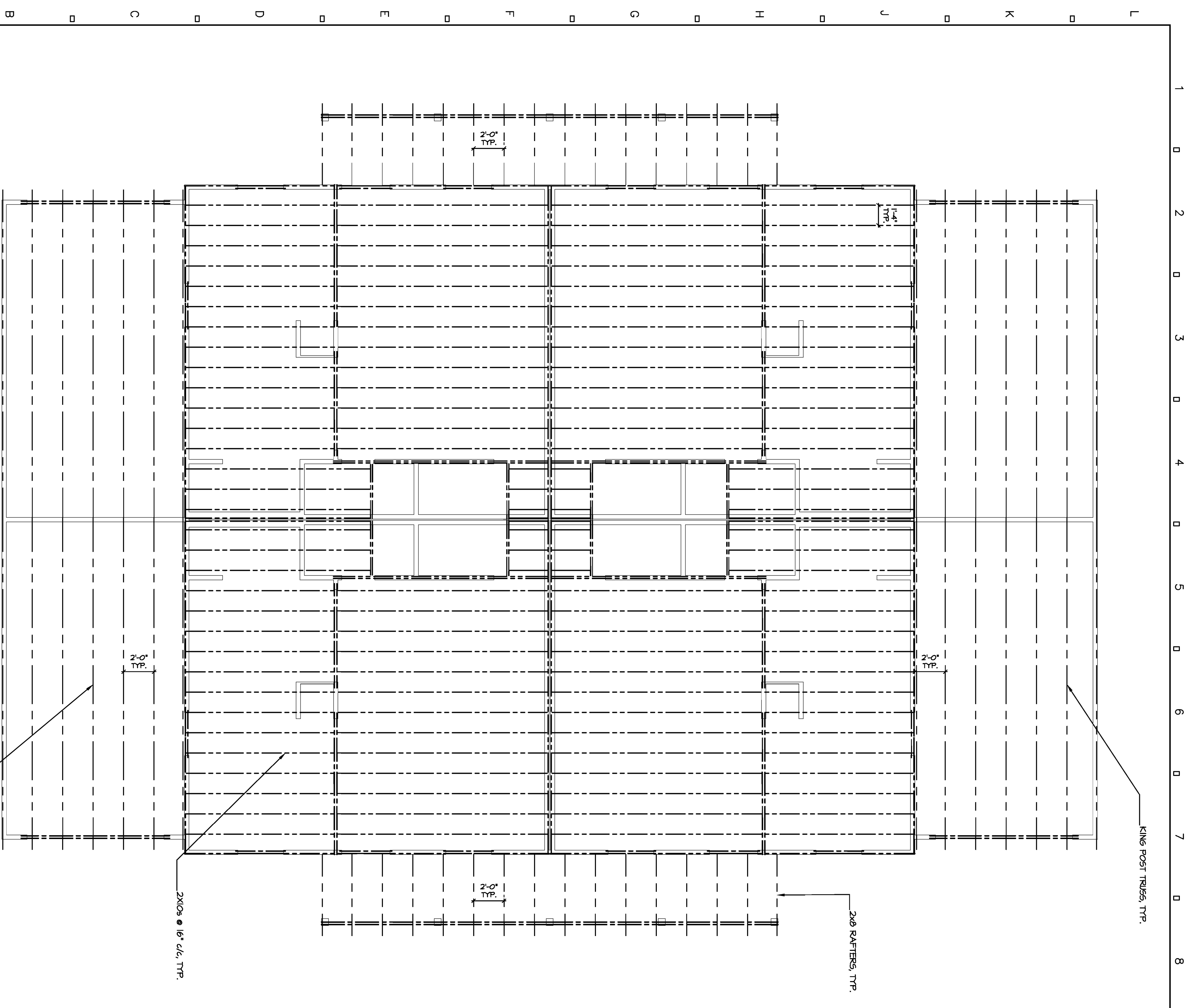
**Wachtel & McAnally**  
Architects/Planners Inc

