

PLANNING COMMISSION MEETING
TUESDAY, January 10, 2023 6:00 P.M.
Council Chambers
40 W MAIN ST, NEWARK, OH 43055

AGENDA

1. CALL TO ORDER
2. APPROVAL OF MINUTES FOR THE November 15, 2022 PLANNING COMMISSION MEETING

OLD BUSINESS

There is none this meeting

NEW BUSINESS

3. **SITE PLAN REVIEW FOR 299 W. LOCUST - STORAGE BARN**
Application Number : PC-22-59
Owner: Brian Shriver, 454 Earl Dr. Newark, Oh 43055
Applicant: Brian Shriver, 454 Earl Dr. Newark, Oh 43055
4. **SITE PLAN REVIEW FOR 1851 TAMARACK RD.- COMMERCIAL ADDITION**
Application Number : PC-22-58
Owner: FOUR M Manufacturing Group Inc., P.O. Box 2118, Memphis, Tn. 38101
Applicant: Michael lee, 12 Sunnen Dr., St. Louis. Mo. 63143
5. **SITE PLAN REVIEW FOR 1701 TAMARACK RD. - COMMERCIAL ADDITION**
Application Number : PC-22-60
Owner: Kroger Co., 1014 Vine Street, FL 7, Cincinnati, Oh 45202
Applicant: Brook Schroeder, 7614 Opportunity Dr., Ft. Wayne, In. 46825
6. **DEDICATION OF RIGHT OF WAY SOUTH 11TH STREET AND W.MAIN STREET**
Application Number: PC-23-03

MISCELLANEOUS – ADMINISTRATIVE APPROVALS

THE NEXT SCHEDULED PLANNING COMMISSION MEETING WILL BE HELD ON TUESDAY, FEBRUARY 14, 2023, 6:00 P.M. THE DEADLINE FOR AGENDA ITEM SUBMITTAL IS TUESDAY JANUARY 17, 2023 4:30 P.M.

Accessory Structure Application

Newark
40 W Main Street
Newark, OH 43055
(740) 670-7727
www.newarkohio.net

Reference #: ASP-2022-00321
Date: 12/19/2022 1:36:00 PM

Project Details

Address: 299 W. LOCUST ST Parcel ID #: 054-257988-00.000
Structure Type: Other Zoning District: HB
Subdivision: Corner Property: Yes
Floor Area (Sq Ft) 600 Flood Zone: X
Sewer System: Lot: 1242 PT + Vac Aly
Flood Hazard Area: 500 Yr
Project engineered steel building for storage of my personal property
Description:

Board of Zoning

Appeals

Has there been a Board of Zoning Appeals (BZA) variance granted for this project?

Application Date
BZA Application #

Property Owner

Details

Name: Brian Shriver
Address: 454 Earl Drive Newark Oh 43055
Phone #: (740) 814-2376 Email: Shriverconstruction1@gmail.com

Applicant Details

Name: Brian Shriver
Relation: Property Owner
Phone #: (740) 814-2376 Email: Shriverconstruction1@gmail.com
Address: City, State, ZIP:

Contractor Details

Same as Owner X
Name:
Address:
Phone #:
Email:

Use

Last or present None
Occupancy or Use
Proposed Storage of personal
Occupancy or Use property

Required

Documentation

- Site Plans showing the location and uses of all existing buildings as well as any new construction covered under this Certificate Application.
- 2 copies of the Site Plan are required for 1, 2, and 3-family residential drawings, as well as other accessory uses.
- 1 paper copy and 1 digital copy of the Site Plan are required for all other uses.

Fees

Make check payable to "City of Newark".

Application Fee: \$22.50
Structure Fee: \$7.50
Total: \$30.00

Certification

I understand that no excavation, construction, or structural alteration, electrical or mechanical installation or alteration of any building, structure, sign, or part thereof and no use of the above shall be undertaken or performed until the certificate applied for herein has been approved and issued by the City of Newark.

Property pins must be present prior to inspection.

I HEREBY ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE ABOVE LISTED INSTRUCTIONS



CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT

JANUARY 10, 2023 PLANNING COMMISSION MEETING

Application:

1. ***PC 22-59: SITE PLAN FOR NEW STORAGE STRUCTURE FOR SHRIVER CONSTRUCTION, 299 WEST LOCUST STREET***

Staff Report & Recommendations:

Overview:

The applicant intends to build a 20' x 30' storage structure to provide additional storage space for his business.

The Site Plan Review Committee submitted comments on 1/5/2023 regarding this application. Reviewers included:

- Mark Mauter, Development Director
- Brandon Metzger, Fire Chief
- Aaron Holman, NFD
- Craig Riley, Deputy Police Chief
- Roger Loomis, Utilities Superintendent
- Adam Bernard, Utilities Engineer
- Lindsey Brighton, Stormwater Utility
- Nick Shultz, Street and Traffic Engineer
- Don Hiltner, Senior Engineer
- Brian Morehead, City Engineer
- George Carter, Zoning Inspector

A. **Zoning District:**

This site is zoned High Intensity Business District (HB); the proposed use is a permitted use.

Flood Zones: The entire site is located in the 500-year Flood Plain, with no portion of the parcel in the 100-year Future Conditions Flood Plain area. This structure is not located in the 100-year Floodplain Area, which requires floodplain development regulation.

B. **Safety Division Review:**

The Police Division and Fire Division have no issues with the proposed structure.

C. **Height Restrictions:**

The proposed structure meets the height restrictions in the HB District.

D. **Lot Area & Setbacks:**

Parcel is approximately 9213 S.F. +/-, with 15% building coverage, which meets the lot area requirements of 35% maximum coverage.

The lot frontage is legal non-conforming due to the existing building on the site and vacation of the adjacent alley years ago. The proposed structure does not change this non-conformance.



**CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT**

- E. Off-Street Parking & Loading:
Code requires 4 parking spaces for the entire development on this site, which are provided, and no new spaces are specifically proposed.

- F. Corner Lots:
There are no structures proposed in the corner lot areas.

- G. Landscaping, Buffering & Greenspace:
The existing site is legal non-conforming with regard to the landscape requirements, as there is limited landscaping on this site. The proposed addition will have a minimal effect on the non-conformance, so we consider this acceptable.

- H. Public & Private Roadways – Access Management:
No new driveway approaches are planned with this structure.

