

**PLANNING COMMISSION MEETING
TUESDAY, April 11, 2023 6:00 P.M.
Council Chambers
40 W MAIN ST, NEWARK, OH 43055**

AGENDA

- 1. CALL TO ORDER**
- 2. APPROVAL OF MINUTES FOR THE March 14, 2023 PLANNING COMMISSION MEETING**

OLD BUSINESS

There is none this meeting

NEW BUSINESS

- 3. SITE PLAN REVIEW FOR 1401 Mt. Vernon Rd. Heath-Newark-Licking Co. Port Authority - STEM Flex Development, Phase 1 - Redevelopment of former Chesrown GM Dealership site**
Application Number : PC-23-06
Owner: Heath-Newark-Licking Co. Port Authority, 851 Irving Wick Dr. West, Heath, Oh 43056 John Vermaaten
Applicant: Same
- 4. TBZ-23-01 Temporary Board of Zoning District Revision - 1031 Buckeye Ave.**
Present Zoning District: CSI - Church, School & Institutional
Proposed Zoning District: RM - Single Family Residential District - Medium Density
Prior Zoning District: R1 - Single Family Residential District
Application Number : PC-23-06
Owner: 32-34 Couth 30th St. LLC, 675 Country Club Dr. A-3, Newark, Ohio 43055 Scott Sayers
Applicant: Same

MISCELLANEOUS – ADMINISTRATIVE APPROVALS

There are none this meeting

**THE NEXT SCHEDULED PLANNING COMMISSION MEETING WILL BE HELD ON TUESDAY, MAY 9, 2023, 6:00 P.M.
THE DEADLINEFOR AGENDA ITEM SUBMITTAL IS MONDAY APRIL 17, 2023 4:30 P.M.**



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

APRIL 11, 2023 PLANNING COMMISSION MEETING

Application:

1. **PC FILE 23-06: SITE PLAN FOR HEATH-NEWARK-LICKING COUNTY PORT AUTHORITY - STEMFLEX DEVELOPMENT PHASE 1, 1401 MT VERNON ROAD**

Staff Report & Recommendations:

Overview:

In Phase 1 of this project, the applicant intends to redevelop the former Chesrown GM dealership site, repurposing the existing buildings for light industrial uses and making site changes / improvements. Phases 2 and 3 will be reviewed at a future date as more details are developed, but are shown to give a comprehensive view of the proposed site buildout.

The Site Plan Review Committee submitted comments on 4/6/2023 regarding this application. Reviewers included:

- Mark Mauter, Development Director
- Brandon Metzger, Fire Chief
- Aaron Holman, NFD
- Erik McKee, Police Chief
- Craig Riley, Deputy Police Chief
- Roger Loomis – Brandon Fox, Utilities Superintendent
- Adam Bernard, Utilities Engineer
- Lindsey Brighton, Stormwater Utility
- Nick Shultz, Street and Traffic Engineer
- Don Hiltner, Senior Engineer
- Brian Morehead, City Engineer
- George Carter, Zoning Inspector

A. Zoning District:

This site is now zoned Light Industrial District (LI); the proposed use is a permitted use.

Flood Zones: There are no flood zones identified on this site.

B. Safety Division Review:

The Police and Fire Divisions have expressed no concerns with this proposal.

C. Height Restrictions:

The height of the proposed structure meets the code requirements. No major changes are anticipated to the existing buildings.

D. Lot Area & Setbacks:

Parcel is approximately 316,900 S.F. +/-, with existing 7.5% building coverage (Phase 1), which meets the lot density requirements of maximum 25% building coverage.



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

There are currently two parcels comprising this site, and for the future development of Phases 2 and 3, we anticipate a lot combination and split to reconfigure the lot lines, and to enable the dedication of the proposed street right-of-way. No action is needed at this time.

E. Off-Street Parking & Loading:

For Phase 1, 69 parking spaces are proposed.

Code requires 60 parking spaces, which meets the code requirements.

F. Corner Lots:

No structures are proposed at this time in the lot corner area.

G. Landscaping, Buffering & Greenspace:

The existing site is legal non-conforming with regard to the landscape requirements, as there is limited landscaping on this site; nearly the entire parcel is covered with asphalt pavement. The proposed redevelopment will greatly reduce the amount of asphalt pavement on the site, which will be removed and replaced with grass and 17 trees. A landscaping plan has been submitted, and the green space / ground cover area measurements should be shown on the plan. Any additional buffering and screening will need to be addressed on the Phase 2 public road plan.

H. Public & Private Roadways – Access Management:

In Phase 1, all of the proposed driveways are privately owned and maintained. Phase 2 of the project will include the construction and dedication of a public road with a cul-de-sac along the south side of the site, which will provide public access to proposed Phase 3 new building construction site.

I. Site Signage:

No signage has been submitted with the proposal.

J. Traffic Control / Street / Right-of-Way Issues:

Changes to the driveways and parking areas will affect the traffic flow around both buildings; the changes will separate the parking and drive areas for each building.

Given that the exact use of these buildings is unknown at this point, from a traffic perspective, we will want to look at the need for a turn lane on Mt. Vernon Road with the Phase 2 and 3 developments. The pavement width at Mt. Vernon Road may need to be widened, and the design and right-of-way platting should anticipate turn lanes at this intersection. The City will want cooperation with the Port Authority to construct turn lanes if the future traffic on the site warrants the improvement.



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

K. Engineering / Utilities:

For Phase 1, no new water and sanitary sewer service lines are proposed; any additional service is to be extended from the existing internal building plumbing.

For Phases 2 and 3, there was a preliminary discussion to evaluate the existing sanitary sewer on the north side of the site, in order to consider converting it to a publicly owned line, given that separate owners would be connecting to it. If this occurs, the appropriate easements should be included on the Phase 2 plat.

There has been a stormwater management plan submitted, and the decrease in impervious area with this redevelopment is considerable. Engineering is currently reviewing this plan to comply with the City's Stormwater Management requirements. There is no public storm sewer nearby, so the design manages the stormwater on this site.

L. Other Standards/Regulations

No other comments at this time.

Recommendations:

Staff recommends approval of this site plan at this time, contingent upon the resolution of the issues listed:

1. Landscape green space and ground cover area measurements are shown on the plans.
2. Compliance with City's Stormwater Management requirements, to ensure runoff water does not adversely impact adjacent properties.
3. Any of the remaining issues listed above will be addressed on the final construction plans.

If approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

Planning Commission Action on Recommendation:

_____ Approved As Submitted

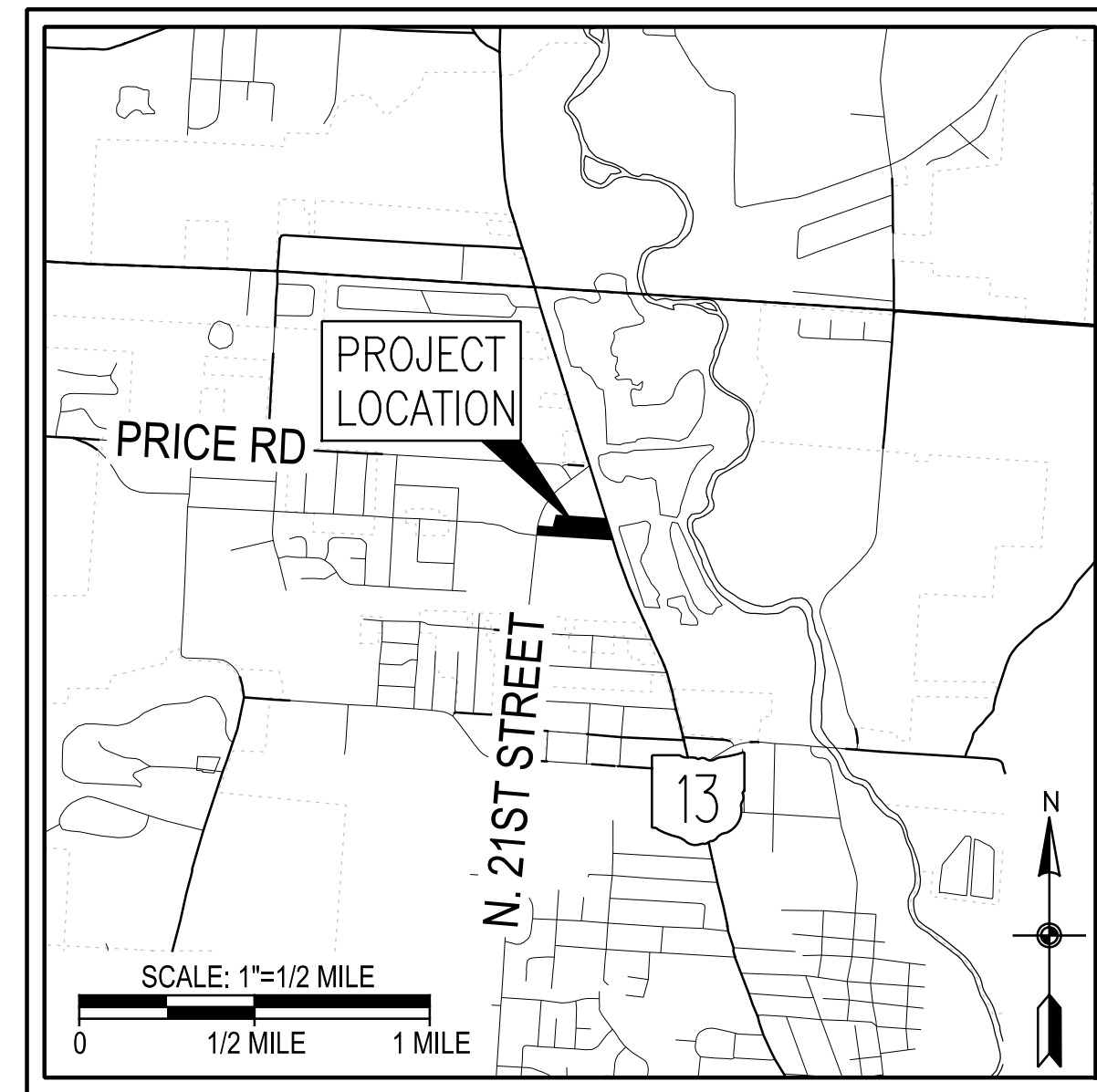
_____ Approved As Noted, With Contingencies

_____ Denied

Planning Director

Date

HEATH-NEWARK-LICKING COUNTY PORT AUTHORITY STEMFLEX DEVELOPMENT PHASE 1 CONSTRUCTION PLANS SITUATED IN THE CITY OF NEWARK, LICKING COUNTY, OHIO



OWNER
HEATH-NEWARK-LICKING
COUNTY PORT AUTHORITY
RICK PLATT
851 IRVING WICK DRIVE WEST
HEATH, OH 43056
(740) 788-5500



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PROJECT DATA

TOTAL AREA:	3.224	ACRES
R/W AREA:	0.000	ACRES
PROJECT EARTH DISTURB AREA:	3.186	ACRES
ESTIMATED CONTRACTOR (OUTSIDE PROJECT) EARTH DISTURBED AREA:	0.055	ACRES
NOTICE OF INTENT EARTH DISTURBED AREA:	3.241	ACRES
IMPERVIOUS AREA FOR PRE-CONSTRUCTION SITE:	3.021	ACRES
IMPERVIOUS AREA FOR POST-CONSTRUCTION SITE:	2.183	ACRES
IMMEDIATE RECEIVING WATERS:	CITY OF NEWARK MS4	
ULTIMATE RECEIVING WATERS:	NORTH FORK LICKING RIVER	

DRAWN: A.M.

CHECKED: B.J.W.

REVIEWED: B.C.K.

REVISIONS

A

B

C

D

TITLE SHEET

HNLCPA STEMFLEX
DEVELOPMENT PHASE 1
CITY OF NEWARK, OHIO

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLAN.

CITY ENGINEER DATE

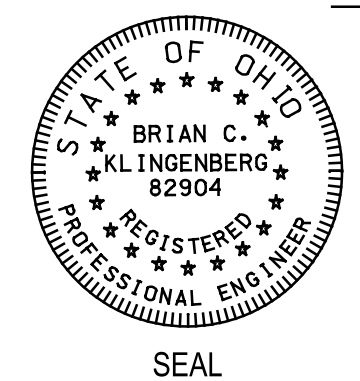
CITY SERVICE DIRECTOR DATE

CITY UTILITIES SUPERINTENDENT DATE

CITY STORMWATER COORDINATOR DATE

CITY OF NEWARK STANDARD CONSTRUCTION DRAWINGS		OHIO DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DRAWINGS	
600-2	5/96	CB-2-2A	1/20/23
		HW-2.2	7/20/18
		BP-3.1	1/21/22

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BRIAN C. KLINGENBERG, P.E.
OHIO PROFESSIONAL ENGINEER #82904 DATE



GENERAL NOTES

SPECIFICATIONS

CITY OF NEWARK CONSTRUCTION AND MATERIAL SPECIFICATIONS, DATED JULY, 2018, ALONG WITH THE CURRENT VERSION OF THE OHIO DEPARTMENT OF TRANSPORTATION CMS SHALL GOVERN THIS PROJECT.

NOTIFICATION

THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES AT LEAST 48 HOURS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION.

CITY OF NEWARK ENGINEER: (740) 670-7727
 WATER DEPARTMENT: (740) 670-7962
 SEWER DEPARTMENT: (740) 670-7962
 STORMWATER UTILITY: (740) 670-7762

GENERAL

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND PAY ALL INSPECTION FEES.

THE CITY OF NEWARK STORMWATER UTILITY SHALL BE CONTACTED PRIOR TO CONSTRUCTION FOR PRE-CONSTRUCTION GRADING INSPECTION.

A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR, DEVELOPER, ENGINEER, AND CITY OF NEWARK WATER & SEWER MUST BE HELD BEFORE CONSTRUCTION BEGINS AND BEFORE SIGNED PLANS ARE ISSUED.

ALL CONSTRUCTION STAKING REQUIRED FOR THIS PROJECT SHALL BE PERFORMED BY OR AT THE DIRECTION OF AN OHIO REGISTERED PROFESSIONAL SURVEYOR OR ENGINEER.

GRANULAR BACKFILL SHALL BE TAMPED WITH A VIBRATORY COMPACTOR IN 12" LAYERS (MAXIMUM).

ALL ADJOINING PROPERTIES DISTURBED DURING CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THE SAME OR BETTER CONDITION. THIS INCLUDES GRADING, SEEDING, AND REMOVAL OF EXCESS MATERIALS.

THE CONTRACTOR SHALL CLEAN ALL MUD, DIRT, DEBRIS, ETC. FROM THE PUBLIC RIGHT-OF-WAY LEFT AS A RESULT OF WORK ON THIS PROJECT, DAILY.

WITHIN THE PUBLIC RIGHT-OF-WAY, OR WITHIN SEWER OR WATER EASEMENTS, #57 STONE BEDDING AND BACKFILL SHALL BE USED FROM 6" BELOW THE PIPE TO A MINIMUM OF 1' ABOVE THE PIPE. THE REMAINDER OF THE BACKFILL SHALL BE APPROVED BY THE CITY. THIS APPLIES TO STORM AND SANITARY. TRENCHES UNDER PAVEMENT AND CURBS SHALL HAVE COMPACTIBLE GRANULAR BACKFILL (ITEM 304) FULL DEPTH. FOR ANY REPLACEMENT OR REMOVAL OF WATERLINES, THE BACKFILL SHALL BE ODOT ITEM 703.