35 SOUTH PARK PLACE - SUITE 350  
www.wachtelmcanally.com

NEWARK, OHIO 43055  
Phone: (740) 345-3500 Fax: (740) 345-7690

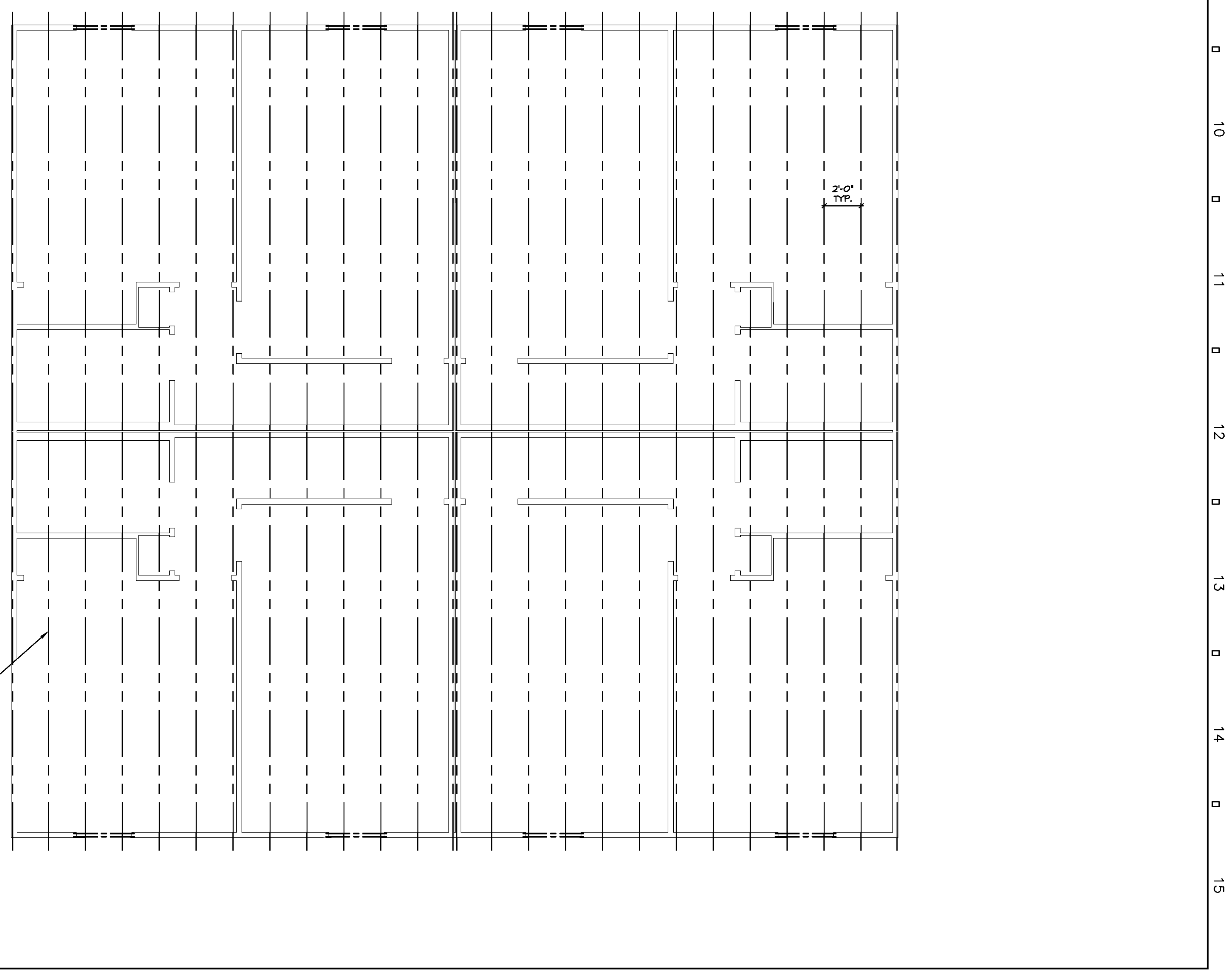
A1	FOUNDATION PLAN
SCALE: 1/4"=1'-0"	4 FAMILY TOWNHOUSE

1 2 3 4 5 6 7 8



**A1** SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



**A9** ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE

PROJECT

ARCHITECT

35 SOUTH PARK PLACE - SUITE 350 NEWARK, OHIO 43055  
 www.wachtelmcanaly.com Phone: (740) 345-3500 Fax: (740) 345-7690

SHEET TITLE

FRAMING PLAN

DRAWN PROJECT NO. DATE

CONVERT 2004 METRIC & IMPERIAL ARCHITECTS/PANERS, INC.