- I. Site Signage:
No additional signage has been submitted with the proposal.

- J. Traffic Control / Street / Right-of-Way Issues:
No comments on these items.

- K. Engineering / Utilities:
No new utilities are proposed for this structure. There is no impact to the stormwater runoff, as the existing site has impervious surface, which is being replaced by roof area.

- L. Other Standards/Regulations
Non other comments at this time.

Recommendations:

This proposal meets all of the technical requirements. On that basis, staff recommends approval of the Site Plan for this structure.

If approved by Planning Commission, the zoning certificate will be granted.

Planning Commission Action on Recommendation:

- _____ Approved As Submitted
- _____ Approved As Noted, With Contingencies
- _____ Denied

Planning Director

Date



03/15/2021

< 1 of 4 >

Latest



Storage
Barn

Zoom Out

054-257933-00.000



ns or suggestions regarding OnTrac, contact the Licking County Auditor's Office by clicking here. By accessing or agree to be bound by these Terms and Conditions. Using a low screen resolution? Try our Mobile Versio

MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
 (L) L.C. STRUCTURAL
 6040 Trumbull Ave. Lima, Toledo, OH 43082
 Tel. 419-534-1588 • Fax: 419-534-1589

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
 LOCATION: STATE OF OHIO
 PROJECT NO.: 070-21-384
 SHEET TITLE:

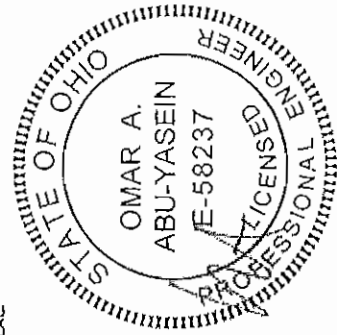
COVER SHEET

SHEET NO.: 1/ 11
 DRAWN BY: AV DATE: 5/17/21
 CHECKED BY: OAA DATE: 5/17/21

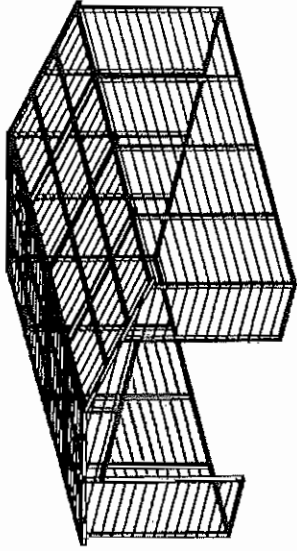
LEGAL INFORMATION

- ANY REPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY PROHIBITED. ANYONE WHO DOES SO WILL BE PROSECUTED UNDER THE FULL FORCE OF THE LAW.
 - DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE

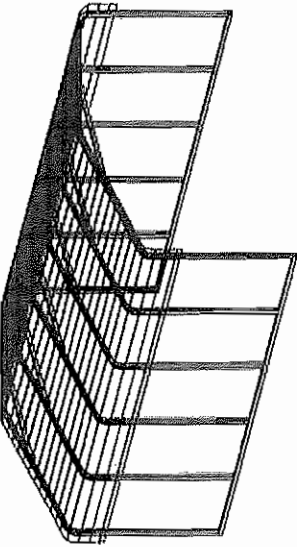
SEAL:



STAMP EXPIRES: **DEC 31, 2021**
 DATE SIGNED: **MAY 7, 2021**



**REGULAR / A-FRAME
 20'-0" WIDE
 CARPORT STYLE BUILDINGS**



DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH 2017, IRC, IBC 2015, OSHA, AISC 360, AISI 100, ASCE 7-10, AWS D 1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATION DETAILS SHEET.
3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
5. ALL FIELD CONNECTIONS SHALL BE #2X1/4" GDS (ESR-2189 OR EQ).
6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=60KSI) OR EQ. SHALL BE GRADE 60 STEEL
7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS TO 152 1/2" X 2 1/2" - 12GA AND EITHER ONE MAY BE USED IN lieu OF THE OTHER
8. ALL DESIGN CRITERIA MUST BE INCREASED TO THE NEXT HIGHER INCREMENT BASED ON THE TABLES ON PAGE 4, NO

DESIGN CRITERIA

- PREVAILING CODE: 2017 CBC (IBC 2015), U (CARPORTS, BARNES)
 USE GROUP: U
 RISK CATEGORY: 1
1. DEAD LOAD (D) D = 4 PSF
 2. ROOF LIVE/SNOW LOAD (Lr)
 Lr = 20 - 6i PSF (AS PER SNOW LOAD SEE TABLE 4)
 3. SNOW LOAD (S)
 GROUND SNOW LOAD Pg = 20 - 90 PSF
 IMPORTANCE FACTOR Is = 0.8
 THERMAL FACTOR Ct = 1.2
 EXPOSURE FACTOR Ce = 1.0
 ROOF SLOPE FACTOR Cs = 1.0
 4. WIND LOAD (W)
 BASIC WIND SPEED Vlt = 105 - 180 MPH
 EXPOSURE C
 DESIGN CATEGORY D
 IMPORTANCE FACTOR Is = 1.00
 5. SEISMIC LOAD (E)
 DESIGN CATEGORY D
 IMPORTANCE FACTOR Is = 1.00

LOAD COMBINATIONS:

1. D + (Lr OR S)
2. D + (0.6W OR ±0.7E)
3. D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)
4. 0.6D ± (0.6W OR ±0.7E)

DRAWING INDEX

COVER SHEET	1
SCHEDULES & MEMBER SECTIONS	2
FRAME SECTIONS & DETAILS	3-A, 3-B
SPACING SCHEDULES & ENCLOSURE NOTES	4
FURLIN & GIRT SCHEDULES	5
SHEATHING OPTIONS	6
SIDE WALL FRAMING & OPENINGS	7
END WALL FRAMING & OPENINGS	8-A, 8-B
CORNER BRACING DETAILS	9
OPTIONAL LEAN-TO ADDITION	10
FOUNDATION OPTIONS	11-A TO 11-D

CERTIFICATION VALIDITY NOTICE
 DATE OF PLANS **MAY 7, 2022**
 EXPIRATION:
 CERTIFICATION ON THESE DRAWINGS IS VALID FOR ONE YEAR FROM DATE OF ISSUE