IRON PINS MARKING PROPERTY LINES/CORNERS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED BY A REGISTERED SURVEYOR.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PERMANENT SEEDING & MULCHING, TOPSOIL, FERTILIZER, AND WATER AS PER ODOT ITEM 659, TO ALL DISTURBED AREAS.

SAFETY REQUIREMENTS: THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PEOPLE (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

A PRE-CONSTRUCTION MEETING MUST BE HELD PRIOR TO THE START OF ANY CONSTRUCTION. AT THE PRE-CONSTRUCTION MEETING, THE CONTRACTOR SHALL PROVIDE ALL SHOP DRAWINGS AND MATERIAL SHEETS FOR REVIEW, A LIST OF ALL SUBCONTRACTORS, A WRITTEN SCHEDULE FOR THE PROJECT, EMERGENCY NUMBERS, AND OTHER ITEMS REQUESTED BY THE ENGINEER, PRIOR TO BEGINNING ANY WORK ON THE PROJECT.

CONTRACTOR MUST NOTIFY THE CITY UTILITIES DEPARTMENT 48 HOURS PRIOR TO CONNECTING TO THE WATER OR SEWER SYSTEM.

UTILITIES

THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND UTILITY FACILITIES KNOWN LOCATED IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE PLANS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UTILITY.

SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.

THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE OHIO UTILITIES PROTECTION SERVICE (PHONE 800/362-2764-TOLL FREE) AND TO THE OWNERS OF THE UTILITY FACILITIES SHOWN ON THE PLAN WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE IN ACCORDANCE WITH SECTION 153.64 OF THE REVISED CODE. THE ABOVE MENTIONED NOTICE SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO THE START OF THE CONSTRUCTION.

LISTED BELOW ARE ALL UTILITIES LOCATED WITHIN THE PROJECT CONSTRUCTION LIMITS TOGETHER WITH THEIR RESPECTIVE OWNERS AS IDENTIFIED BY OUPS TICKET NUMBERS B-128601294-00B (MARKINGS) & B-128601295-00B (PLANS).

SANITARY SEWER:	CITY OF NEWARK	740-670-7962
STORMWATER UTILITY:	CITY OF NEWARK	740-670-7762
WATER:	CITY OF NEWARK	740-670-7962
CABLE:	SPECTRUM/TIME WARNER	740-345-7329
ELECTRIC:	AEP OHIO	740-349-8873
GAS:	COLUMBIA GAS	800-344-4077
GAS:	ENERGY CO-OP	740-344-2102
GAS:	ENTERPRISE PRODUCTS	713-381-6500
TELEPHONE:	WINDSTREAM	740-349-8873

CROSSINGS AND CONNECTIONS TO EXISTING PIPES AND UTILITIES

WHERE PLANS PROVIDE FOR A PROPOSED CONDUIT TO BE CONNECTED TO, OR CROSS OVER OR UNDER AN EXISTING SEWER OR UNDERGROUND UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING PIPES OR UTILITIES BOTH AS TO LINE AND GRADE BEFORE STARTING TO LAY THE PROPOSED CONDUIT.

IF IT IS DETERMINED THAT THE PROPOSED CONDUIT WILL INTERSECT AN EXISTING SEWER OR UNDERGROUND UTILITY IF CONSTRUCTED AS SHOWN ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED CONDUIT WHICH WOULD BE AFFECTED BY THE INTERFERENCE WITH AN EXISTING FACILITY.

PAYMENT FOR ALL THE OPERATIONS DESCRIBED ABOVE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE PERTINENT 611 CONDUIT ITEM.

STORM SEWER

ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED AS PER CITY OF NEWARK ORDINANCE NUMBER 91-59.

A NEENAH R-1642, EAST JORDAN 1047, OR EQUIVALENT COMBINATION RING AND LID w/ CITY OF NEWARK SEAL "STORM" SHALL BE USED ON ALL MANHOLES.

THE CONTRACTOR SHALL MAINTAIN SERVICE IN THE EXISTING LINE WHEN CONSTRUCTING THE PROPOSED CONNECTION. CONTRACTOR SHALL NOTIFY CITY OF NEWARK, STORMWATER UTILITY 48 HOURS PRIOR TO CONSTRUCTING ANY CONNECTION TO PERFORM A SITE VISIT.

PIPE MATERIAL:
 PROVIDE CORRUGATED POLYPROPYLENE TRIPLE-WALL PIPE, PER 2019 ODOT SPECIFICATION 707.69, OR REINFORCED CONCRETE PIPE PER 2019 ODOT SPECIFICATION 706.02, FOR SIZES RANGING FROM 30 INCHES TO 60 INCHES IN DIAMETER.

PROVIDE CORRUGATED POLYPROPYLENE DOUBLE-WALL PIPE, PER 2019 ODOT SPECIFICATION 707.65, OR REINFORCED CONCRETE PIPE PER 2019 ODOT SPECIFICATION 706.02, FOR SIZES RANGING FROM 12 INCHES TO 24 INCHES IN DIAMETER.

GLASS FIBER REINFORCED POLYMER MORTAR PIPE, PER 2019 ODOT SPECIFICATION 707.75 MAY BE USED FOR SIZES RANGING FROM 18 INCHES TO 120 INCHES IN DIAMETER.

BEDDING & BACKFILL:
 STRUCTURAL BACKFILL, TYPE 3, (CRUSHED LIMESTONE NO. 57) SHALL BE USED AS BEDDING FROM 6" BELOW THE PIPE TO A MINIMUM OF 1' ABOVE THE PIPE. FOR ALL PIPE BENEATH, OR WITHIN 5' OF PAVEMENT, BACKFILL ABOVE THE BEDDING SHALL BE ITEM 304 FOR THE FULL DEPTH OF THE TRENCH. PLACEMENT AND COMPACTION REQUIREMENTS FOR BACKFILL SHALL BE PER 611.06. (SEE STANDARD DRAWING, THIS SHEET)

THE CONTRACTOR WILL BE REQUIRED TO PERFORM MANDREL DEFLECTION TESTS ON POLYPROPYLENE OR POLYETHYLENE CONDUIT LARGER THAN 12" IN DIAMETER. INITIAL MANDREL TESTING SHALL NOT OCCUR UNTIL PIPE HAS BEEN INSTALLED FOR 30 DAYS. DEFLECTIONS OF MORE THAN 5% OF THE PIPE DIAMETER WILL BE EVALUATED FOR CORRECTION MEASURES. CONDUIT WITH DEFLECTIONS OF MORE THAN 7.5% WILL NEED TO BE EXCAVATED AND REPLACED OR RE-INSTALLED, AND RE-TESTED AFTER 30 DAYS.

ALL STORM SEWER CONDUIT AND STRUCTURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL TESTING SHALL BE WITNESSED BY A CITY OF NEWARK REPRESENTATIVE.

SITE LIGHTING, AS PER PLAN

ALL EXISTING POLES SHOWN TO BE REMOVED (AND REUSED) SHALL BE PAINTED BLACK. EXISTING HALOGEN LIGHT FIXTURES TO BE REPLACED WITH "MONGOOSE MEDIUM LED" FIXTURES PER THE DETAILS SHOWN. EXISTING POLES TO BE RELOCATED SHALL BE MOUNTED ON NEW FOUNDATIONS AT THE PROPOSED LOCATIONS SHOWN.

ALL MATERIALS INCLUDING, BUT NOT LIMITED TO LIGHT POLES, LUMINARIES, FOUNDATIONS, CONDUITS, JUNCTION BOXES, WIRE, FUSES, ETC. SHALL BE INCLUDED IN THE LUMP SUM BID FOR ITEM SPECIAL - STREET LIGHTING, COMPLETE AS PER PLAN.

THE FOLLOWING QUANTITIES ARE PROVIDED FOR ESTIMATING PURPOSES ONLY:

20 EA. LIGHT POLES REMOVED
 9 EA. LIGHT POLES INSTALLED

NEW FLAG POLE, AS PER PLAN

CONTRACTOR SHALL REMOVE EXISTING FLAGPOLE AND FOUNDATION, AND INSTALL IN PROPOSED LOCATION. NEW FOUNDATION SHALL MEET OR EXCEED EXISTING FOUNDATION LOAD RATING (DIAMETER AND DEPTH).

GENERAL SUMMARY

NEWARK ITEM	ODOT ITEM	TOTAL	UNIT	DESCRIPTION
EARTHWORK				
	201	1	LUMP	CLEARING AND GRUBBING
	202	12487	SQ YD	PAVEMENT REMOVED
	202	40	FT	PIPE REMOVED
	202	1	EA	CATCH BASIN REMOVED
	203	660	CU YD	EXCAVATION#
	203	900	CU YD	EMBANKMENT#
	SPECIAL	103	SY	CONCRETE PAD REMOVED
	SPECIAL	1	EA	NEW FLAG POLE, AS PER PLAN
ROADWAY				
	204	8159	SQ YD	SUBGRADE COMPACTION
	252	655	FT	FULL DEPTH PAVEMENT SAWING
	304	1263	CU YD	AGGREGATE BASE
	407	834	GAL	TACK COAT
	441	316	CU YD	ASPHALT CONCRETE SURFACE COURSE, TYPE 1 (449), PG64-22
	441	316	CU YD	ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2 (449)
	301	632	CU YD	ASPHALT CONCRETE BASE PG64-22, (449)
	608	2932	SQ FT	4" CONCRETE WALK
	630	44	FT	GROUND MOUNTED SUPPORT, No. 3 POST
	630	9	SQ FT	SIGN, FLAT SHEET
	642	1366	FT	PARKING LOT STALL MARKING
	642	4	EA	HANDICAP SYMBOL
	642	302	FT	DIAGONAL LINE
	SPECIAL	16	EA	PARKING BLOCK
	SPECIAL	210	CY	No. 2 LIMESTONE
STORM SEWER				
	611	76	FT	12" CONDUIT, TYPE D, 706.02
	611	2	EA	ENDWALL FOR 12" PIPE (HW-2.2)
	SPECIAL	14	EA	DRYWELL STRUCTURE
EROSION CONTROL				
	659	5791	SQ YD	SEEDING AND MULCHING
	SPECIAL	1	EA	CONCRETE WASHOUT
	SPECIAL	16	EA	INLET PROTECTION
	SPECIAL	291	FT	PERIMETER FILTER FABRIC FENCE
	SPECIAL	1	EA	STABILIZED CONSTRUCTION ENTRANCE
MISCELLANEOUS				
	SPECIAL	1	LUMP	SITE LIGHTING, AS PER PLAN
	624		LUMP	MOBILIZATION

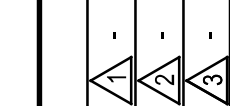
EXCAVATION AND EMBANKMENT QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY. QUANTITIES PROVIDED ARE CALCULATED FROM ELEVATIONS EXISTING AT THE TIME THE TOPOGRAPHIC SURVEY WAS PERFORMED, TO THE PROPOSED SURFACE ELEVATIONS. NO ADJUSTMENTS HAVE BEEN MADE FOR PAVEMENT, FOOTERS, BUILDING PADS, TOPSOIL, UNSUITABLE SOILS, UTILITY INSTALLATION SPOILS, ETC.

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DRAWN
A.M.
CHECKED
B.W.
REVIEWED
B.CK



REVISIONS



GENERAL NOTES AND
GENERAL SUMMARY

HNLCPA STEMFLX
DEVELOPMENT PHASE 1
CITY OF NEWARK, OHIO

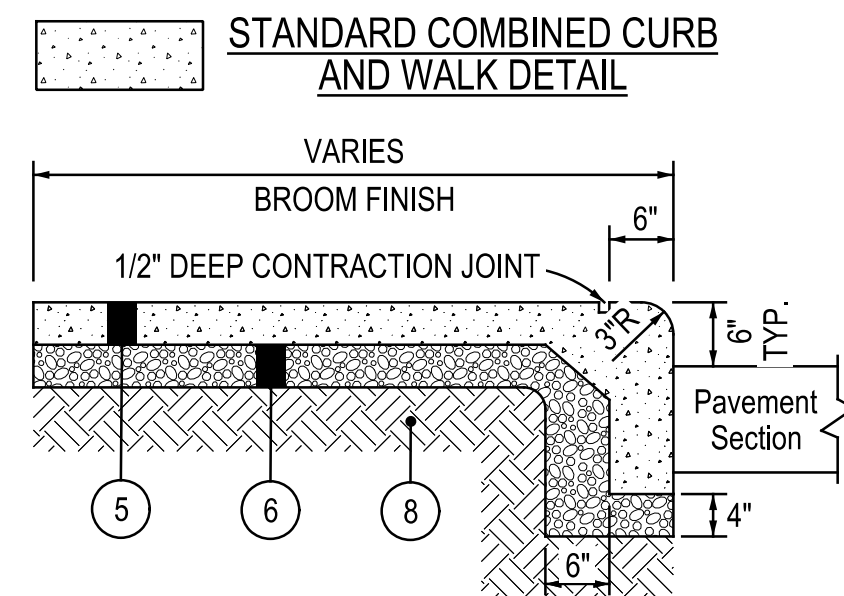
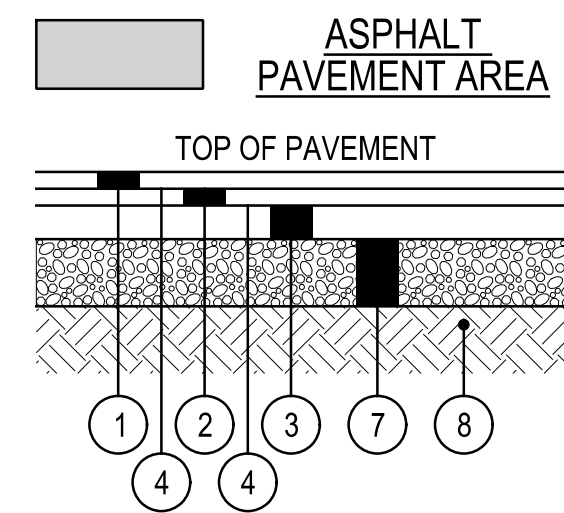
MAR. 30. 2023
JOB #22-083



CONSTRUCTION DETAILS

PAVEMENT DETAIL LEGEND

- ① ITEM 441 1 1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1 (449), PG64-22
- ② ITEM 441 1 1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2 (449)
- ③ ITEM 301 3" ASPHALT CONCRETE BASE PG64-22, (449)
- ④ ITEM 407 NON-TRACKING TACK COAT
- ⑤ ITEM 608 4" CONCRETE WALK
- ⑥ ITEM 304 4" AGGREGATE BASE
- ⑦ ITEM 304 6" AGGREGATE BASE
- ⑧ ITEM 204 SUBGRADE COMPACTION

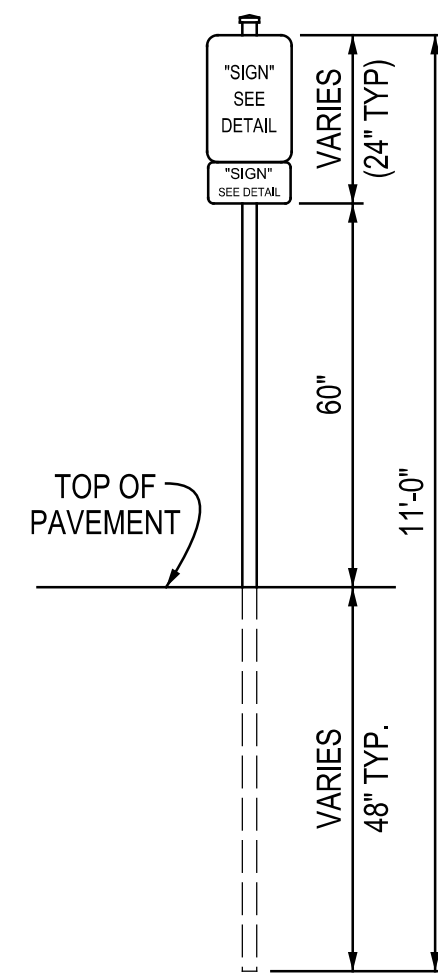


STANDARD CONCRETE WALK WHERE CURB IS NOT PRESENT SHALL MATCH THE BUILD-UP OF THIS DETAIL.