**CITY OF NEWARK  
PLANNING COMMISSION STAFF REPORT**

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**JUNE 13, 2023 PLANNING COMMISSION MEETING**

**Application:**

1. ***PC FILE 23-21: SITE PLAN FOR NEW OFFICE ADDITION TO COMMERCIAL BUILDING, LAYTON INC., 169 DAYTON ROAD***

**Staff Report & Recommendations:**

**Overview:**

The applicant intends to build a 3200 SF new office addition at the front of the existing building.

The Site Plan Review Committee submitted comments on 6/9/2023 regarding this application. Reviewers included:

- Mark Mauter, Development Director
- Brandon Metzger, Fire Chief
- Aaron Holman, NFD
- Erik McKee, Police Chief
- Craig Riley, Deputy Police Chief
- Brandon Fox, Utilities Superintendent
- Adam Bernard, Utilities Engineer
- Lindsey Brighton, Stormwater Utility
- Nick Shultz, Street and Traffic Engineer
- Don Hiltner, Senior Engineer
- Brian Morehead, City Engineer
- George Carter, Zoning Inspector

A. Zoning District:

This site is zoned General Commercial District (GC); the proposed use is a permitted use.

**Flood Zones:** This structure is not located in the 100-year Floodplain Area.

B. Safety Division Review:

The Police Division and Fire Divisions have no issues with the proposed structure.

C. Height Restrictions:

There are no height restrictions in the GC District.

D. Lot Area & Setbacks:

Parcel is approximately 373,745 S.F. +/-, with 4% building coverage, which meets the lot setback and area requirements of 35% maximum coverage.

E. Off-Street Parking & Loading:

Code requires 5 parking spaces for the new development on this site, and 32 new spaces are specifically proposed. Recognizing the use of the addition as an office for the existing building, and that a very large portion of the adjacent



## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

---

frontage is gravel lot to accommodate construction equipment, we find the parking as acceptable.

F. Corner Lots:

There are no structures proposed in the corner lot areas.

G. Landscaping, Buffering & Greenspace:

The landscaping on the site will not change as a result of this proposal, and we do not feel that any changes are needed due to this addition.

H. Public & Private Roadways – Access Management:

No new driveway approaches are planned with this structure.

I. Site Signage:

No additional signage has been submitted with the proposal.

J. Traffic Control / Street / Right-of-Way Issues:

No comments on these items.

K. Engineering / Utilities:

No new water and sanitary sewer service lines are proposed; any additional service is to be extended from the existing internal building plumbing.

There has not been a stormwater management plan submitted, and the increase in impervious area with this addition is not considerable. Engineering will review this project to comply with the City's Stormwater Management requirements. There is no public storm sewer nearby, so the design manages the stormwater on this site.

L. Other Standards/Regulations

No other comments at this time.

**Recommendations:**

This proposal meets all of the technical requirements. On that basis, staff recommends approval of the Site Plan for this structure.

If approved by Planning Commission, the zoning certificate will be granted.

**Planning Commission Action on Recommendation:**

\_\_\_\_\_ Approved As Submitted

\_\_\_\_\_ Approved As Noted, With Contingencies

\_\_\_\_\_ Denied

---

Planning Director

Date



Engineering & Zoning  
Engineering Department  
40 W. Main St.  
Newark, OH 43055  
(740) 670-7727

**City of Newark**  
**Zoning/Sign/Fence**  
**Application for Certificate of**  
**Plan Approval**  
[www.newarkohio.net](http://www.newarkohio.net)

**Office Use Only**

Application # \_\_\_\_\_  
Application Date: 5-19-23  
Date Paid: 5-19-23  
Paid:  Check  Cash  
(Circle one)  
Check Number 11046  
Amount \$ 310.50

Northpoint  
740-349-3222

Rev 2/10

<b>Project</b>	<b>Nature of Project:</b> <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> New Construction <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Sign <input type="checkbox"/> Fence <i>Please note, demolitions require a separate application</i>			
	<b>Description of Project:</b> Proposed Office Addition			
	<b>Address of Project (Number &amp; Street):</b> 169 Dayton Road		<b>Auditor's Parcel #:</b> 054-186378-01.001	
	<b>Current Zoning District:</b> GC	<b>Lot #:</b> 8.58 AC LOT 8	<b>Subdivision Name:</b>	<b>Entrance to Subdivision is off of:</b>
	<b>On the</b> <input type="checkbox"/> North <input checked="" type="checkbox"/> South <input type="checkbox"/> East <input checked="" type="checkbox"/> West <b>side of street:</b> <b>Between the intersection of:</b> (give streets) Swans Rd. & Butler Rd.		<b>Site Telephone:</b> 740-349-7101	
	<b>Flood Hazard area?</b> <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Floodway <input type="checkbox"/> 100 Yr <input type="checkbox"/> 500 Yr		<b>Sewer System:</b> <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	
	<b>Flood Zone:</b> AE		<b>Airport:</b> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	<b>Water System:</b> <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private