BUILDING INFORMATION

FRAME TYPE: A-FRAME REGULAR
 ENCLOSURE TYPE: FULL PARTIAL OPEN

WIDTH: _____
 LENGTH: _____
 HEIGHT: _____

DESIGN LOADS

GROUND SNOW: _____
 ROOF LIVE LOAD: _____
 BASIC WIND SPEED: _____

CUSTOMER INFORMATION

OWNER: _____
 ADDRESS: _____

TABLE 2.1: MEMBER PROPERTIES

NO.	LABEL	PROPERTY	DETAIL NO.
1	COLUMN POST	2.5" X 2.5" X 14GA TUBE	1
2	ROOF BEAM	2.5" X 2.5" X 14GA TUBE	1
3	BASE RAIL	2.5" X 2.5" X 14GA TUBE	1
4	PEAK BRACE	2.5" X 2.5" X 14GA CHANNEL	4
5	KNEE BRACES	2.5" X 1.5" X 14GA CHANNEL	4
6	CONNECTOR SLEEVE	2.05" X 2.25" X 12GA TUBE	2
7	BASE ANGLE	2" X 2" X 3" LG. 316" ANGLE	10
8	FURLEN	4.25" X 1.5" X 14GA / 1.5GA HAT CHANNEL	5
9	GIRT	4.25" X 1.5" X 14GA / 1.5GA HAT CHANNEL	5
9A	OPT. END WALL GIRT	2.5" X 1.5" X 14GA CHANNEL	5
10	SHEATHING	29 GA CORRUGATED SHEET	8
11	END WALL POST	2.5" X 2.5" X 14GA TUBE	1
12	DOOR POST	2.5" X 2.5" X 14GA TUBE	1
13	SINGLE HEADER	2.5" X 2.5" X 14GA TUBE	1
14	DOUBLE HEADER	DBL 2.5" X 2.5" X 14GA TUBE	1
15	SERVICE DOOR / WINDOW FRAMING	2.5" X 2.5" X 14GA TUBE	1
16	ANGLE BRACKET	2" X 2" X 2" LG. 14GA ANGLE	7
17	STRAIGHT BRACKET	2" X 2" X 2" LG. 14GA PLATE	6
18	PB SUPPORT	2.5" X 2.5" X 14GA TUBE	3
19	DIAGONAL BRACE	2" X 2" X 14 GA TUBE	3
20	GABLE BRACE	2" X 2" X 14 GA TUBE	3
21	DB BRACKET	2.25" X 2.25" X 6" LG. 14GA ANGLE	9
22	TRUSS SPACER	2.5" X 2.5" X 14GA TUBE	1
23	ALL FASTENERS	#12 X 3" SELF-DRILL SCREWS (ESR-2106 OR EQ) W/ NEOPRENE/STEEL WASHER	1

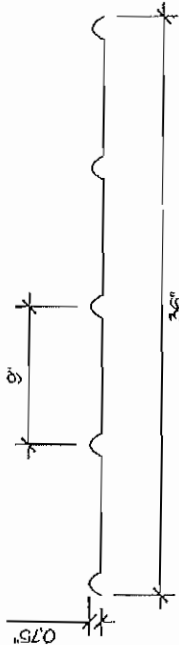
TABLE 2.2: SHEATHING FASTENER SCHEDULE

LOCATION	CORNER PANELS	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" O/C	MIN. 1	4" O/C	9" O/C

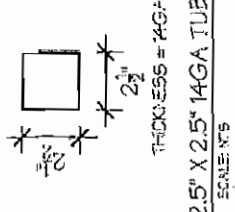
FASTENER TYPE: #12" SELF-DRILL SCREWS (ESR-2106 OR EQ) W/ NEOPRENE/STEEL WASHERS
 *SEE TYP. SHEATHING FASTENER SCHEDULE DIAGRAM ON PAGE 6.

TABLE 2.3: GAUGE THICKNESS

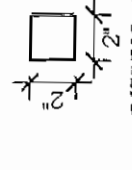
GAUGE	29	15	14	12
THICKNESS (IN)	0.0135	0.049	0.083	0.109



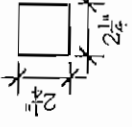
29 GA CORRUGATED SHEATHING
 SCALE: NTS



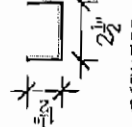
2.5" X 2.5" 14GA TUBE
 SCALE: NTS



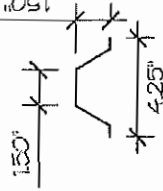
2" X 2" 14GA TUBE
 SCALE: NTS



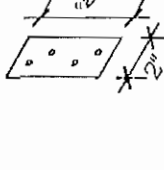
2.25" X 2.25" 12GA TUBE
 SCALE: NTS



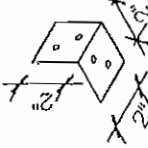
2.5" X 1.5" 14GA CHANNEL
 SCALE: NTS



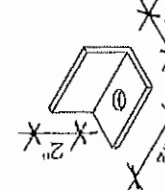
4.25" X 1.5" X 14GA / 1.5GA HAT CHANNEL
 SCALE: NTS



STRAIGHT BRACKET
 SCALE: NTS



ANGLE BRACKET
 SCALE: NTS

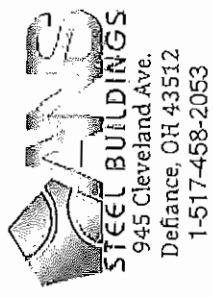


316" ANGLE
 3" BASE ANGLE
 SCALE: NTS



14GA DB BRACKET
 SCALE: NTS

MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
 CIVIL & STRUCTURAL
 6888 Remondino Pkwy., Toledo, OH 43623
 TEL: 419-229-1933 • FAX: 419-229-9663
 WWW.A&AENGINEERING.COM

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF OHIO

PROJECT NO.: 070-21-1584

SHEET TITLE:

SCHEDULES &
 MEMBER SECTIONS

SHEET NO.: 21/11

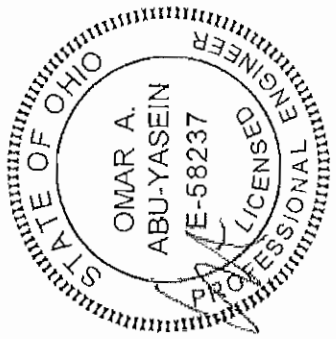
DRAWN BY: A/Y DATE: 5/7/21

CHECKED BY: OAA DATE: 5/7/21

LEGAL INFORMATION

"ANY REPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY PROHIBITED. ANYONE WHOSE NAME IS LISTED HEREON SHALL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW. DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE."