PAYMENT FOR THE SIDEWALK PORTION OF THIS DETAIL SHALL BE INCLUDED WITH ITEM 608 - 4" CONCRETE WALK.

PAYMENT FOR THE CURB PORTION OF THIS DETAIL SHALL BE INCLUDED WITH ITEM 609 - CURB, TYPE 6 (STRAIGHT, 18").

HANDICAP SIGN DETAIL



TYPICAL PIPE TRENCH DETAILS

PAVEMENT

NOTES:

THIS WORK SHALL CONSIST OF PAVEMENT REMOVAL, NECESSARY EXCAVATION, AND PAVEMENT REPLACEMENT IN ACCORDANCE WITH THE DETAILS SHOWN HEREIN. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT CITY SPECIFICATIONS.

WHEN THE PAVEMENT HAS BEEN REMOVED AND THE CONTRACTOR IS UNABLE TO COMPLETE THE REQUIRED REPLACEMENT IN TIME FOR IT TO BE OPENED TO TRAFFIC AS INDICATED ON THE PERMIT, THE EXCAVATION SHALL BE FILLED WITH A PATCH MATERIAL WITH A DURABLE SURFACE OR PLATES. THE COST OF PLACING, MAINTAINING, REMOVING, AND DISPOSING OF TEMPORARY PATCHES OR PLATES WILL BE AT THE CONTRACTORS EXPENSE.

THE BACKFILLING, PAVEMENT REPAIR, AND/OR THE HEAT WELDING SHALL BE DONE BY THE CONTRACTOR OR PERMITEE IN ACCORDANCE WITH THE CITY SPECIFICATIONS.

PAVEMENT REPLACEMENT--

IF ASPHALT IS UNAVAILABLE AT THE TIME WHICH THE SEWER IS CONSTRUCTED, THEN TEMPORARY PAVEMENT SHALL BE USED AND 301 SHALL BE NON-PERFORMED. WHEN ASPHALT PLANTS REOPEN, THE CONTRACTOR SHALL REMOVE THE TOP 3 INCHES OF 452 AND REPLACE WITH 441. ALL COSTS ASSOCIATED WITH THIS OPERATION SHALL BE INCLUDED IN THE UNIT PRICE BID OF PAVEMENT ITEMS.

CODED NOTES

T - PAVEMENT THICKNESS

1.25" MINIMUM *

ITEM 441 - ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (449) PG64-22

9" MINIMUM *

ITEM 301 - ASPHALT CONCRETE BASE, PG64-22 (3" MAX. LIFTS)

Z - TEMPORARY PAVEMENT THICKNESS

3" ITEM 452 - PLAIN CONCRETE PAVEMENT LAYER OF PLASTIC

9" ITEM 452 - PLAIN CONCRETE PAVEMENT *

*CONTRACTOR TO MATCH EXISTING PAVEMENT BUILDUP IF THICKER.

"X"	"D"	"W"	MAXIMUM REPAVING SQ. YD. PER LN. FT.
12	8	30	0.500
12	8	32	0.519
12	10	34	0.537
12	12	36	0.556
12	14	42	0.611
12	21	45	0.639
12	24	48	0.667
15	27	51	0.696
15	30	54	0.722

TRENCH DIMENSIONS

TEMPORARY PAVEMENT

NON-PAVEMENT

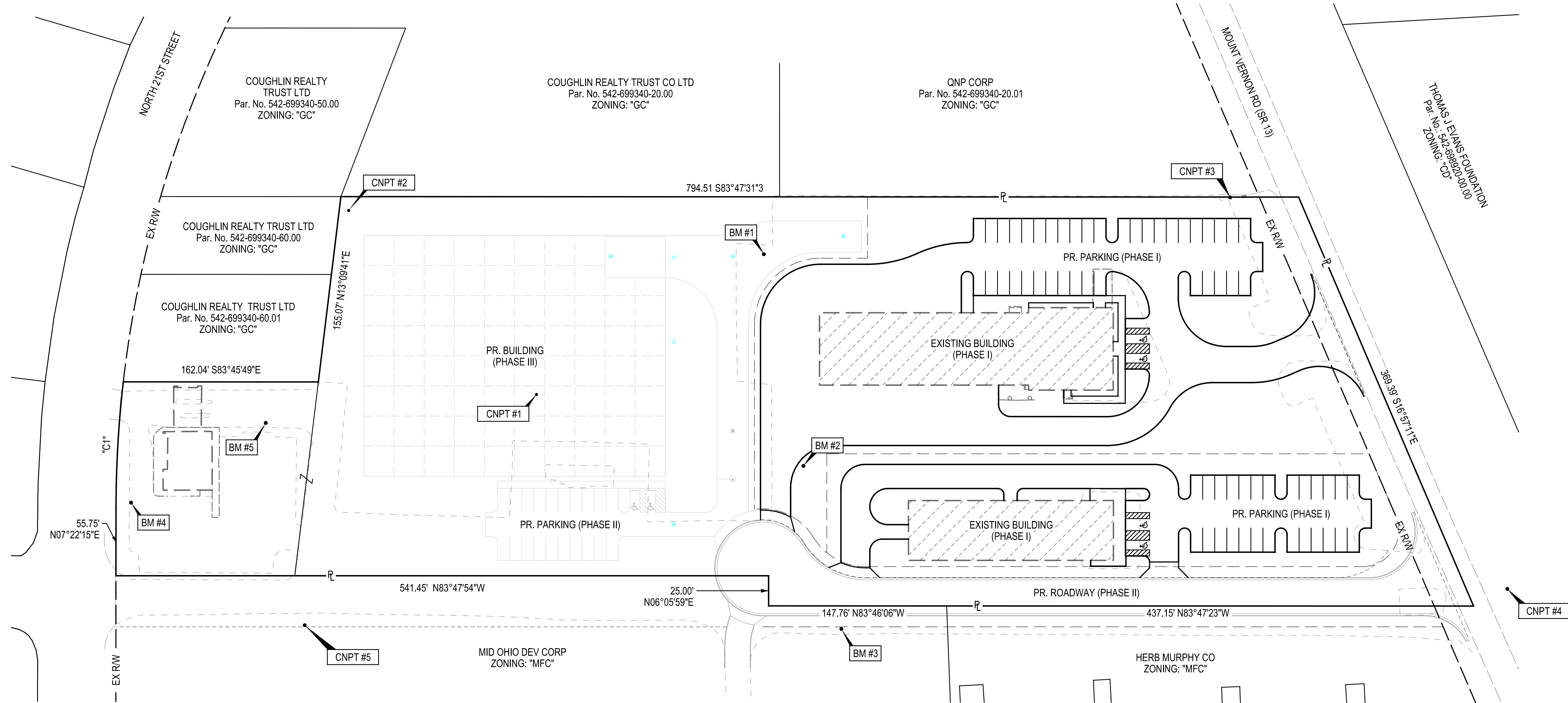
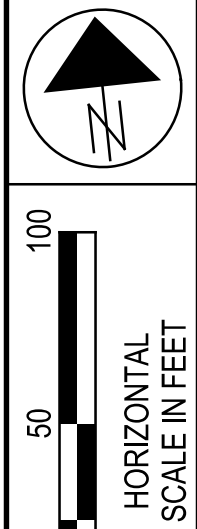
FOR WATERLINE: BEDDING AND INITIAL BACKFILL SHALL MEET AWWA SPEC. 4.2.5. MODIFIED TO EXCLUDE THE USE OF CLEAN GRAVEL OR CRUSHED STONE. SAND-GRAVEL MIXTURES ARE ACCEPTABLE.

CITY OF NEWARK, OHIO
DIVISION OF ENGINEERING

STANDARD DRAWING 900-5
TRENCH DETAILS

REVISED
5-86 KELLEY
7-2018 KELLEY

SCHEMATIC PLAN



DRAWN: A.M.
 CHECKED: B.W.
 REVIEWED: B.C.K.
ADR
88 West Church Street • Newark, OH 43055 • (740) 345-1921

REVISIONS

1	
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SCHEMATIC PLAN

**HNLCPA STEMFLX
 DEVELOPMENT PHASE 1
 CITY OF NEWARK, OHIO**

MAR. 30. 2023
 JOB #22-083
4
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SITE INFORMATION:

OWNER: HEATH-NEWARK-LICKING COUNTY PORT AUTHORITY
 ADDRESS: 1401-1425 MOUNT VERNON ROAD
 1760 N. 21ST STREET
 AUDITORS PAR. NO.: 054-269934-03.000
 054-269934-00.002
 054-269934-00.003
 SITE AREA: 7.274 Ac.
 BUILDING AREA: 23,680 SQ. FT. (EXISTING)
 48,250 SQ. FT. (PROPOSED)
 71,930 SQ. FT. (TOTAL)

ZONING INFORMATION:

EXISTING ZONING: GC - GENERAL COMMERCIAL DISTRICT
 EXISTING USE: MANUFACTURING
 PROPOSED ZONING: LI - LIMITED INDUSTRIAL
 PROPOSED USE: RESEARCH & PRODUCT DEVELOPMENT
 BUILDING SETBACKS: 50' FRONT
 25' SIDE (25' TOTAL)
 40' REAR

VARIANCE REQUESTED:

VARIANCE FROM SECTION 1266.08, LOT SETBACKS. PROPOSED DEVELOPMENT PHASE I WOULD PROVIDE 5' SIDE SETBACK FROM THE FUTURE RIGHT-OF-WAY CREATED IN PHASE II AND PROPOSED DEVELOPMENT PHASE III WOULD PROVIDE 15' REAR SETBACK.

FLOOD INFORMATION:

THE PROPERTY FALLS WITHIN THE LIMITS OF FLOOD ZONE "X" AS SHOWN ON FIRM MAP No. 39089C0331J, DATED MARCH 16, 2015.

SURVEY INFORMATION

SURVEY INFORMATION BASED ON FIELD OBSERVATION BY SMART SERVICES, INC.

FOR MORE INFORMATION CONTACT:

SMART SERVICES, INC.
 88 W CHURCH STREET
 NEWARK, OH 43055
 (740) 345-4700

CONTROL POINT INFORMATION:

POINT	NORTHING	EASTING	ELEV.	DESCRIPTION
CNPT #1	763462.389	1989473.494	879.84	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #2	763631.123	1989335.145	881.34	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #3	763562.899	1990063.379	878.56	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #4	763214.871	1990256.894	877.88	5/8" REBAR W/ CAP "TRAVERSE"
CNPT #5	763292.708	1989261.648	880.06	5/8" REBAR W/ CAP "TRAVERSE"
BM #1	763557.8	1989673.7	880.10	MAG NAIL SET IN ASPHALT
BM #2	763379.5	1989687.3	879.02	MAG NAIL SET IN ASPHALT
BM #3	763241.6	1989704.0	878.92	MAG NAIL SET IN ASPHALT
BM #4	763409.5	1989129.5	879.88	MAG NAIL SET IN ASPHALT
BM #5	763463.2	1989247.7	880.76	MAG NAIL SET IN ASPHALT

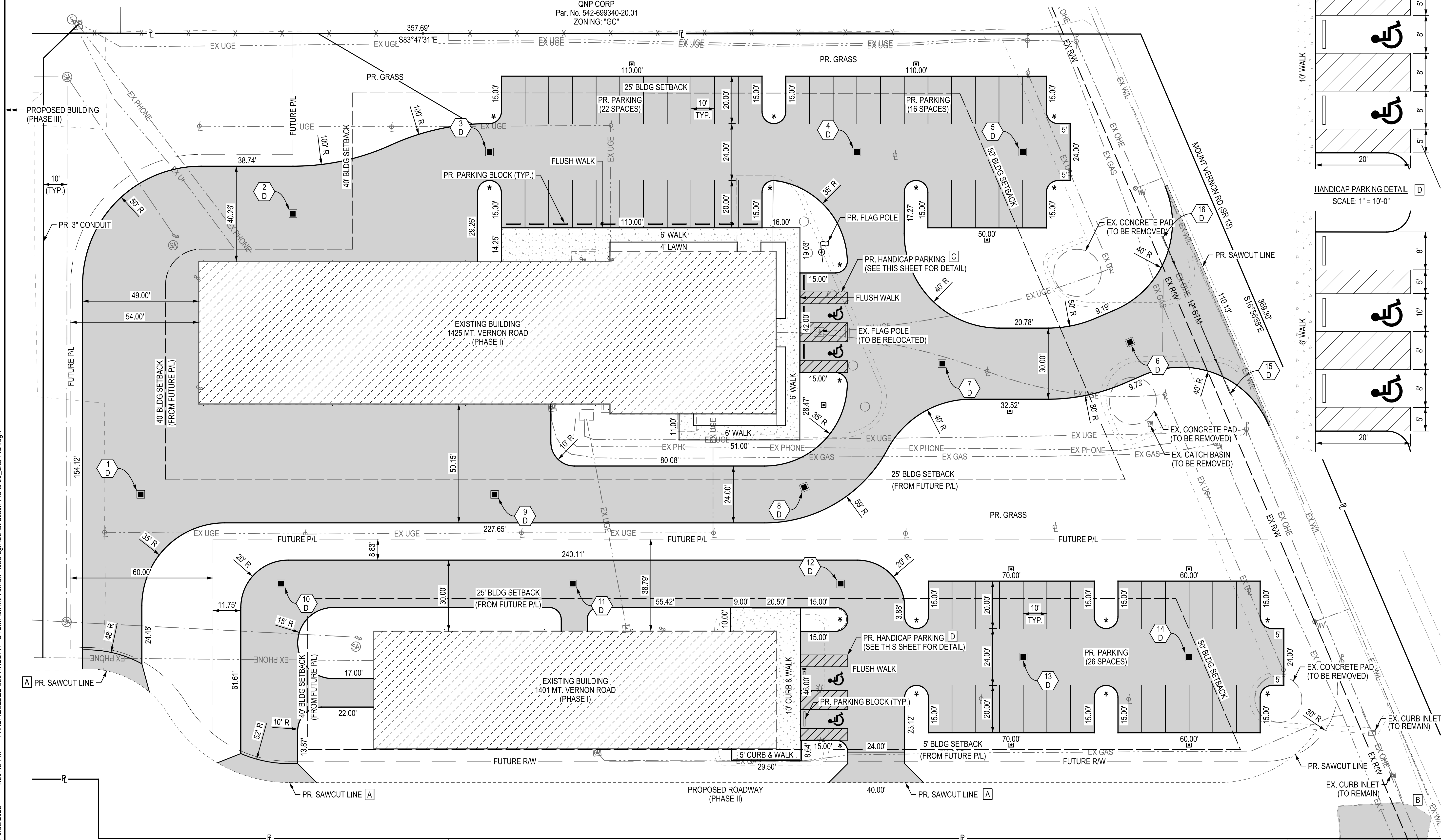
BOUNDARY CURVE TABLE

No.	DELTA	RADIUS	LENGTH	Ch. BEARING	Ch. DISTANCE
C1	02°50'20"	2126.10'	105.34'	N08°47'25"E	105.33'