<b>Owner</b>	<b>Property Owner:</b> Layton Excavating Inc.			<b>Telephone:</b> 740-349-7101
	<b>Address:</b> 169 Dayton Road			<b>E-mail:</b> N/A
	<b>City:</b> Newark	<b>State:</b> OH	<b>Zip:</b> 43055	<b>Fax:</b> N/A

<b>Applicant</b>	<b>Applicant Name:</b> Northpoint Ohio LLC			<b>Telephone:</b> 740-349-3222
	<b>Address:</b> 19 N 4 <sup>th</sup> Street			<b>E-mail:</b> phil@northpointohio.com
	<b>City:</b> Newark	<b>State:</b> OH	<b>Zip:</b> 43055	<b>Fax:</b> 740-349-3221

<b>Contractor</b>	<b>Contractor Name:</b> T.B.D			<b>Telephone:</b>
	<b>Address:</b>			<b>E-mail:</b>
	<b>City:</b>	<b>State:</b>	<b>Zip:</b>	<b>Fax:</b>

<b>Designer</b>	<b>Person Preparing Drawings:</b> Philip Claggett		<b>Architect/Engineer Registration Number:</b> OH 11947	
	<b>Company:</b> Northpoint Ohio LLC		<b>E-mail:</b> phil@northpointohio.com	
	<b>Address:</b> 19 N 4 <sup>th</sup> Street		<b>Telephone:</b> 740-349-3222	
	<b>City:</b> Newark	<b>State:</b> OH	<b>Zip:</b> 43055	<b>Fax:</b> 740-349-3221

Application #:

<b>Use</b>	<input type="checkbox"/> Residential: (specify)	<input checked="" type="checkbox"/> Commercial: (specify) Office Addition	<input type="checkbox"/> Industrial: (specify)	<input type="checkbox"/> Other: (specify)
	Notes: (optional)			

<b>Project Floor Area</b>	<b>Calculate building area as follows:</b>	<b>INSERT PROJECT FLOOR AREA BELOW</b>				
	Measure to outside of walls for dimensions Include supported canopies as measured from the center lines of the furthest columns or supports Do not include roof or canopies which cantilever from the building	<b>Existing floor area</b>	<b>Alterations</b>	<b>New addition(s) or Change of Use</b>	<b>Total Square Feet Area</b>	
		<b>Basement</b>				
		<b>First Floor</b>	12,200		3,200	15,400
		<b>Floor 2,3,4, etc.</b>				
		<b>Subtotal</b>				
		<b>Garage/Storage Shed</b>				
		<b>Total</b>			<b>15,400</b>	

**This Application for a Sign Certificate must include the following:**

- Plan for each sign indicating the type, size and description.
- Site Plan, indicating the location of each sign.
- Insert the information for each sign, selecting all applicable details in the boxes on this form.
- Label the sign on the Site Plan with the appropriate Sign # from the box below.
- Payment of all applicable fees as given in the Application for Certificate of Plan Approval

For additional signs, use the supplemental sheet provided by this office.

<b>Sign</b>	<b>Sign 1: Sign Face Area:</b>	sq ft	Sign height above grade	feet
	<input type="checkbox"/> Freestanding <input type="checkbox"/> Monument <input type="checkbox"/> Building <input type="checkbox"/> On-premises	<input type="checkbox"/> Off-premises <input type="checkbox"/> Variable message projection <input type="checkbox"/> Variable Message Mechanical <input type="checkbox"/> Variable Message LED	<input type="checkbox"/> Illuminated <input type="checkbox"/> Non-illuminated <input type="checkbox"/> Temporary <input type="checkbox"/> Other (Per Ord. 08-33 Art 135.)	
	<b>Sign 2: Sign Face Area:</b>	sq ft.	Sign height above grade	feet.
	<input type="checkbox"/> Freestanding <input type="checkbox"/> Monument <input type="checkbox"/> Building <input type="checkbox"/> On-premises	<input type="checkbox"/> Off-premises <input type="checkbox"/> Variable message projection <input type="checkbox"/> Variable Message Mechanical <input type="checkbox"/> Variable Message LED	<input type="checkbox"/> Illuminated <input type="checkbox"/> Non-illuminated <input type="checkbox"/> Temporary <input type="checkbox"/> Other (Per Ord.08-33 Art 135)	