SEAL



STAMP EXPIRY: DEC 31, 2021

DATE SIGNED: MAY 7, 2021

MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
CIVIL & STRUCTURAL
5620 Parkside Plaza, Toledo, OH 43620
TEL: 419-285-1163 • FAX: 419-285-9663
www.aandaa.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
LOCATION: STATE OF OHIO
PROJECT NO.: CTO-2-H384
SHEET TITLE: FRAME SECTIONS & DETAILS

SHEET NO.: 3-A, 1

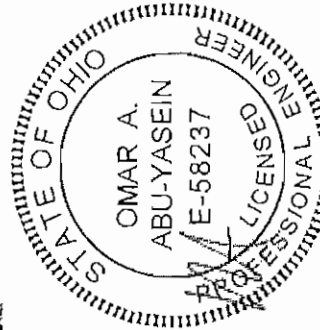
DRAWN BY: AW DATE: 5/7/21

CHECKED BY: OAA DATE: 5/7/21

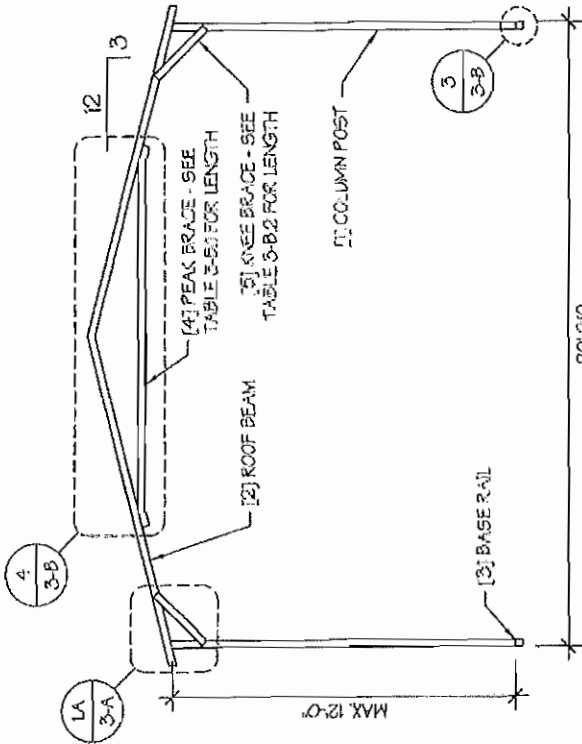
LEGAL INFORMATION

A STATEMENT OF THE ENGINEER'S OPINION IS MADE ONLY FOR THE WORK SHOWN ON THIS DRAWING. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED TO THE ENGINEER DATE OF ISSUE.

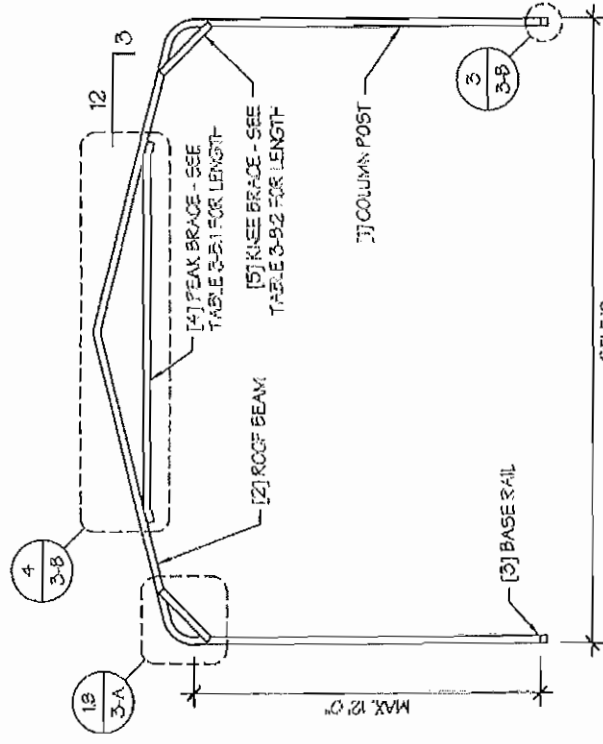
SEAL:



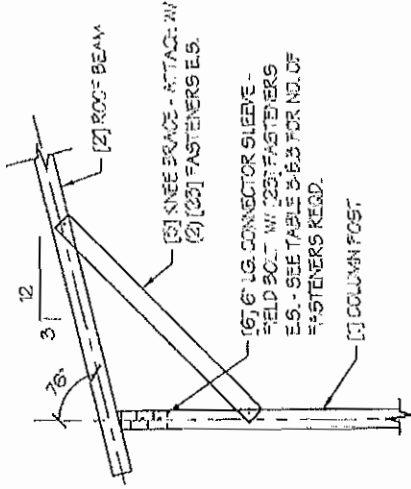
STAMP EXPIRY: DEC 31, 2021
DATE SIGNED: MAY 7, 2021



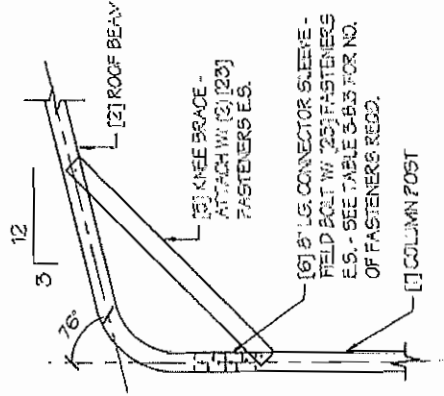
TYP. A-FRAME SECTION
SCALE: NTS



TYP. REGULAR FRAME SECTION
SCALE: NTS



A. A-FRAME



B. REGULAR-FRAME

EAVE DETAIL
SCALE: NTS

MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
 CIVIL & STRUCTURAL
 6250 Rockwell Road, Toledo, OH 43623
 TEL: 419-290-1981 • FAX: 419-290-6240
 WWW.AAAENGINEERING.COM

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
 LOCATION: STATE OF OHIO
 PROJECT NO.: 070-211394
 SHEET TITLE: FRAME DETAILS