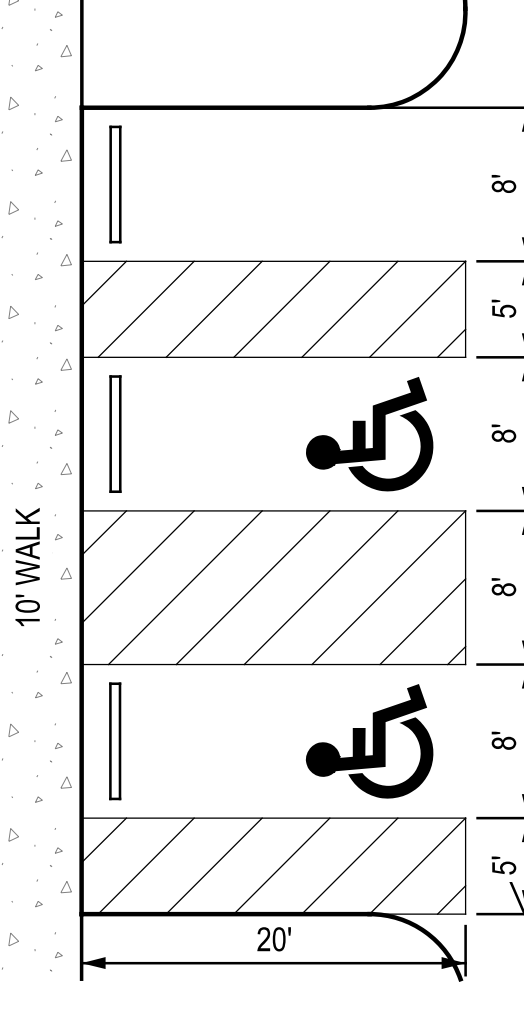
SITE PLAN

SHEET LEGEND	
	ASPHALT PAVEMENT AREA
	STANDARD COMBINED CURB AND WALK AREA
*	= 5' RADIUS
SEE SHEET 3 FOR BUILD UP DETAILS	
[A]	CONTRACTOR TO SAW-CUT AND REMOVE EXISTING PAVEMENT AND INSTALL ASPHALT WEDGE AS NECESSARY TO PROVIDE A SMOOTH TRANSITION.
[B]	CONTRACTOR TO REMOVE EXISTING GRASS ISLAND AND REPLACE WITH ASPHALT PAVEMENT.

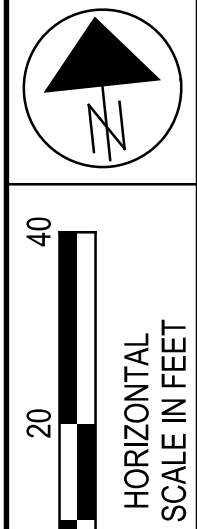
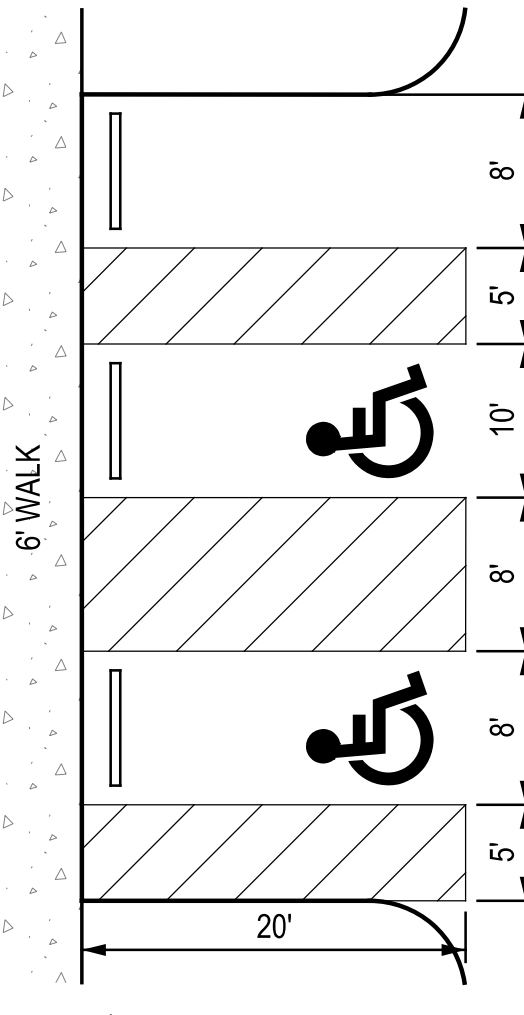
QNP CORP
Par. No. 542-699340-20.01
ZONING: "GC"



HANDICAP PARKING DETAIL [C]
SCALE: 1" = 10'-0"



HANDICAP PARKING DETAIL [D]
SCALE: 1" = 10'-0"



REVISIONS	DATE	BY	CHKD	APP'D

ADP
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SITE PLAN

HNLCPA STEMFLX
DEVELOPMENT PHASE 1
CITY OF NEWARK, OHIO

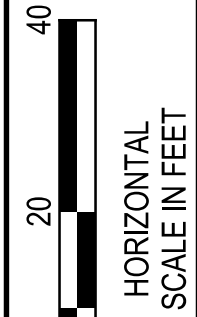
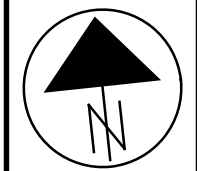
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MAR. 30. 2023
JOB #22-083

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GRADING PLAN



LEGEND:

- 000--- = EXISTING CONTOUR
- 000— = PROPOSED CONTOUR
- x000.00 = PROPOSED SPOT GRADE ELEVATION
- TC=000.00 = TOP OF CURB (TC)
- EP=000.00 = EDGE OF PAVEMENT (EP)
- = FLOOD ROUTING
- ~ = SURFACE FLOW DIRECTION
- = PROPOSED BREAKLINE

DRAWN	CHECKED	REVIEWED
AM	BW	BCK

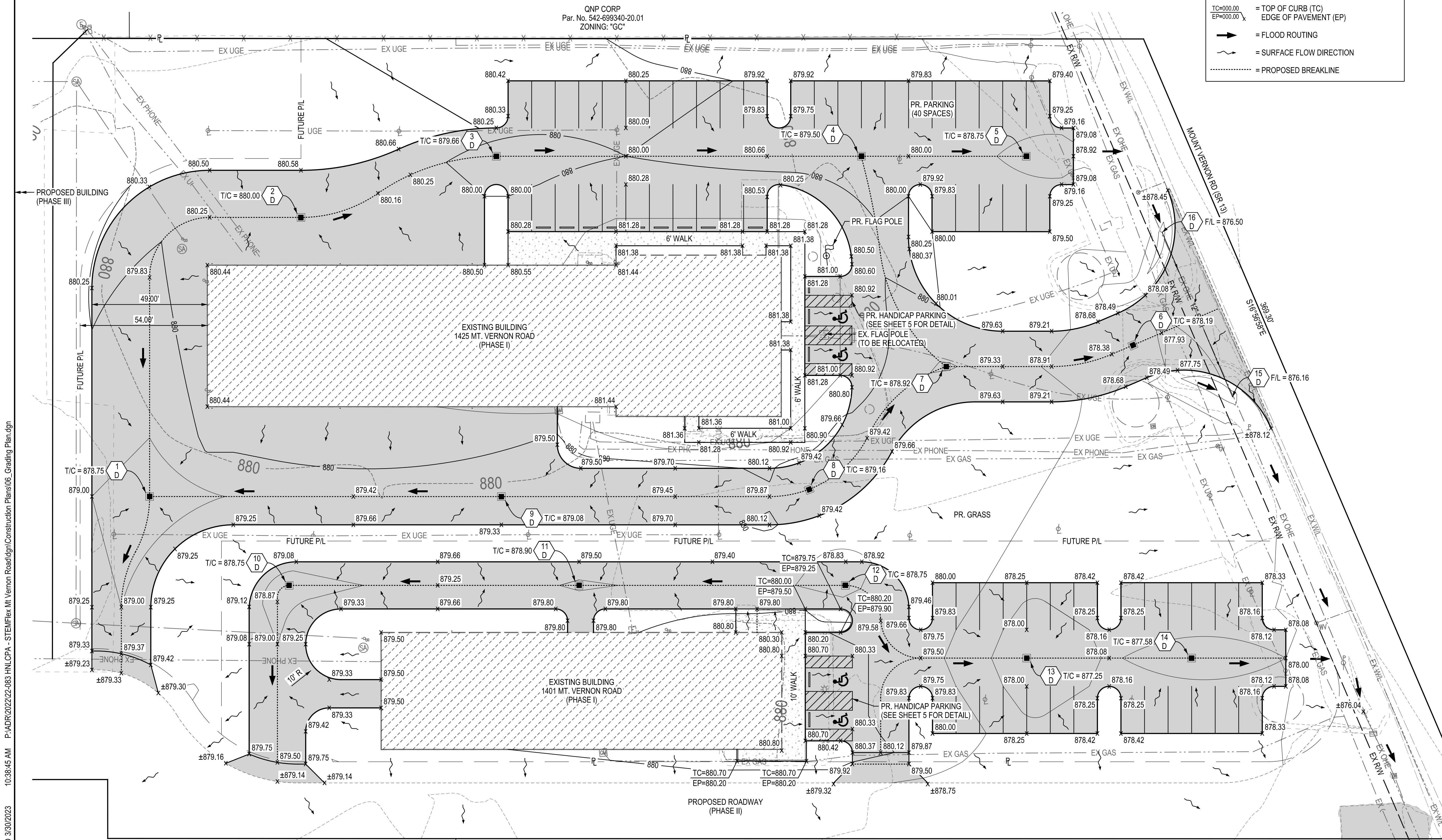


REVISIONS

GRADING PLAN

HNLCPA STEMFLEX DEVELOPMENT PHASE 1 CITY OF NEWARK, OHIO

MAR. 30. 2023
JOB #22-083

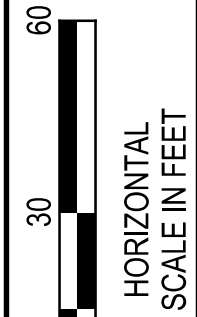


QNP CORP
Par. No. 542-699340-20.01
ZONING: "GC"

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STORMWATER MANAGEMENT DETAILS



HORIZONTAL SCALE IN FEET



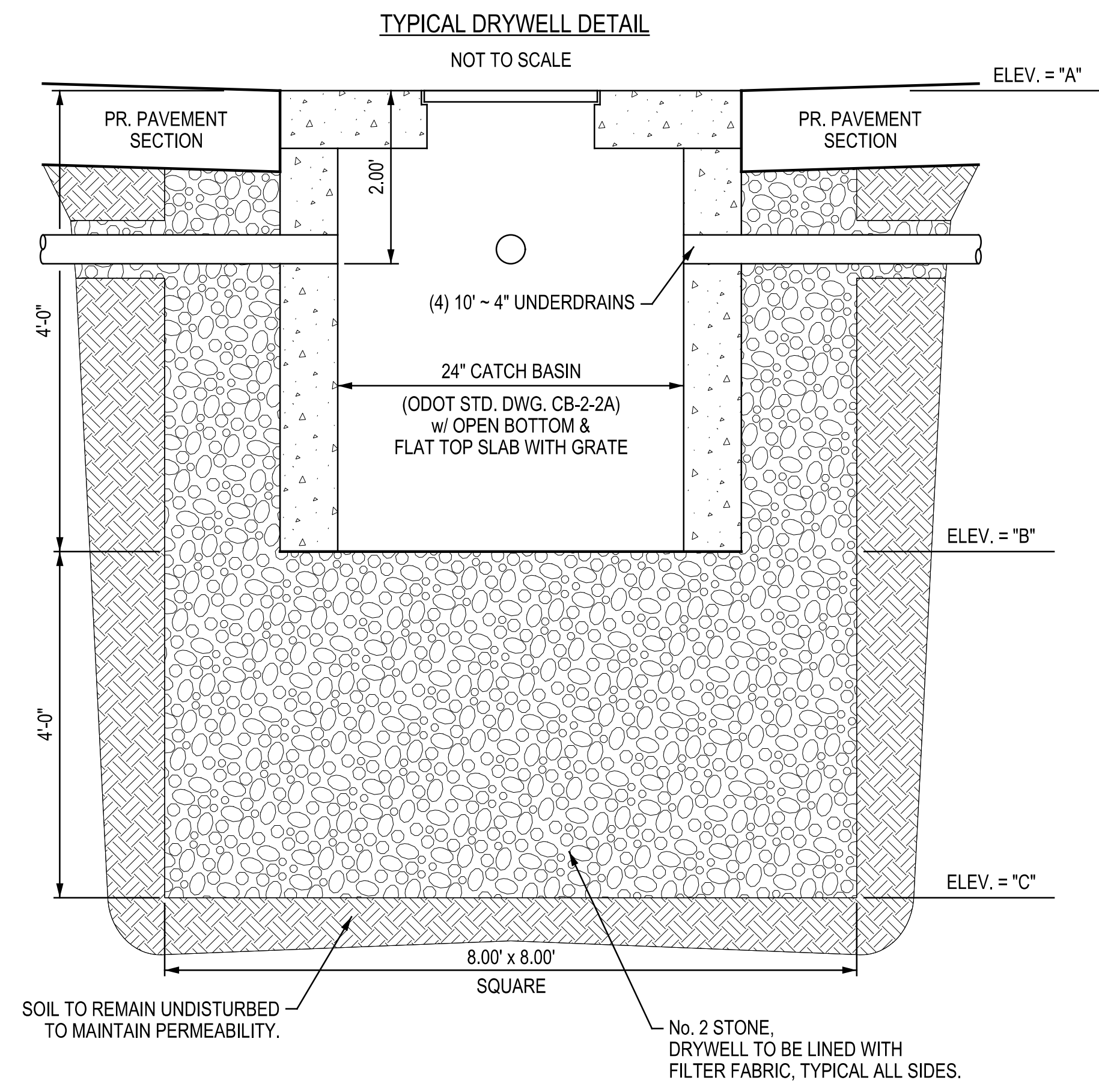
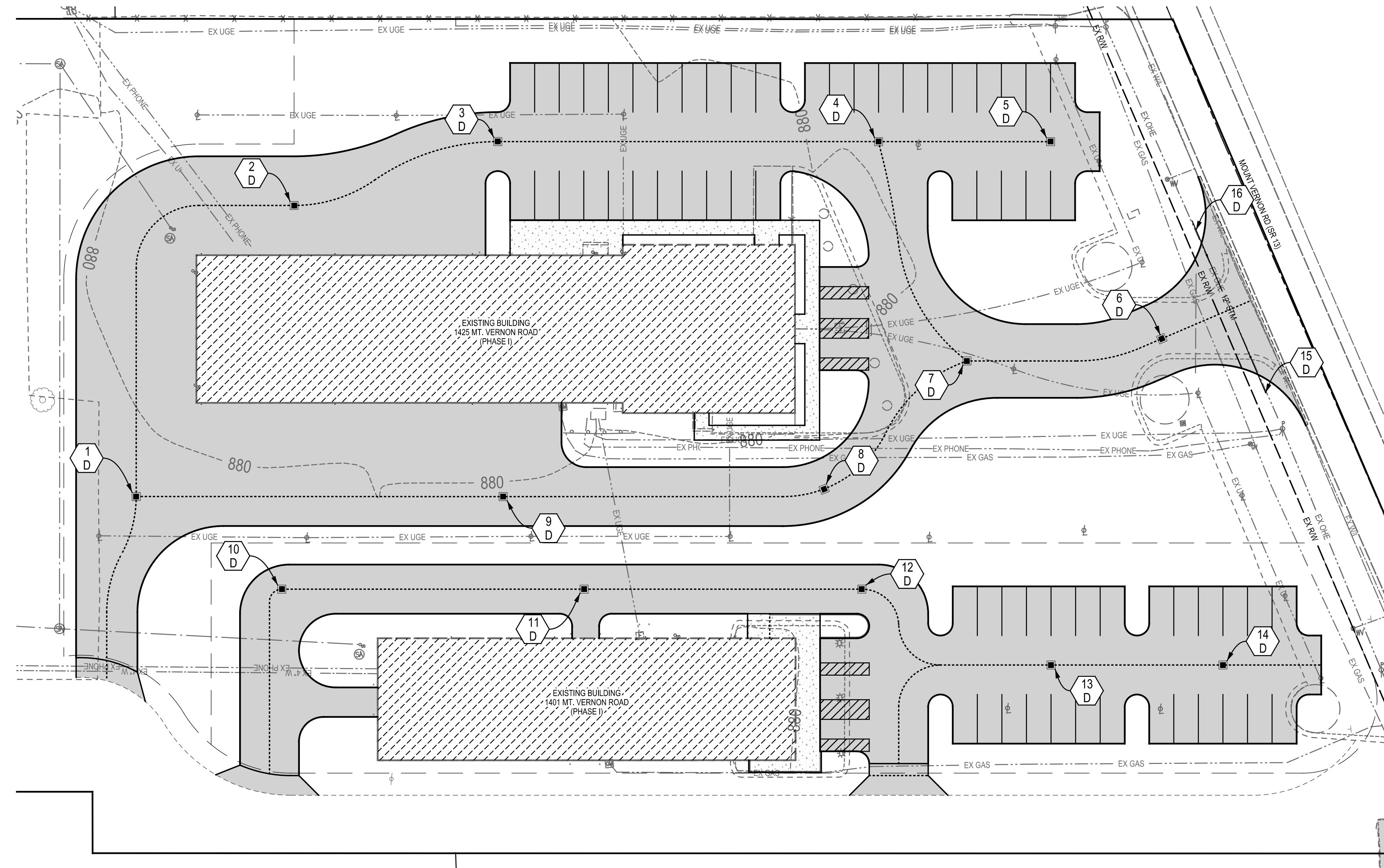
REVISIONS