### Required Documentation

- Original Application
- Tax Map from the County Engineer
- Site Plans showing the location and uses of all existing buildings as well as any new construction covered under this Certificate Application. **2 copies of the Site Plan are required for 1, 2 and 3-family residential drawings as well as other accessory uses. 4 copies of the Site Plan are required for all other uses.**
- Payment of applicable fees. Make check payable to "City of Newark."

**Signature**

I understand that no excavation, construction, or structural alteration, electrical or mechanical installation or alteration of any building, structure, sign, or part thereof and no use of the above shall be undertaken or performed until the certificate applied for herein has been approved and issued by the City of Newark. **Property pins must be present prior to inspection.**

**I HEREBY ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE ABOVE LISTED INSTRUCTIONS**

Signature of Applicant:  Date: 19 Feb 23

Application #:

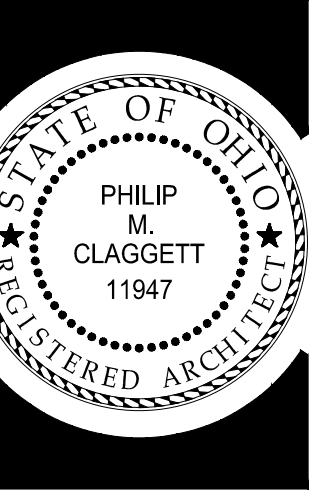
**DO NOT WRITE BELOW THIS LINE – FOR OFFICE USE ONLY**

Status	Date	Examiner Signature	Date Notified
<input type="checkbox"/> Incomplete			
<input type="checkbox"/> Disapproved			
<input type="checkbox"/> Approved			
<input type="checkbox"/> Hold		Reason:	

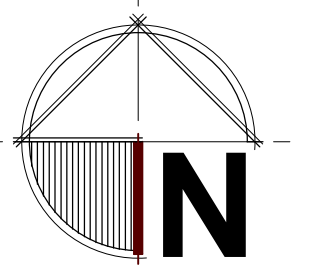
*Fees*

<i>Zoning</i>			<i>Signs</i>		
	Application Fee	\$22.50	Application Fee		\$22.50
	Residential \$9/100 Sq Ft (Max \$225)		1 – 10 SqFt	\$30	
	Commercial \$9/100 SqFt (Max \$450)	200	11 – 40 SqFt	\$120	
	Residential Accessory Fee \$7.50 Fences, Garages, Sheds		41 – 100 Sq Ft	\$180	
			101 thru 300 SqFt	\$255	
			Temporary Sign	\$7.50	
	<b>TOTAL</b>	310.50	<b>TOTAL</b>		





**LAYTON INC.**  
**2023 OFFICE BUILDING ADDITION**  
 NEWARK, OHIO 43065  
 169 DAYTON ROAD



**NORTHPOINT**  
 OHIO ARCHITECTURE

**19** NORTH 4th STREET  
 NEWARK, OHIO 43065

BRIDGING THE GAP BETWEEN  
**Art & TECHNOLOGY**  
**EST. 1999**  
 TEL: (740) 349-3222  
 FAX: (740) 349-3221

DRAWN BY	JDA
CHECKED BY	PMC
COMMISSION NO.	23022
DATE	18 MAY 2023
REVISIONS	
<input type="checkbox"/>	SCHEMATIC DESIGN SET
<input type="checkbox"/>	DESIGN DEVELOPMENT SET
<input checked="" type="checkbox"/>	CONSTRUCTION DOCUMENT SET
<input type="checkbox"/>	BUILDING PERMIT SET
<input type="checkbox"/>	BID SET - (1/11/13)
<input type="checkbox"/>	RECORD - "AS BUILT" SET

NORTHPOINT ARCHITECTURAL CONSULTANTS  
 HEREBY DISCLAIMS AND THE CONTRACTOR  
 ON THE ARCHITECTURAL WORKS OF THIS  
 PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE  
 FOR THE PRODUCTION OF THIS PRINT OR FOR  
 OTHER PRODUCTS WITHOUT THE ARCHITECT'S  
 APPROVAL AND PERMISSION IS PROHIBITED.