SHEET NO.: 3-B/ 11

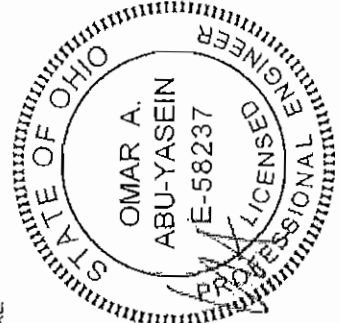
DRAWN BY: AW DATE: 5/7/21

CHECKED BY: OAA DATE: 5/7/21

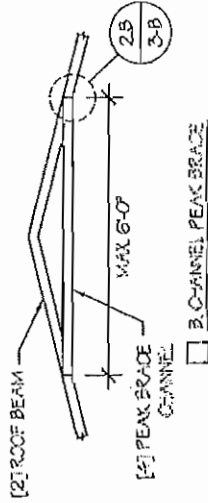
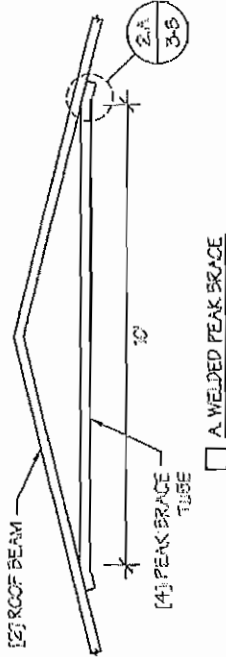
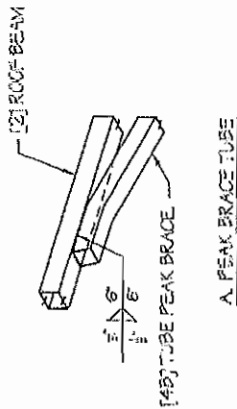
LEGAL INFORMATION

- ANY PORTION OF THESE DRAWINGS IN WHOLE OR PART IS STRICTLY PROHIBITED FROM BEING REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.
 - DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

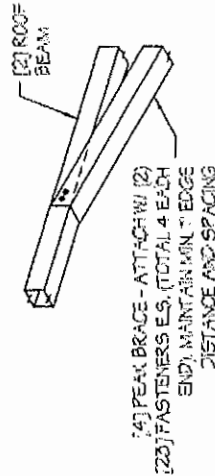
SEAL:



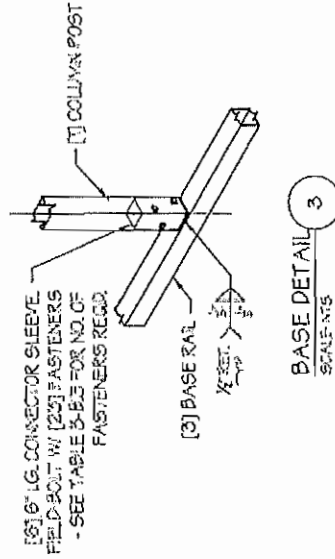
STAMP EXPIRY: DEC 31, 2021
 DATE SIGNED: MAY 7, 2021



PEAK BRACE DETAILS 4
 SCALE: N'S



PEAK BRACE CONNECTION DETAILS 2
 SCALE: N'S



BASE DETAIL 3
 SCALE: N'S

TABLE 3-B-1: PEAK BRACE SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (P/SF)	WIND SPEED	WIND SPEED
□ 50 / 20	□ 105 TO 130	□ 140 TO 160
□ 35 / 25 TO 80 / 61	□ 6'	□ 10'
	□ 10'	□ 10'

TABLE 3-B-2: KNEE BRACE SCHEDULE

EAVE HEIGHT	KNEE BRACE LENGTH
□ 0' TO 8'	24"
□ 9' TO 2'	36"

TABLE 3-B-3: FASTENER SCHEDULE

WIND SPEED (MPH)	NO. OF FASTENERS
□ 125 TO 125	4
□ 130 TO 135	6
□ 160 TO 190	8

NOTE: COLUMN POST MAY BE ADJUSTED 1/4" FOR LEVELING. MANUFACTURER IS NOT RESPONSIBLE FOR LEVELING OF GROUND AND/OR CONCRETE SURFACE PROVIDED BY OTHERS.

MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
 CIVIL - STRUCTURAL
 6526 Exeterwood Place, Toledo, OH 43623
 TEL: 419-534-1883 • Fax: 419-534-0955
 www.aandengineering.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
 LOCATION: STATE OF OHIO
 PROJECT NO.: OTC-21-1384
 SHEET TITLE:

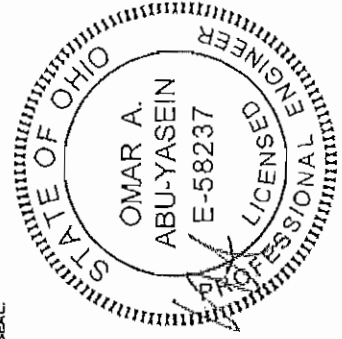
SPACING SCHEDULES & ENCLOSURE NOTES

SHEET NO.: 4 / 11
 DRAWN BY: AW DATE: 5/17/21
 CHECKED BY: OAA DATE: 5/17/21

LEGAL INFORMATION

ALL DIMENSIONS ON THIS DRAWING SHALL BE PART OF THE CONTRACT. ANY CHANGES SHALL BE INDICATED UNDER THE FOOTNOTES OF THE DRAWING. DRAWINGS VALID UP TO YEAR FROM DATE OF ISSUE.