STORMWATER MANAGEMENT DETAILS

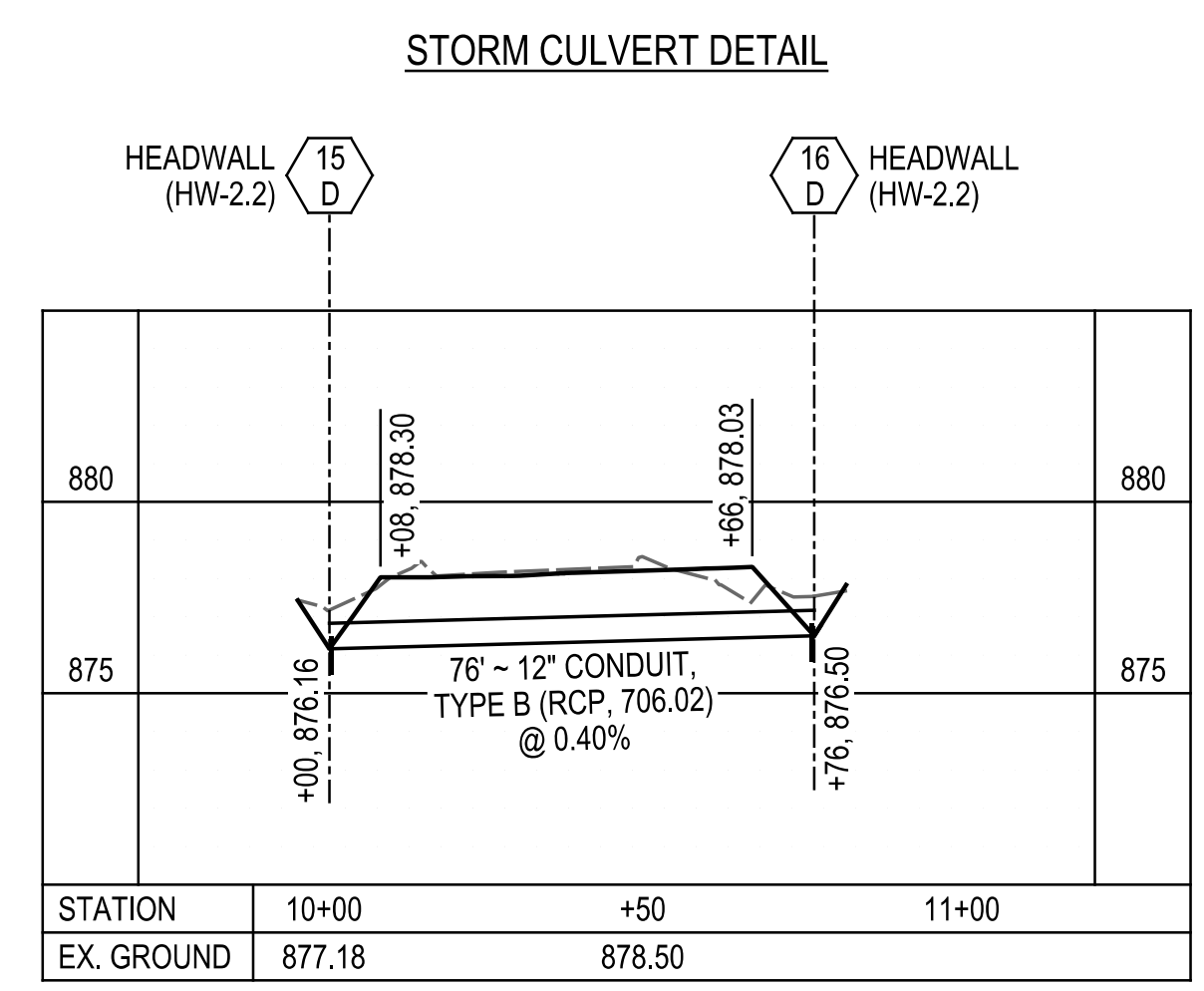
HNLCPA STEMFLX DEVELOPMENT PHASE 1 CITY OF NEWARK, OHIO

MAR. 30, 2023
JOB #22-083

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DRYWELL BASIN ID	FLOOD ROUTING ELEVATION	TOP OF STRUCTURE ("A")	BOTTOM OF MANHOLE ("B")	BOTTOM OF DRYWELL ("C")
1D	879.33	878.75	874.75	870.75
2D	880.25	880.00	876.00	872.00
3D	880.00	879.66	875.66	871.66
4D	879.75	879.50	875.50	871.50
5D	878.92	878.75	874.75	870.75
6D	N/A	878.19	874.19	870.19
7D	879.33	878.92	874.92	870.92
8D	879.42	879.16	875.16	871.16
9D	879.42	879.08	875.08	871.08
10D	879.25	878.75	874.75	870.75
11D	879.25	878.90	874.90	870.90
12D	879.30	878.75	874.75	870.75
13D	878.08	877.25	873.25	869.25
14D	878.00	877.58	873.58	869.58



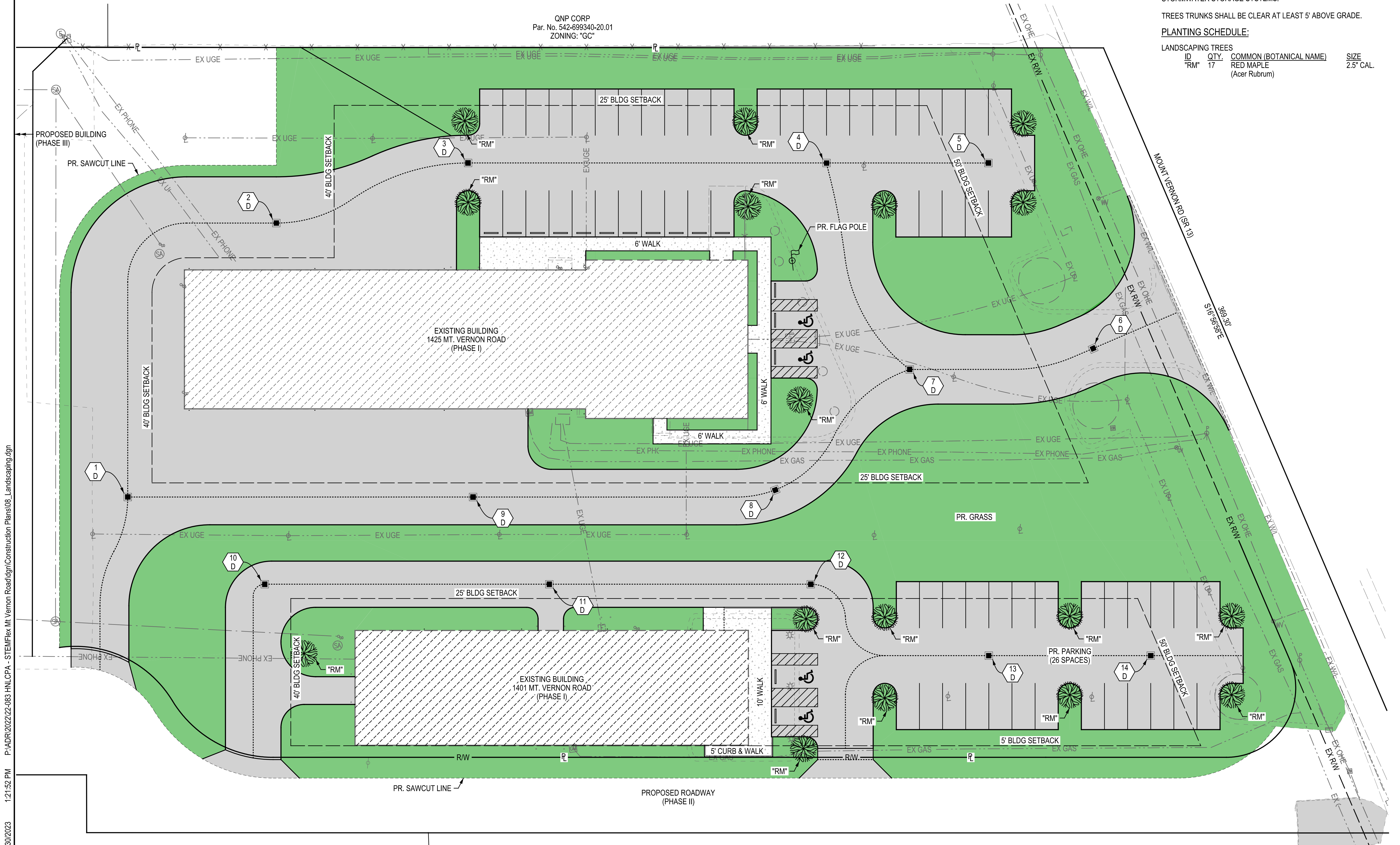
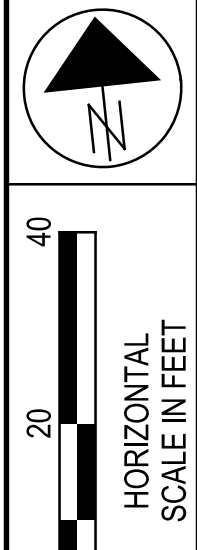
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LANDSCAPING PLAN

QNP CORP
Par. No. 542-899340-20.01
ZONING: "GC"

LANDSCAPING NOTES:
TREES SHALL BE A MINIMUM 2" CALIPER WITH A SHALLOW ROOT SYSTEM TO AVOID IMPACTS TO THE ROOF DRAINS, UNDERDRAINS, & UNDERGROUND STORMWATER STORAGE SYSTEMS.
TREES TRUNKS SHALL BE CLEAR AT LEAST 5' ABOVE GRADE.

PLANTING SCHEDULE:
LANDSCAPING TREES
ID QTY COMMON (BOTANICAL NAME) SIZE
"RM" 17 RED MAPLE (Acer Rubrum) 2.5" CAL.



DRAWN	CHECKED	REVIEWED
A.M.	B.J.W.	B.C.K.



REVISIONS

LANDSCAPING PLAN

HNLCPA STEMFLX DEVELOPMENT PHASE 1 CITY OF NEWARK, OHIO

MAR. 30. 2023
JOB #22-083

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LIGHTING PLAN

LIGHTING NOTES:

- A** ALL EXISTING POLES SHOWN TO BE REMOVED (AND REUSED) SHALL BE PAINTED BLACK. EXISTING HALOGEN LIGHT FIXTURES TO BE REPLACED WITH "MONGOOSE MEDIUM LED" FIXTURES PER THE DETAILS SHOWN. EXISTING POLES TO BE RELOCATED SHALL BE MOUNTED ON NEW FOUNDATIONS AT THE PROPOSED LOCATIONS SHOWN.



MGLEDM Mongoose Medium LED



Catalog Number:	
Name:	Type:

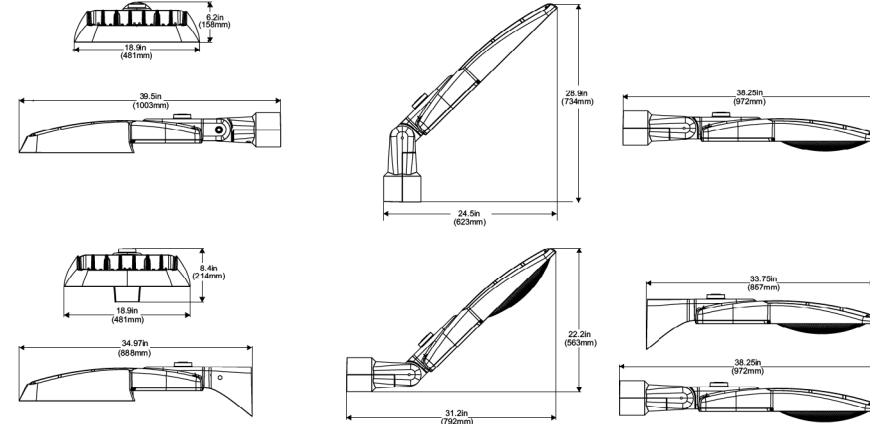
The Mongoose Medium LED street and area lighting product provides significant energy and maintenance savings vs. HID luminaires. It offers the ultimate in application flexibility with a uniquely designed advanced optical system and attractive appearance. This combined with multiple lighting distributions, mounting options and the ability to fit the fixture offers unparalleled performance in a diverse set of applications ranging from interstates and parking lots.