© COPYRIGHT  
 PHILIP M. CLAGGETT  
 ARCHITECT  
 OHIO NO. 11947

SHEET No.  
**A-0**  
 OF 14 SHEETS

**CODED NOTES**

- 1 TYP. PARKING SPACE 8'0" x 18'
- 2 4" SANITARY ROUGH-IN SERVICE LOCATION COORDINATE WITH OWNER FOR EXACT LOCATION
- 3 UTILITY ENTRANCE (COORDINATE WITH OWNER) SEE FLOOR PLAN FOR EXACT LOCATION TO ENTER BUILDING.
- 4 CONSULT OWNER ON EXTENT OF PARKING LOT "RE-WORK" / RE-GRADE.
- 5 HANDICAPPED PARKING SPACE
- 6 EXTERIOR SIDEWALK 4" POURED CONCRETE SLAB W/ 6x6 1/4x1/4 WAF. OVER 4" WASHED GRAVEL OVER COMPACTED FILL MATERIAL- SLOPE AWAY FROM BLDG

**GENERAL SITE NOTES**

THE EXISTING UTILITIES SHOWN ON THIS SITE PLAN WERE LOCATED BASED UPON OBSERVABLE FIELD EVIDENCE AND UTILITY RECORDS SUPPLIED BY THE OWNER. UNDERGROUND LINES WERE NOT PHYSICALLY LOCATED. LOCATE EXISTING UNDERGROUND UTILITIES IN AREAS OF EXCAVATION WORK. SHOULD UNCHARTED OR INCORRECTLY DOCUMENTED PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION CONSULT WITH UTILITY COMPANY IMMEDIATELY FOR ACTION TO BE TAKEN. COORDINATE W/ OWNER & UTILITY COMPANY IN KEEPING RESPECTIVE SERVICES AND FACILITIES IN OPERATION. REPAIR DAMAGED UTILITIES TO SATISFACTION OF UTILITY COMPANY.

FIELD ADJUSTMENTS IN ELEVATION AND LOCATION OF PROPOSED UTILITIES MAY BE MADE IF APPROVED BY ENGINEER / ARCHITECT OR ARRANGEMENTS SHALL BE MADE TO MOVE THE UTILITY TO PROVIDE ADEQUATE CLEARANCE. THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2164) 72 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR FACILITIES.

CONTRACTOR/OWNER SHALL REFER TO OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS LATEST EDITION AND THE OHIO D.O.T. STANDARD CONSTRUCTION DRAWINGS, LATEST EDITION.

TRENCHES WITHIN PAVED AREAS SHALL BE BACKFILLED TO THEIR FULL DEPTH WITH AGGREGATE AS SPECIFIED IN ITEM 804.02 D.O.T. SPECIFICATIONS, LATEST EDITION. ALL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM DENSITY OF 100% FOR MATERIAL W/ A STANDARD PROCTOR DENSITY GREATER THAN 125 POUNDS PER CUBIC FOOT.

SITE IMPROVEMENTS SHALL INCLUDE PAVING (GRAVEL) AND PROPER DRAINAGE INSTALL PER CODE.

PROVIDE # 2 LIMESTONE GRAVEL WITH A # 4 LIMESTONE COVER BELOW ALL ASPHALTIC BASE WHERE SOIL HAS BEEN DISTURBED OR NON COMPACTIBLE. USE # 4 (MIN.) LIMESTONE GRAVEL WITH SO4 LEVELING COURSE AT COMPACTIBLE SURFACES BELOW ASPHALTIC BASE.

TESTING & SUPERVISION OF EARTHWORK SHALL BE THE RESPONSIBILITY OF THE OWNER AS DIRECTED BY THE CONTRACTOR.

ALL EXCAVATION AND GRADING SHALL COMPLY WITH ALL REQUIREMENTS AND STANDARDS SET FORTH IN SOIL EROSION AND SEDIMENTATION CONTROL MANUAL PER THE OHIO DEPARTMENT OF ENVIRONMENTAL RESOURCES. NOTE: PROVIDE EROSION AND SEDIMENT CONTROL IF IT IS REQUIRED BY LOCAL MUNICIPALITY.