SEAL:



STAMP EXPIRY: DEC 31, 2021
 DATE SIGNED: MAY 7, 2021

TABLE 4: FRAME SPACING CHART / SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	ENCLOSED BUILDINGS										OPEN BUILDINGS									
	105	115	130	140	155	160	175	185	190	200	105	115	130	140	155	160	175	185	190	200
30 / 20	60	50	54/60	54	42	36	36	36	36	36	60	54/60	48/60	42/64	36/42	36	36	36	36	36
40 / 27	48/60	48/60	42/60	42/64	42	36	36	36	36	36	48	48	42/48	42/48	36/42	36	36	36	36	36
50 / 34	40/48	40/48	40/48	40/48	40/42	36	36	36	36	36	40/42	40/42	40/42	40/42	36/42	36	36	36	36	36
60 / 41	36/42	36/42	36/42	36/42	36/42	36	36	36	36	36	36	36	36	36	36	36	36	36	36	36
70 / 47	32/36	32/36	32/36	32/36	32/36	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30
80 / 54	30	30	30	30	30	30	30	30	30	30	24	24	24	24	24	24	24	24	24	24
90 / 61	24	24	24	24	24	24	24	24	24	24	18	18	18	18	18	18	18	18	18	18
100 / 68	60	60	54/60	54	48	42/48	42	42	42	42	60	54/60	48/60	42/64	36/48	36/48	36/48	36/48	36/48	36/48
110 / 75	48/60	48/60	42/60	42/64	42/48	42/48	42	42	42	42	48/60	48/60	42/60	42/64	36/48	36/48	36/48	36/48	36/48	36/48
120 / 82	40/48	40/48	40/48	40/48	40/48	40/42	40/42	40/42	40/42	40/42	40/48	40/48	40/48	40/48	36/42	36/42	36/42	36/42	36/42	36/42
130 / 89	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36	36	36	36	36	36	36	36	36	36
140 / 96	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	30	30	30	30	30	30	30	30	30	30
150 / 103	30	30	30	30	30	30	30	30	30	30	24	24	24	24	24	24	24	24	24	24
160 / 110	24	24	24	24	24	24	24	24	24	24	18	18	18	18	18	18	18	18	18	18

NOTES:

1. FRAME SPACINGS ARE IN UNITS OF INCHES (IN).
2. WHERE TWO VALUES ARE SHOWN, THE HIGHER VALUE CAN ONLY BE USED FOR VERTICAL SHEATHING.
3. SNOW LOADS AND ROOF LIVE LOADS ARE IN POUNDS PER SQUARE FOOT (PSF). WIND SPEED IS 3 SEC. GUST IN MILES PER HOUR (MPH).
4. FOR VALUES THAT LIE BETWEEN TWO CELLS, THE HIGHER (MORE STRINGENT) VALUE HAS TO BE USED. INTERPOLATION BETWEEN CELLS IS NOT ALLOWED.

ENCLOSURE CLASSIFICATION:

1. ENCLOSED BUILDING = ALL 4 WALLS FULLY ENCLOSED WITH DOORS/WINDOWS = USE ENCLOSED BUILDING SPACING CHART.
2. OPEN BUILDING = ALL 4 WALLS FULLY OPEN = USE OPEN BUILDING SPACING CHART.
3. PARTIALLY ENCLOSED = BOTH END WALLS FULLY OPEN, WITH BOTH SIDE WALLS ONLY PARTIALLY ENCLOSED = USE OPEN BUILDING SPACING CHART.
4. PARTIALLY ENCLOSED = BOTH END WALLS FULLY OPEN, WITH BOTH SIDE WALLS ENCLOSED MORE THAN 3FT = START WITH OPEN BUILDING SPACING CHART AND THEN REDUCE SPACING BY 6".
5. 3 SIDED ENCLOSED = ALL WALLS ARE ENCLOSED EXCEPT FOR 1 END WALL = START WITH ENCLOSED BUILDING SPACING + THE OPEN END FRAME MUST HAVE EITHER A GABLED END OR HAVE DOUBLED WELDED LEGS & ROOF.
6. FOR ALL SHEATHING ENCLOSURES NOT LISTED ABOVE, REFER TO SHEET 5 FOR SPACING AND DESIGN REQUIREMENTS.

GENERAL NOTES:

1. THE MAX. BUILDING LENGTH FOR ENCLOSED BUILDINGS IS 50'-0". THIS CAN BE INCREASED BY ADDING A DOUBLE FRAME AT THE CENTER TO BREAK THE LENGTH OF THE BUILDING.
2. BUILDINGS WITH PARTIALLY ENCLOSED END WALLS NEED TO HAVE SIDE WALL BRACING TO SUPPORT THE PARTIALLY ENCLOSED END WALL (SEE FIGURE A ON SHEET 6).
3. ALL BUILDINGS WITH AN OPEN END WALL MUST HAVE A 10'-0" TUBE PEAK BRACE.