- Mechanical**
- Rugged grade A360 diecast aluminum (<1% copper)
 - Fast access with stainless steel latches
 - Terminal block in arm
 - Regroom 5-stage pretreatment polyester topcoat to ensure maximum durability that achieves a scratch-resistance rating of 8 after 5,000 hours of salt spray
 - Removable "lower tray" facilitates maintenance
 - Corrosion resistant stainless-steel latches ensure secure closure over the long fixture life
 - Horizontal mast arms or vertical tenon (VH) and universal mounting to round and square poles (UH) options
 - Universal mount mates to all major manufacturer's hole patterns
- Electrical**
- Standard surge protection is 200V/700A "Extreme Level" per ANSI C136.2
 - LED light engines are rated > 100,000 at 25°C, 170
 - Electronic driver has an expected life of > 100,000 hours at 25°C
 - Rated for -40°C / 40°F minimum ambient
 - Programmable electronic driver with 0-10V control leads
 - Driver voltage options: 120-277V 50/60 Hz and 347 50/60 Hz and 600V 50/60 Hz
 - Luminaire ships with a 0-10V dimmable driver. Luminaires in continuous and step dimming capable via 40 option or controls installed on P2 photocell receptacle option.
- Optical**
- Performance is comparable to 150-400 watt HPS or 175-1200 watt MH
 - IP66 rated borosilicate glass optics ensure longevity and minimize dirt deposition
 - IP66 rated optics

- Molded Silicone optics: Area (Type S) (AR), Forward Throw (FT), Medium Roadway (MR), Narrow Roadway (NR) and Wide Roadway (WR)
 - Borosilicate glass refractor optics: Area (AG), Forward Throw (FG), Medium Roadway (MG), Narrow Roadway (NG) and Wide Roadway (WG)
 - 3000K, 4000K and 5000K CCT, 70 CRI
 - Optional Light Shield (LS) when used with refractor ensures zero spillage above 90°
 - House side shield (SS), light trespass shield and option available
 - Wire guard kit option available
- Controls**
- 7 pin NEMA photocell receptacle
 - Premium solid-state locking-style photocell (PSS) - 10 year rated life
 - Extreme long life solid state locking-style photocell (EXLL) - 20 year rated life
 - Field adjustable output
 - Adjustable for motion and daylight sensor
 - Programmable motion and daylight sensor
- Certification & Standards**
- CSA certified to US and Canadian standards
 - Suitable for operation in an ambient temperature up to 40°C / 104°F for standard product
 - Designlight Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/ or PLI to confirm which versions are qualified.
- BUY AMERICAN ACT**
- This product is assembled in the USA and meets the Buy American Act. American government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.buyusa.gov/ for additional information.
- Warranty**
- 5 year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty-terms-and-conditions
- Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C.



DIMENSIONAL DATA



Mounting/Option	Tilt	Weight	EPA
VH	0°	35 lbs.	1.64
W with Reflector & US	0°	44 lbs.	1.96
VH	45°	35 lbs.	2.85
W with Reflector & US	45°	44 lbs.	3.74
UH	0°	31 lbs.	1.64
UH with Reflector & US	0°	38 lbs.	1.96

HoloPhane | 3825 Columbus Rd., Granville, OH 43023 | Phone: 866-HOLOPHANE | www.holophane.com
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MGLEDM Mongoose Medium LED

ORDERING INFORMATION

Example: MGLEDM P2 40K MVOLT FT UH GRSD

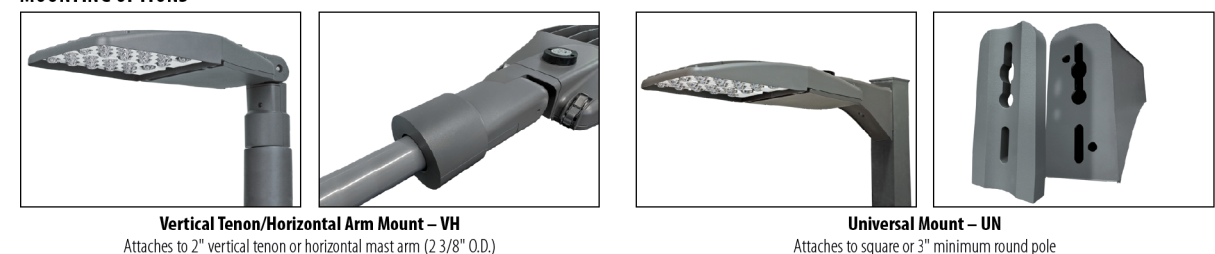
Series	LED performance package	Color temperature	Voltage	Optics
MGLEDM Mongoose Medium	P1 15,400 Lumens	30K 3,000 K CCT	MVDLT Auto-sensing voltage (120 thru 277)	AG Area with Reflector
	P2 19,000 Lumens	40K 4,000 K CCT	347 347 Volt	AR Area
	P3 22,400 Lumens	50K 5,000 K CCT	480 480 Volt	FG Forward Throw with Reflector
	P4 25,800 Lumens			FT Forward Throw
	P5 28,900 Lumens			MG Medium Roadway with Reflector
	P6 31,900 Lumens			MR Medium Roadway
	P7 35,100 Lumens			NR Narrow Roadway with Reflector
	P8 38,000 Lumens			WG Wide Roadway with Reflector
				WR Wide Roadway

Mounting	Super Durable Paint	Options	NEMA Label Options
VH Vertical Tenon/Horizontal Arm	GRSD Witacast Gray	Adjustable/Programmable Options	NET NEMA LABEL
UH Universal (R/L & S/L)	BKSD Witacast Black	AO Field Adjustable Output	
	GNSD Witacast Green	Control Options	NEMA Receptacle Options
	WHSD Witacast White	PCLL UH Extreme Long Life Photocell Photocell for Solid State (20 year rated life)	PRD 7-pin Photocell Receptacle
	BRSD Witacast Bronze	PSS OSS Premium Solid State Photocell for Solid State (10 year rated life)	Shielding Options
	DBSD Witacast Dark Bronze	POC2 Programmable occ. and daylight sensor, for mounting applications up to 20'	US Upright Skirt
		POC1 Programmable occ. and daylight sensor, for mounting applications between 20' & 40'	SS House Side Shield
		RSORH Night Air Dec. and daylight sensor	SH SHIELDING CAP

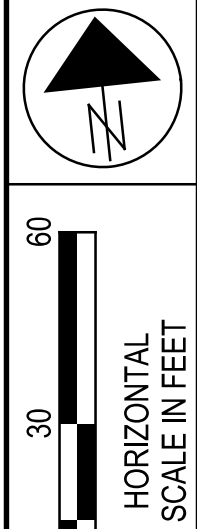
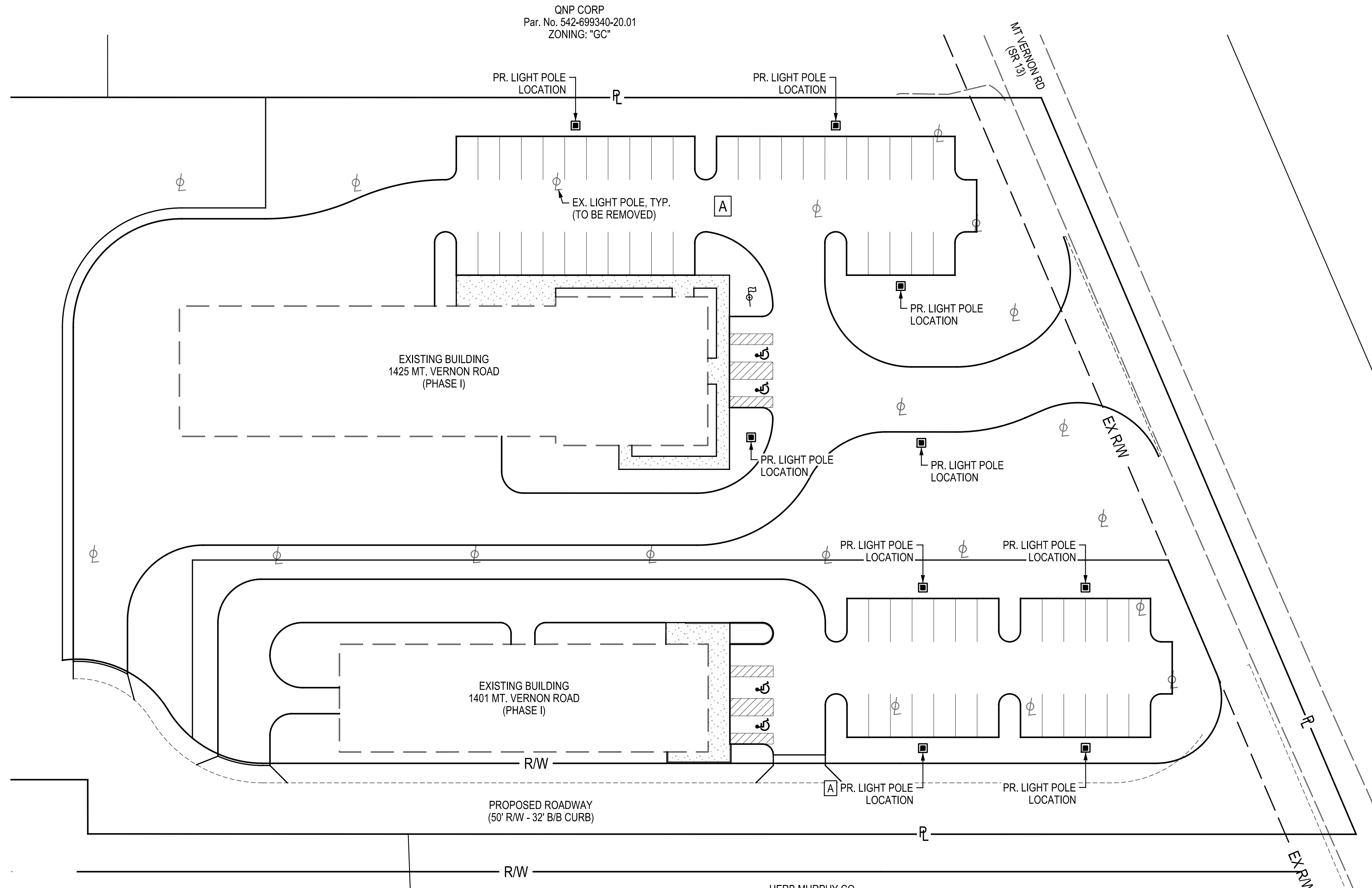
Accessories: Order by separate catalog number.

Wire Guard Kit	MGLEDM WG Mongoose Medium Wire Guard Kit
Light Trough Shield	MGLEDM LTS Mongoose Medium Light Trough Shield
Upright Skirt	MGLEDM US GRSD Mongoose Medium Upright Skirt, Witacast Gray
	MGLEDM US BKSD Mongoose Medium Upright Skirt, Witacast Black
	MGLEDM US GNSD Mongoose Medium Upright Skirt, Witacast Green
	MGLEDM US WHSD Mongoose Medium Upright Skirt, Witacast White
	MGLEDM US BRSD Mongoose Medium Upright Skirt, Witacast Bronze
	MGLEDM US DBSD Mongoose Medium Upright Skirt, Witacast Dark Bronze
House Side Shield	MGLEDM HSS Mongoose Medium House Side Shield

MOUNTING OPTIONS



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HORIZONTAL SCALE IN FEET



DRAWN	AM
CHECKED	BW
REVIEWED	BCB

REVISIONS

LIGHTING PLAN

HNLCPA STEM FLEX DEVELOPMENT CITY OF NEWARK, OHIO

MAR. 30. 2023
JOB #22-083



STORM WATER POLLUTION PREVENTION PLAN

NOTICE OF INTENT		CONTRACTOR SIGNATURES	
OEPA NOI: 4GC09176*AG		CONTRACTOR	DATE
SUBMITTAL DATE: 03/28/2023		SUBCONTRACTOR	DATE
APPROVAL DATE: 03/29/2023			

CONTRACTOR REQUIREMENTS

CONTRACTOR RESPONSIBILITY: DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE MOST RECENT EDITION OF THE S.C.S. MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS." THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM SITE ALONG WITH PROPER MAINTENANCE, AND INSPECTION BY QUALIFIED INSPECTION PERSONNEL IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

- THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE FOLLOWING ITEMS:
1. CONTRACTOR SHALL SUBMIT STORM WATER POLLUTION PREVENTION PLAN TO THE CITY OF NEWARK PRIOR TO CONSTRUCTION.
 2. NOTICE-OF-INTENT (NOI) MUST BE SUBMITTED TO THE OHIO EPA 21 DAYS PRIOR TO CONSTRUCTION.
 3. CO-PERMITTEE NOTICE-OF-INTENT MUST BE SUBMITTED TO THE OHIO EPA PRIOR TO CONSTRUCTION. (SEE BELOW)
 4. NOTICE-OF-TERMINATION (NOT) MUST BE SUBMITTED TO THE OHIO EPA AFTER CONSTRUCTION.
 5. STORMWATER POLLUTION PREVENTION PLAN AND NOI MUST BE POSTED ON SITE AT ALL TIMES.

THE CO-PERMITTEE NOTICE OF INTENT (NOI) APPLICATION FORM IS USED BY OTHER OPERATORS IDENTIFIED BY THE INITIAL PERMITTEE TO REQUEST SHARED COVERAGE UNDER THE NPDES CONSTRUCTION STORM WATER GENERAL PERMIT (CGP). AS DEFINED IN PART VII.O OF THE CGP, AN "OPERATOR" IS ANY PARTY THAT HAS OPERATIONAL CONTROL OVER CONSTRUCTION PLANS AND SPECIFICATIONS OR HAS DAY-TO-DAY OPERATIONAL CONTROL OF THOSE ACTIVITIES AT A PROJECT WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWP3) FOR THE SITE COVERED BY THE CGP. THE APPLICANT MUST CERTIFY THEIR INTENTION TO COMPLY WITH THE CGP WHEN SUBMITTING THE COMPLETED CO-PERMITTEE NOI. THERE IS NO FEE FOR THIS APPLICATION FORM.

CONSTRUCTION SEQUENCING AND NOTES

PRIOR TO GRADING OPERATIONS IN A PARTICULAR AREA, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER.

IT MAY BECOME NECESSARY TO REMOVE PORTIONS OF THE BARRIER DURING CONSTRUCTION TO FACILITATE THE GRADING OPERATION IN CERTAIN AREAS. HOWEVER, THE BARRIER SHALL BE IN PLACE IN THE EVENING OR DURING ANY INCLEMENT WEATHER.

CONTRACTOR SHALL PLACE A STABILIZED CONSTRUCTION ENTRANCE AT THE BEST LOCATION TO PREVENT SEDIMENT FROM BEING TRACKED FROM SITE. USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT, AT A 6" MINIMUM THICKNESS. THE ENTRANCE SHALL MEET THE DIMENSIONS SHOWN IN THE DETAIL IN THIS PLAN. EQUIPMENT WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

THE CONTRACTOR SHALL PLACE INLET PROTECTION FOR THE EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF THE CATCH BASINS OR INLETS.