ALL EXTERIOR PAVEMENT AND GRADING SHALL HAVE A MINIMUM SLOPE OF 1/8" PER FOOT IN THE DIRECTION OF NATURAL DRAINAGE.

MINIMUM SOIL BEARING SHALL BE 2000 PSI (TYP.)

MECHANICALLY COMPACT THE SUB-GRADE OF THE SLAB ON GRADE TO A FIRM AND NON-YIELDING CONDITION. REMOVE ALL VEGETATION, ROOTS, TOPSOIL, DEBRIS AND ANY SOFT AREAS ENCOUNTERED AND BACKFILL WITH A SUITABLE, COMPACTED GRANULAR MATERIAL SUCH AS BANK RUN SAND AND GRAVEL OR CRUSHED STONE. DO NOT USE PYRITIC AND/OR EXPANSIVE MATERIALS SUCH AS MINE TAILINGS, CERTAIN SHALES, OPEN HEARTH SLAG.

FOR SLABS ON GRADE SHALL BE BASED ON AT LEAST 6" OF IMPORTED STRUCTURALLY COMPACTED SELECT AND INERT BACKFILL MATERIAL. THE TOP 4" TO 6" OF FILL SHALL BE GRAVEL. THE REMAINING BALANCE OF FILL MATERIAL SHALL BE OF A GRANULAR AND LOW PLASTIC NATURE (UNIFIED CLASSIFICATION AS LISTED GW, GC, SW, SP, SC, OR CL) HAVING A PLASTICITY INDEX NOT EXCEEDING (TWELVE) (12). THESE FILL SOILS / MATERIALS SHALL BE MIXED THOROUGHLY TO SLIGHTLY OVER OPTIMUM PL BE PLACED IN THIN HORIZONTAL LAYERS - 8" MAXIMUM LOOSE DEPTH AND COMPACTED TO AT LEAST 90% OF STANDARD PROCTOR DENSITY (ASTM D698) AND BROUGHT TO DESIRED GRADE BENEATH SLABS.

BACKFILL AND SOILS UNDER FOUNDATIONS & EQUIPMENT PADS SHALL BE PLACED TO 95% (MIN.) OF STANDARD PROCTOR DENSITY AND BROUGHT TO DESIRED GRADE.

PROVIDE AND MAINTAIN TEMPORARY ENCLOSURES, FENCES AND BARRICADES AS REQUIRED BY GOVERNING LOCAL ORDINANCES. PROVIDE TEMPORARY DOOR AND WINDOW ENCLOSURES AS REQUIRED.