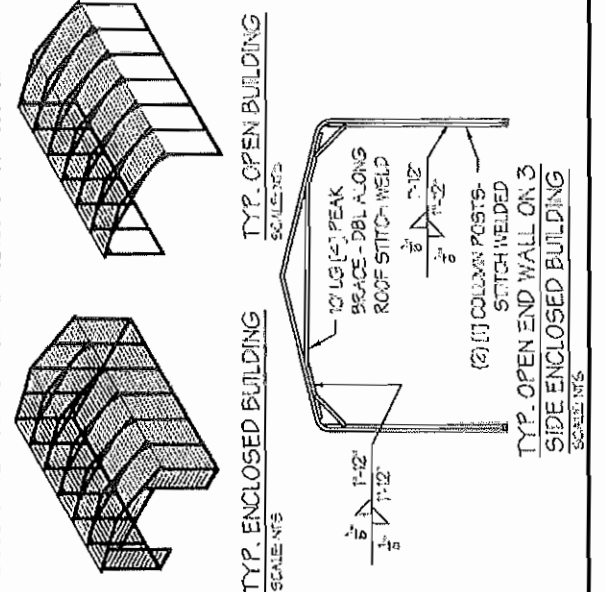


TABLE 5.1: PURLIN SPACING SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	■ HGA HAT CHANNEL PURLIN					■ 18GA HAT CHANNEL PURLIN				
	WIND SPEED (MPH)					WIND SPEED (MPH)				
	15	20	30	40	50	15	20	30	40	50
0 20 / 20	54	48	42	36	30	24	24	24	24	24
0 40 / 27	42	42	42	36	30	24	24	24	24	24
0 50 / 34	40	40	40	36	30	24	24	24	24	24
0 60 / 41	36	36	36	36	30	24	24	24	24	24
0 70 / 47	32	32	32	32	30	24	24	24	24	24
0 80 / 54	30	30	30	30	30	24	24	24	24	24
0 90 / 61	24	24	24	24	24	24	24	24	24	24
0 30 / 20	54	48	42	36	30	30	48	36	30	24
0 40 / 27	42	42	42	36	30	30	42	36	30	24
0 50 / 34	40	40	40	36	30	30	30	30	30	24
0 60 / 41	36	36	36	36	30	30	30	30	30	24
0 70 / 47	32	32	32	32	30	30	24	24	24	24
0 80 / 54	30	30	30	30	30	30	18	18	18	18
0 90 / 61	30	30	30	30	30	30	18	18	18	18
0 30 / 20	54	48	42	36	30	30	54	48	42	36
0 40 / 27	42	42	42	36	30	30	42	42	42	36
0 50 / 34	40	40	40	36	30	30	40	40	40	36
0 60 / 41	36	36	36	36	30	30	36	36	36	36
0 70 / 47	32	32	32	32	30	30	32	32	32	32
0 80 / 54	30	30	30	30	30	30	32	32	32	32
0 90 / 61	30	30	30	30	30	30	30	30	30	30
0 30 / 20	54	48	42	36	30	30	54	48	42	36
0 40 / 27	42	42	42	36	30	30	42	42	42	36
0 50 / 34	40	40	40	36	30	30	40	40	40	36
0 60 / 41	36	36	36	36	30	30	36	36	36	36
0 70 / 47	32	32	32	32	30	30	32	32	32	32
0 80 / 54	30	30	30	30	30	30	32	32	32	32
0 90 / 61	30	30	30	30	30	30	30	30	30	30

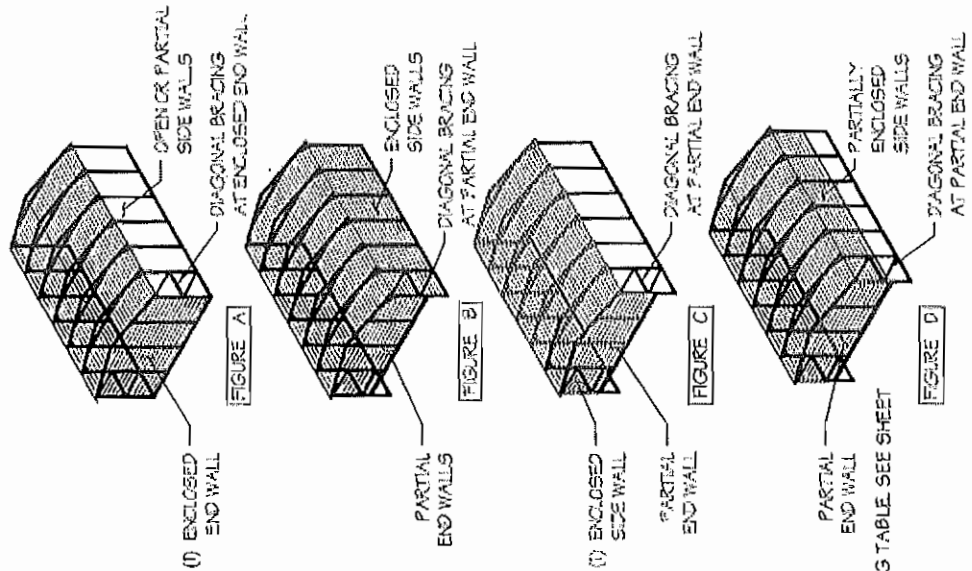
NOTES:
1. PURLIN SPACING UNITS ARE IN INCHES.
2. FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

IRREGULAR BUILDING NOTES:
1. FIGURES A, B, C & D ON THE RIGHT INDICATE EXAMPLES OF IRREGULAR BUILDINGS.
2. FOR IRREGULAR BUILDINGS, FRAME SPACING MUST BE REDUCED BY 8" FROM OPEN BUILDING SPACING TABLE. SEE SHEET 4 FOR OPEN BUILDING TABLE.
3. SITE SPECIFICS MAY ALLOW FOR ALTERNATIVE SPACING.
4. IRREGULAR BUILDING & BUILDINGS W/ MORE THAN 2 SIDE OPENINGS MUST HAVE A 10' TUBE PEAK BRACE ON ALL FRAMES.

TABLE 5.2: GIRT SPACING SCHEDULE

FRAME SPACING	WIND SPEED (MPH)											
	105	15	30	40	50	60	70	80	90	105	120	135
0 8'-0"	60	40	36	30	24	24	24	24	24	24	24	24
0 4'-8"	60	40	40	40	42	36	30	30	30	30	30	30
0 4'-0"	60	40	40	40	42	42	36	30	30	30	30	30
0 3'-6"	60	40	40	40	42	42	42	42	42	42	42	42
0 2'-0" TO 3'-0"	60	40	40	40	42	42	42	42	42	42	42	42

NOTES:
1. GIRTS SPACING UNITS ARE IN INCHES.
2. THIS SCHEDULE IS TO BE USED FOR BOTH 1-GA AND 1.5-GA PURLINS.
3. FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.



MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
CIVIL-STRUCTURAL
6855 Remington - Piquette, Toledo, OH 43504
Tel: 419-524-8888 • Fax: 419-524-8888
www.aandaaengineering.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
LOCATION: STATE OF OHIO
PROJECT NO.: 070-211884
SHEET TITLE:

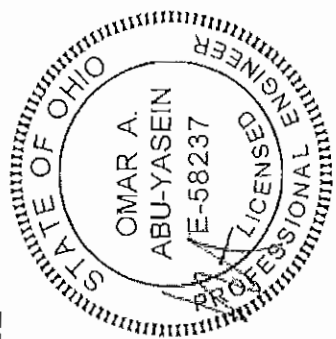
PURLIN & GIRT
SPACING SCHEDULES

SHEET NO.: 5 / 11
DRAWN BY: AW DATE: 5/7/21
CHECKED BY: OAA DATE: 5/7/21

LEGAL INFORMATION

- ANY REVISIONS TO THIS DRAWING MUST BE MADE IN WRITING BY THE ORIGINAL DESIGNER OR A REGISTERED PROFESSIONAL ENGINEER.
- THIS DRAWING IS THE PROPERTY OF A&A ENGINEERING AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF A&A ENGINEERING.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL



STAMP EXPIRY: DEC 31, 2021
DATE SIGNED: MAY 7, 2021

MANUFACTURED BY:



ENGINEERED BY:



ASA ENGINEERING
CIVIL - STRUCTURAL
6030 Hamilton Park, Toledo, OH 43626
TEL: 419-242-9888 • Fax: 419-521-8855
www.asa-engineer.com