THE CONTRACTOR SHALL MAINTAIN AND REPLACE THE BMPs AS NEEDED TO KEEP THEM OPERATING IN PROPER FUNCTION. ALL SILT SHALL BE REMOVED ONCE IT HAS ACCUMULATED TO 1/2 THE HEIGHT OF THE PERIMETER CONTROL FENCE, OR IF IT COVERS ANY PORTION OF THE INLET PROTECTION.

ALL CONTROLS SHALL BE INSPECTED EVERY 7 DAYS, AND AFTER EACH 1/2" RAINFALL EVENT.

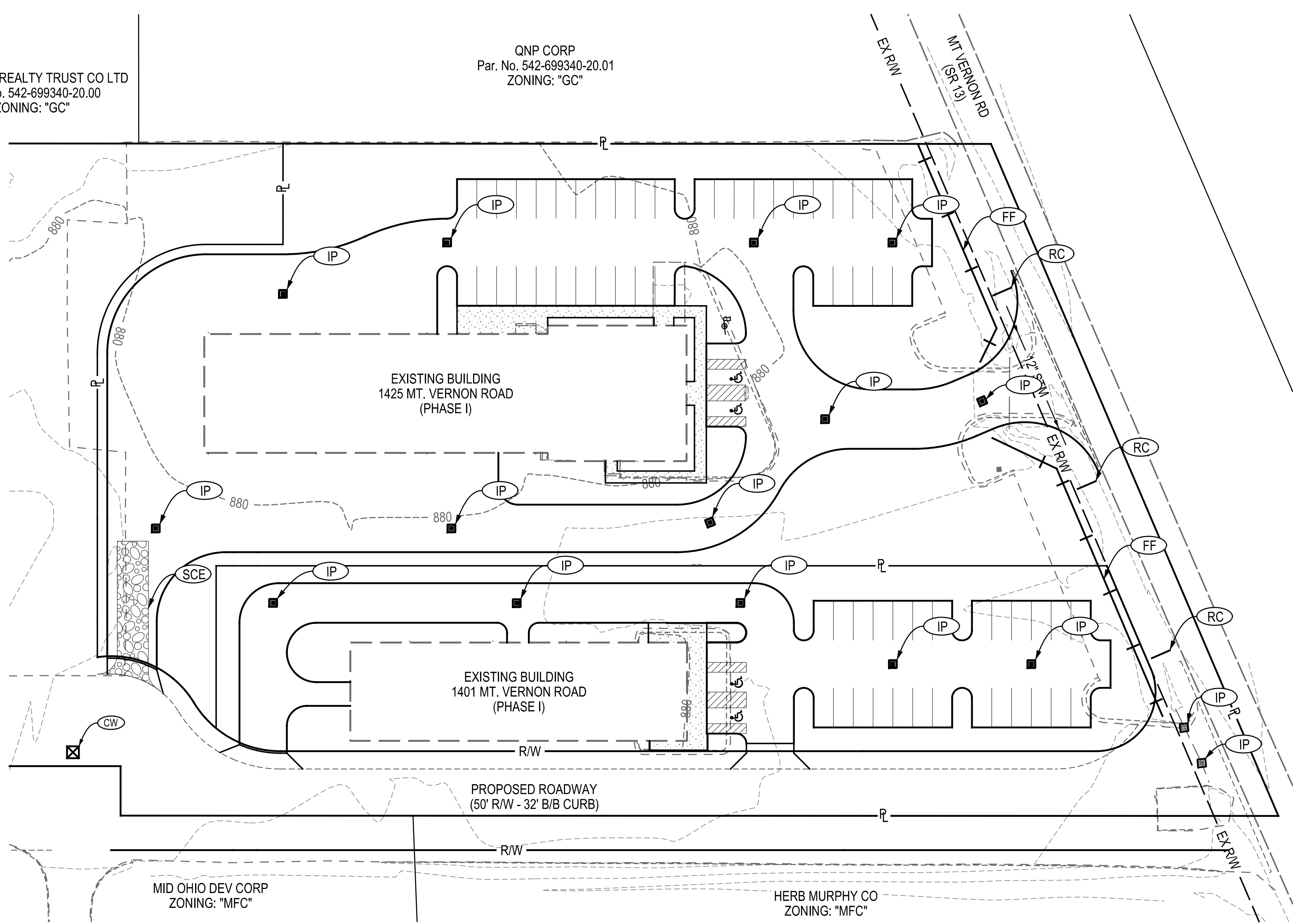
ALL CONTROLS WILL REMAIN IN PLACE FOR ALL AREAS REMAINING DISTURBED FOR 14 DAYS, AND UNTIL 70% VEGETATION HAS BEEN ACHIEVED.

THE CONTRACTOR SHALL MAINTAIN ALL OFF-SITE RUNOFF THRU THE SITE AND/OR STORMWATER MANAGEMENT BASIN. BYPASS PUMPING, DIVERSION CHANNELS/BERMS, PIPING, ETC. SHALL MEET ALL EROSION CONTROLS REQUIREMENTS DESCRIBED ON THIS PLAN.

- CONTROL IMPLEMENTATION SCHEDULE:**
1. THE CONTRACTOR SHALL PLACE SEDIMENT FENCE AND STABILIZED CONSTRUCTION ENTRANCE PRIOR TO ANY CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE DETAILS OF THIS PLAN.
 2. UPON COMPLETION OF SITE CLEARING, THE CONTRACTOR SHALL PLACE SEED AND/OR EROSION CONTROL BLANKETS AS NECESSARY TO ELIMINATE SEDIMENT RUNOFF.
 3. THE CONTRACTOR SHALL PLACE SEEDING AND MULCHING AS NECESSARY TO RE-ESTABLISH ALL DENUDED AREAS.
 4. THE CONTRACTOR SHALL PROPERLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION OPERATIONS.
 5. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EROSION CONTROL DEVICES, ONLY AFTER ALL AREAS HAVE BEEN SEEDED/MULCHED AND 70% STABILIZED.
 6. AFTER REMOVAL OF THE EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN ALL EXISTING INLETS AND STORM SEWER PIPES AND ROCK CHANNEL PROTECTION OF ALL SEDIMENT & DEBRIS INCURRED DURING CONSTRUCTION.

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Par. No. 542-699340-20.00
ZONING: "GC"

QNP CORP
Par. No. 542-699340-20.01
ZONING: "GC"

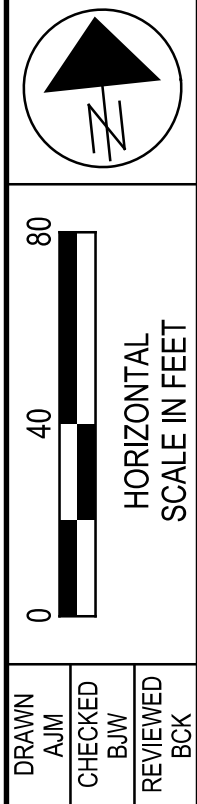


SHEET LEGEND

CONCRETE WASHOUT	FILTER FENCE
STABILIZED CONSTRUCTION ENTRANCE	INLET PROTECTION
	ROCK CHECK

SEE NEXT SHEET FOR CONTROL DETAILS.

EROSION CONTROL MODIFICATION LOG		
NO.	DESCRIPTION	DATE



REVISIONS

NO.	DATE	DESCRIPTION

STORM WATER POLLUTION PREVENTION PLAN

HNLCPA STEMFLX DEVELOPMENT PHASE 1 CITY OF NEWARK, OHIO

MAR. 30. 2023
JOB #22-083



PRINTED 3/30/2023 10:34:12 AM P:\ADR\2022\22-083_HNLCPA - STEMFLX Mt Vernon Road\gdm\Construction Plans\10-11_SWPPP.dgn

STORM WATER POLLUTION PREVENTION PLAN

PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION:	TIME FRAME TO APPLY EROSION CONTROLS:
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A STREAM AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

TEMPORARY STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION:	TIME FRAME TO APPLY EROSION CONTROLS:
ANY DISTURBED AREAS WITHIN 50 FEET OF A STREAM AND NOT AT FINAL GRADE	WITHIN 2 DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN 1 YEAR, AND NOT WITHIN 50 FEET OF A STREAM	WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST 7 DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S)
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER

SEEDING AND MULCHING

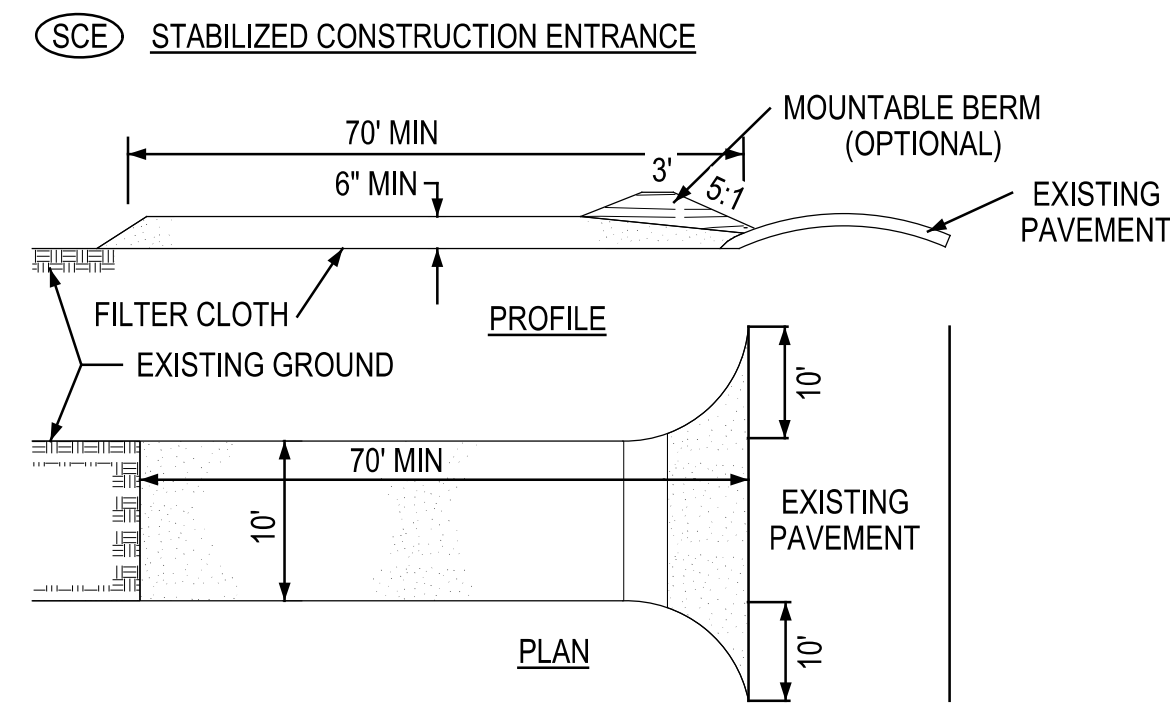
SPECIFICATIONS FOR SEEDING AND MULCHING			
SEED TYPE	SEEDING DATES	PER 1000 SQ FT	PER ACRE
TALL FESCUE AND ANNUAL RYEGRASS	MARCH 1	2 POUNDS AND 1/2 POUND	90 POUNDS AND 20 POUNDS
SMALL GRAIN STRAW MULCH	TO	100 POUNDS OR 2 TO 3 BALES	2 TONS OR 50 BALES
FERTILIZER	SEPTEMBER 15	25 POUNDS OF 12-12-12 OR THE EQUIVALENT	1000 POUNDS OF 12-12-12 OR THE EQUIVALENT
TEMPORARY SEEDING			
KY 31 AND ANNUAL RYEGRASS	MARCH 1 TO SEPTEMBER 15	1 POUND	40 POUNDS AND 20 POUNDS
RYE OR WHEAT	SEPTEMBER 15 TO OCTOBER 30	3 POUNDS	2 BUSHELS
SOIL PROTECTION			
SMALL GRAIN STRAW MULCH	OCTOBER 30 TO MARCH 1	2 TO 3 BALES	3 TONS

POST CONSTRUCTION BMP(S)

AS REQUIRED IN THE OHIO EPA GENERAL CONSTRUCTION PERMIT, THE LAND OWNER MUST PROVIDE SOME FORM OF A POST CONSTRUCTION WATER QUALITY BEST MANAGEMENT PRACTICE (BMP) FOR THE DEVELOPED SITE. THE TABLE BELOW DESCRIBES THE BMP(S) FOR THIS SITE, ALONG WITH THE INSPECTION AND MAINTENANCE FREQUENCY REQUIREMENTS. BY SIGNING THE NOI, AS THE OWNER, FOR THE GENERAL CONSTRUCTION PERMIT, YOU ARE IN AGREEMENT WITH THE OPERATION AND MAINTENANCE OF THE BMP(S) FOR THE SITE FOR AS LONG AS OWNERSHIP IS MAINTAINED.

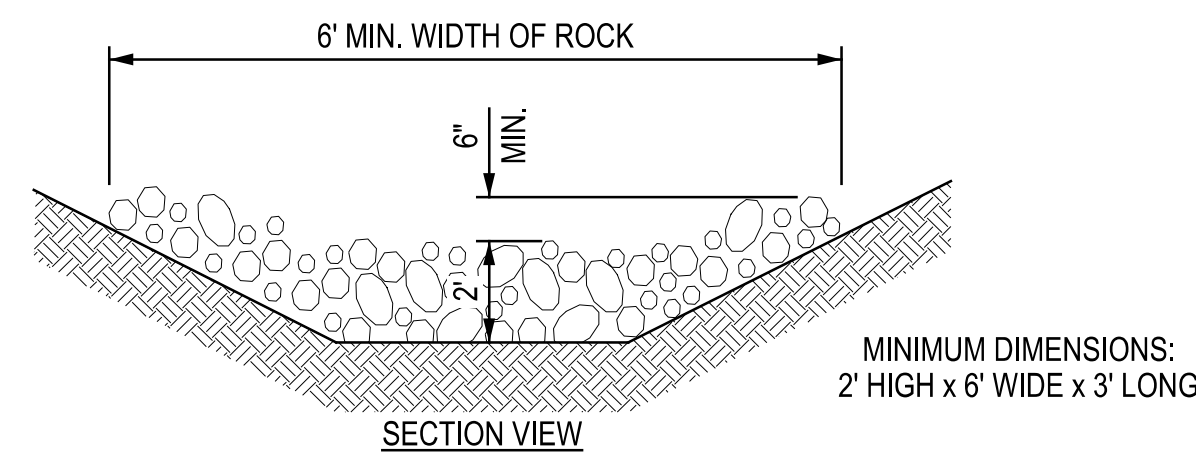
ALL POLLUTANTS COLLECTED WITHIN STRUCTURAL POST-CONSTRUCTION PRACTICES SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

POST CONSTRUCTION BMP OPERATION AND MAINTENANCE PLAN		
BMP TYPE	MAINTENANCE REQUIREMENTS	FREQUENCY
DRY WELL BASIN	CHECK AND REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM DRYWELL STRUCTURES.	EVERY 6 MONTHS
	GRAVEL BED SHOULD BE VACUUM CLEANED, AND GRAVEL REPLACED (AS NECESSARY)	



- CONSTRUCTION SPECIFICATIONS**
- LOCATION- CONTRACTOR SHALL PLACE SCE AT THE BEST LOCATION TO PREVENT SEDIMENT FROM BEING TRACKED FROM SITE.
 - STONE SIZE- USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH- AS REQUIRED (70' MIN.).
 - THICKNESS- NOT LESS THAN SIX (6) INCHES.
 - WIDTH- TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH- WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
 - SURFACE WATER- ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
 - WASHING- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

RC ROCK CHECK



CHANNEL FLOW APPLICATIONS: ROCK CHECK SHALL BE PLACED PERPENDICULAR TO THE CONTOUR.