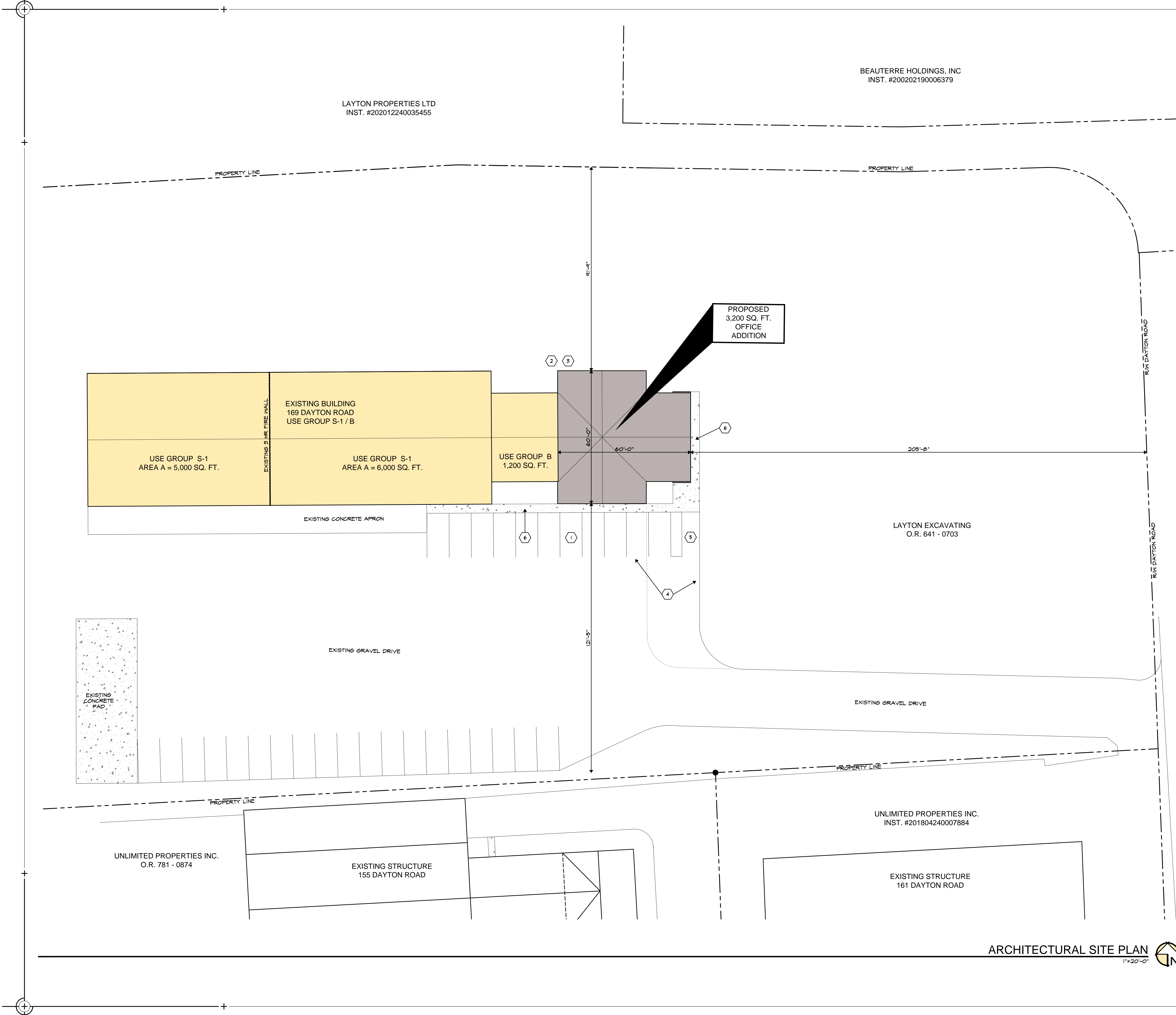
EARTHWORK INCLUDES EXCAVATION FOR ALL FOOTINGS, PARKING AND SIDEWALKS, TRENCHING FOR UTILITIES AND DRAINAGE LINES, AND WILL INCLUDE ROUGH AND FINISH GRADING (INCLUDING REDISTRIBUTION OF EXISTING TOP-SOIL ON SITE) FOR POSITIVE DRAINAGE AWAY FROM NEW CONSTRUCTION AND OFF OF PAVED AREAS.

REMOVE TOPSOIL FROM ALL BUILDING AREAS AND AREAS TO BE PAVED (GRAVEL) OR CONCRETE. TOPSOIL MAY BE USED FOR FILL IN NON-BUILDING AREAS AS INSTRUCTED BY OWNER / ARCHITECT.

CONTRACTOR AND SUB CONTRACTORS SHALL CONFINE ACTIVITIES TO THE PROJECT SITE. EXISTING RIGHT-OF-WAYS, TEMPORARY EASEMENTS & PERMANENT EASEMENTS, AND SHALL NOT ENTER UPON OTHER PROPERTIES WITHOUT WRITTEN PERMISSION OF THE OWNER.

NOTE: SCOPE OF WORK / PROJECT INFORMATION FOR RENOVATION OF BUILDING IS NOT ALL INCLUSIVE ON THIS SHEET. THE GENERAL CONTRACTOR HAS THE RESPONSIBILITY TO COORDINATE ALL PHASES / WORK ITEMS AS OUTLINED IN THE CONSTRUCTION DOCUMENTS, APPENDIX AND CONTRACT FOR CONSTRUCTION WITH ALL NECESSARY TRADES AND SUB-CONTRACTORS.

FIELD VERIFY PRIOR TO STARTING NEW WORK AND NOTIFY ARCHITECT UPON EXISTING BUILDING CONDITION DISCREPANCY. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING FIELD CONDITIONS, UTILITIES, STRUCTURE, CLEARANCES, AND DIMENSIONS.



ARCHITECTURAL SITE PLAN  
 1"=20'-0"