MATERIALS: FURNISH MATERIAL CONFORMING TO ITEM 601 - ROCK CHANNEL PROTECTION, TYPE C OR D, WITHOUT FILTER.

CLOSE ATTENTION SHALL BE PAID TO THE UNDERCUTTING.

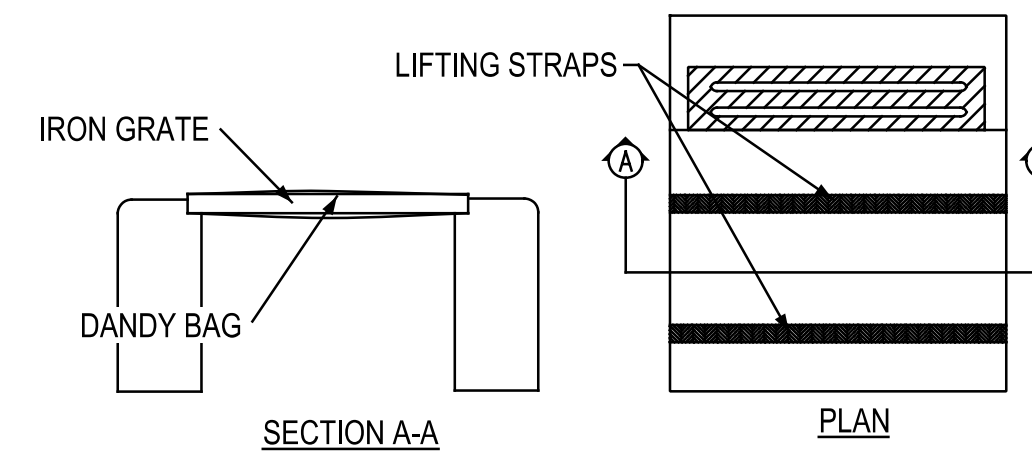
SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE DITCH CHECK IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

MAINTENANCE: ROCK CHECK SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

CONTROL SHOWN SHALL MEET THE SPECIFICATIONS OF O.D.O.T. STD. DWG. DM-4.4

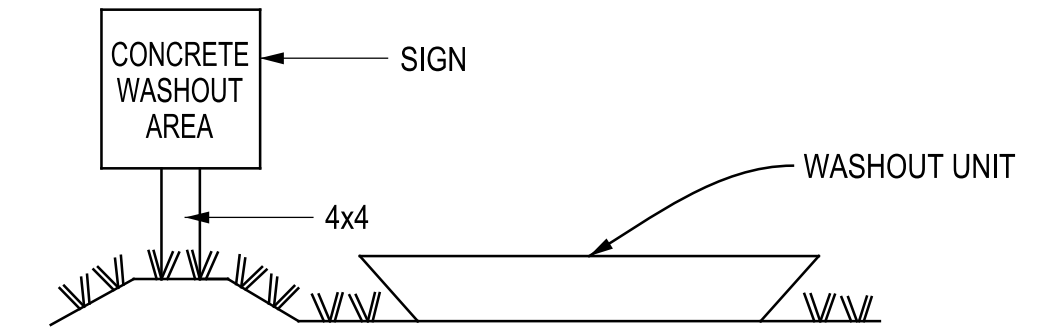
IP INLET PROTECTION



INSTALLATION: STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. ROLL GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF DANDY BAG IS VISIBLE.

MAINTENANCE: REMOVE DRIED SEDIMENT FROM SURFACE OF UNIT AS NEEDED WITH STIFF BROOM OR SQUARE POINT SHOVEL. REMOVE FINE MATERIAL FROM INSIDE ENVELOPE AS NEEDED.

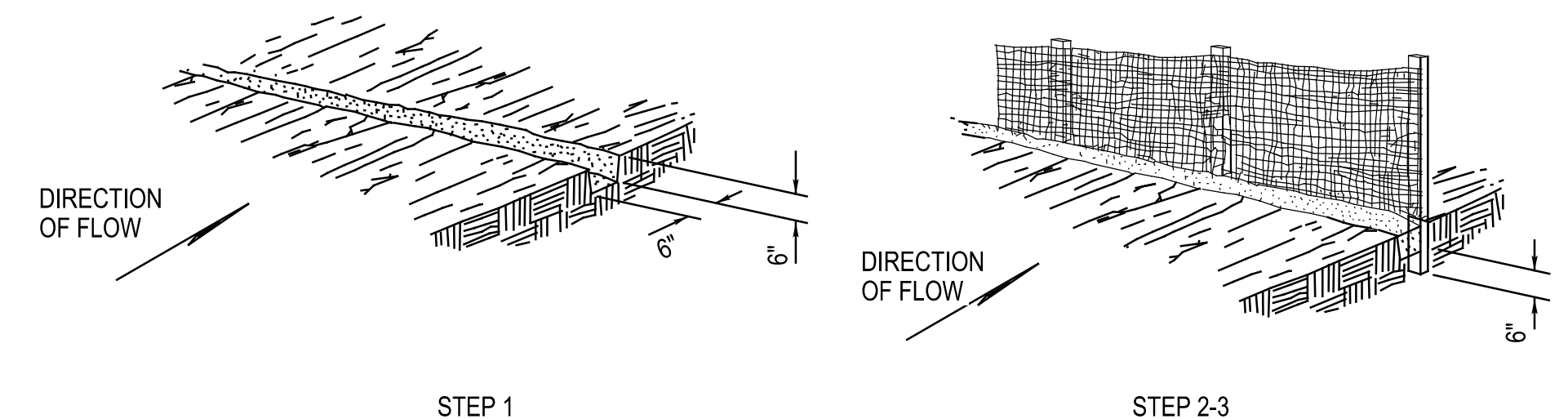
CW CONCRETE WASHOUT



CONSTRUCTION SPECIFICATIONS: ALL CONCRETE WASHOUT CONTAINERS SHALL BE PLACED AT LEAST 100' FROM ANY STORM SEWER INLET POINT, OR ANY BODY OF WATER TO AVOID AN ACCIDENTAL RELEASE CAUSED BY A SPILL. ALL WASHOUT LOCATIONS SHALL BE DESIGNATED BY SIGN SEEN HERE ON THIS DETAIL.

CONCRETE WASHOUTS SHALL BE AT A MINIMUM A SELF CONTAINED UNIT THAT WILL NOT ALLOW CONCRETE WASH WATER TO ABSORB INTO THE GROUND. THE CONTAINER SHOULD HAVE SUFFICIENT CAPACITY SUCH THAT IT WILL NOT OVERFLOW AND CAUSE A SPILL. ALL WASTE SHALL BE TAKEN TO LANDFILL DESIGNATED FOR CONSTRUCTION DEBRIS, AS NEEDED, TO PREVENT OVERFLOWS AND SPILLS.

FF PERIMETER FILTER FABRIC FENCE



- EXCAVATE A 6"x6" TRENCH ALONG THE PROPOSED FENCE LINE.

- BACKFILL AND COMPACT THE EXCAVATED SOIL.
- PLACE FABRIC AND SUPPORT STAKES AND EXTEND FABRIC INTO THE TRENCH.

MATERIALS: FURNISH 30" WIDE FILTER FABRIC WITH SOUND WOOD SUPPORTS WITH MAXIMUM ON-CENTER SPACING OF 10'. USE FILTER FABRIC CONFORMING TO T12.09 TYPE C.



PROPOSED BUILDING
PHASE III
48,250 SQ. FT.
(200' x 250')

EXISTING BUILDING
PHASE I
15,230 SQ. FT.
(245' x 60')

EXISTING BUILDING
PHASE I
8,500 SQ. FT.
(170' x 50')

PROPOSED ROADWAY
PHASE II

NORTH 21ST STREET

MT VERNON RD (SR 13)

EX RW

EX RW

EX RW

EX RW



City of Newark
Zoning Application

Reference # Z-2023-0031

Date Entered: 2/8/2023 4:25:00 PM

Property Details

Property Address: 1401 MT VERNON RD, NEWARK, OH 43055

Auditor's Parcel # 5426993400003

Property Type: Business/Commercial

Zone: LI

Flood Hazard Area? Not Applicable **Flood Zone:** X

Board of Zoning Appeals (BZA) variance granted for this project? No

If Yes, BZA Application #

BZA Date:

Property Owner's Details

Complete Name: HEATH-NEWARK-LICKING COUNTY PORT AUTHORITY

Address: 851 IRVING WICK DRIVE WEST, HEATH, OH 43056

Phone # (740) 334-3800

Email: jvermaaten@hnlcpa.com

Applicant's Details

Is the applicant the owner? Yes

Name: HEATH-NEWARK-LICKING COUNTY PORT AUTHORITY c/o John Vermaaten

Address: 851 IRVING WICK DRIVE WEST, HEATH, OH 43056, OH 43056

Phone # (740) 788-5500

Email: jvermaaten@hnlcpa.com

Contractor's Details

Is the contractor the applicant? No

Name: TBD

Address: , ,

Phone #

Email:

Architect's Details

Name: Greg Cotterman - JBA

Address: , , OH

Phone # (740) 366-3391
Email: glcotterman@jbapc.net

Engineer's Details

Name: ADR & Associates - Brian Wood
Address: 88 W Church Street Newark OH 43055
Phone # (740) 207-7274
Email: bwood@adrinnovation.com

Project Details

Nature of Project: Alteration
Last or present Occupancy or Use: Auto Dealership
Proposed Occupancy or Use: Research & Product Dev.
Description of Project: The proposed three-phased development includes the renovation and site improvements to former auto dealership located at 1401-1425 Mt Vernon Road as part of the initial phase to be used as Flex Space for warehousing, research, product development, etc.. The second phase would include the construction of public roadway along the southerly property line which would ultimately serve a new 48,250+/- square foot building to be constructed as part of phase three.

Project Floor Area

Basement (excluding garage)	
First Floor (excluding garage)	71930
Floor 2, 3, 4, etc.	
Total Project Floor Area	71930.00

Attachments

Site Plans showing the location and uses of all existing buildings as well as any new construction covered under this Certificate Application.

Residential properties: 2 physical copies of the Site Plan are required.
Business/Commercial properties: 1 physical copy of the Site Plan and 1 digital copy of the Site Plan are required.

Fee

Application Fee	\$22.50
Project Fee	\$450.00
Total Structure Fee	\$472.50

Acknowledgement

I understand that no excavation, construction, or structural alteration, electrical or mechanical installation or alteration of any building, structure, sign, or part thereof and no use of the above shall be undertaken or performed until the certificate applied for herein has been approved and issued by the City of Newark. Property pins must be present prior to inspection.

I HEREBY ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE ABOVE LISTED INSTRUCTIONS.



BR-TBZ-23-01
(District Revision #)

CITY OF NEWARK
ENGINEERING & ZONING

c/o Engineering Department

40 West Main Street | Newark, Ohio 43055 | Tel 740.670.7727 | Fax 740.349.5911 | www.newarkohio.net

Temporary Board of Zoning District Revision Application

Date:	3/9/23
Property Address:	1031 Buckeye Avenue

Please attach the applicable portion of the Zoning Map and identify the property


Zoning District prior to Ordinance 08-33 (adopted 5/4/2009):	
Present Zoning District:	Proposed Zoning District:
CSI	R-M

Present Use: <input type="checkbox"/> Vacant Land <input type="checkbox"/> Vacant Building <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial (specify): <input type="checkbox"/> Industrial (specify): <input type="checkbox"/> Other (specify):	Proposed Use: <input type="checkbox"/> Vacant Land <input type="checkbox"/> Vacant Building <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial (specify): <input type="checkbox"/> Industrial (specify): <input type="checkbox"/> Other (specify):
--	---

Please attach a detailed description of the reason for the requested District Revision

Property Owner:	
Name:	32-34 S. 30 th St. LLC
Address:	675 Country Club Drive A-3
Phone Number:	710-973-3020
Email Address:	scott.sayers55@yahoo.com

Applicant:	
Name:	Scott Sayers
Address:	same as above
Phone Number:	
Email Address:	

Signature:  Date: 3/9/23

If you are not the Owner, you must provide a signed and notarized statement from the Owner, giving you permission to represent them in the above request.

For Office Use Only

RESPONSE TO REQUEST FOR ZONING REVISION

Date:
To: (applicant)
Regarding Property Address:

BOARD OF REVISION RESPONSE

Meeting Date: _____

On this meeting date, the Board of Revision _____ with
(agreed/disagreed)

your request and therefore _____ recommend to the Planning
(will/will not)

Commission that your property be zoned _____.

Chairman Date

PLANNING COMMISSION RESPONSE

Meeting Date: _____

On this meeting date, the Planning Commission voted to _____
(affirm/not affirm)

the recommendation of the Board of Revision and therefore your Zoning District
_____ be revised.
(will/will not)

Planning Commission Director Date

The zoning of your property will:

- Remain _____
- Be changed to _____

If you have questions regarding this form, please contact the Engineering Office at (740) 670-7727.

Cc: Zoning, Service Director



1031 Buckeye Ave



March 13, 2023

- Street Number Only
 - Sales - 2023
 - Sales - 2022
- N
W E
S

Centerline Labels

 - ▬ Interstate/US/State Route

Owner Name & Acres

 - ▬ County road 0 47 Feet
 - ▬ Township road 0.01 Miles
 - ▬ Other Road Type

- ▬ Driveway
 - ▬ Interstates
 - ▬ Municipal Corporations
- Licking County Auditor GIS

LICKING COUNTY TAX MAP

FIND YOUR PARCEL

Owner

Trouble Searching?



054-220722-00.000
32-34 S. 30TH ST LLC
1031 BUCKEYE AVE
NEWARK, OH 43055

Acres: 0.31
LOT 8512 G ALFRED
KREBS 4TH ADD

Land: \$37,700
Improv: \$144,800
Total: \$182,500

Transfer Date: 12/07/2022
Amount: \$415,000
Conveyance: 4446
Valid Sale: No

Homestead: No
Owner Occ: No

Foreclosure: No
Certified Delq: **2021**
On Contract: No
Bankruptcy: No
Tax Lien: No

BUCKEYE AVE

1031

1019

32.34 S.
30TH ST LLC
0.31

CONLEY
CORY T
0.32

6/6/2022

KILLWORTH
TYLER C
0.21

SN 145,000 (2)

SN OW DUANE &
BRENDA

POWERED BY
esri



FIND YOUR PARCEL

Owner

Trouble Searching?

054-186428-00.000
32-34 S. 30TH ST LLC
 50 S 30TH ST
 NEWARK, OH 43055

Acres: 1.03
 1.03 AC R12 T2 Q3

Land: \$128,800
 Improv: \$671,100
 Total: \$799,900

Transfer Date: 12/07/2022
 Amount: \$415,000
 Conveyance: 4446
 Valid Sale: Yes

Homestead: No
 Owner Occ: No

Foreclosure: No
 Certified Delq: No
 On Contract: No
 Bankruptcy: No
 Tax Lien: No