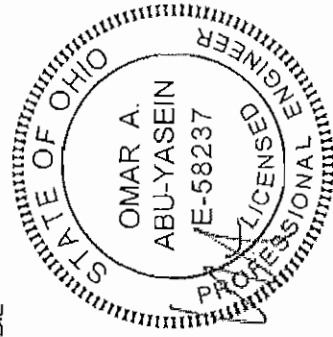
DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
LOCATION: STATE OF OHIO
PROJECT NO.: 070-21-1384
SHEET TITLE: SHEATHING OPTIONS & DETAILS
SHEET NO.: 6 / 11
DRAWN BY: AW DATE: 5/7/21
CHECKED BY: OAA DATE: 5/7/21

LEGAL INFORMATION

ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY PROHIBITED. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL DOCKET OF THE LAW. DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE

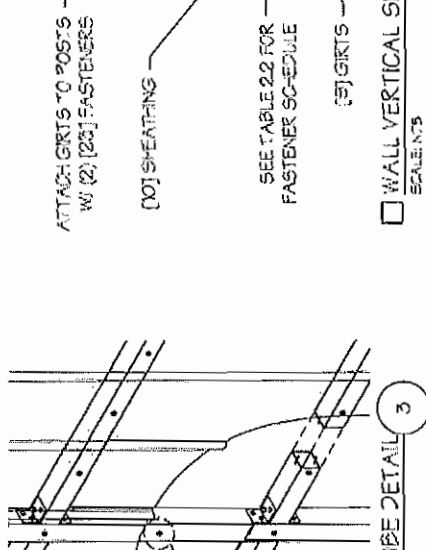
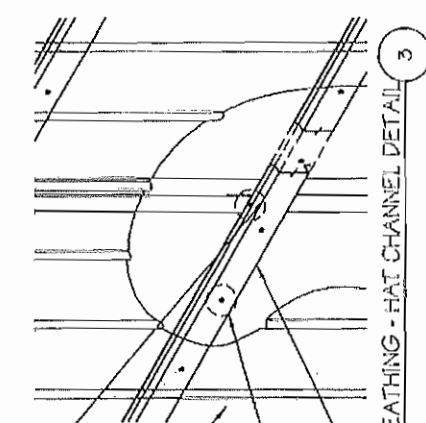
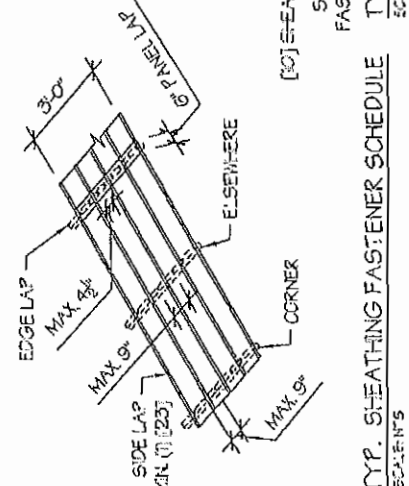
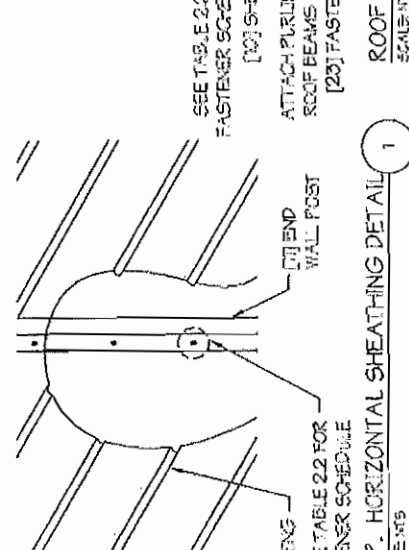
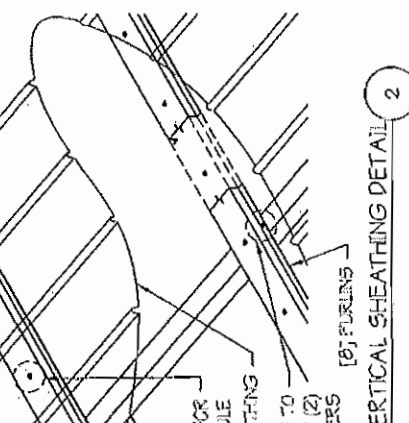
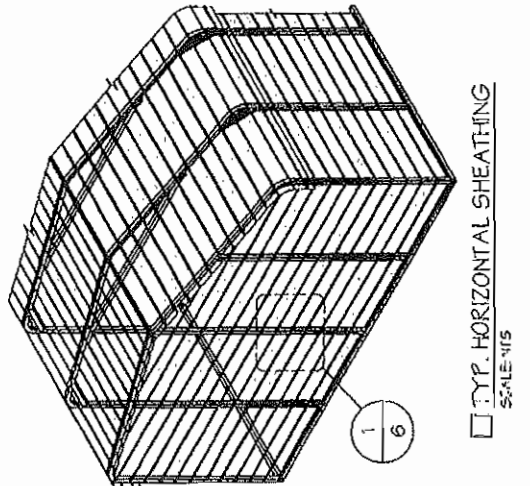
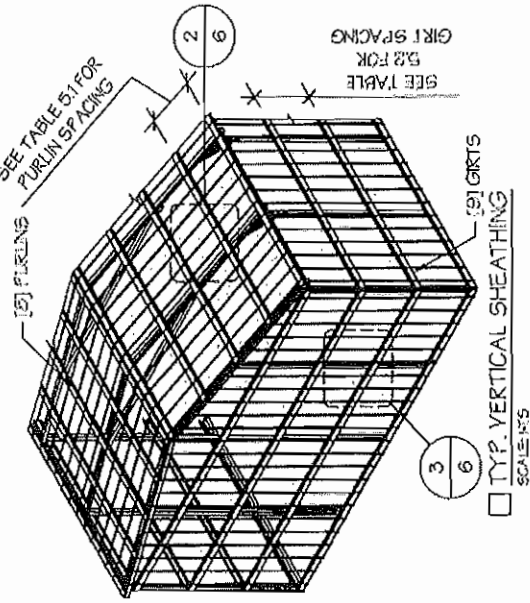
SEAL



STAMP EXPIRY: DEC 31, 2021
DATE SIGNED: MAY 7, 2021

GENERAL SHEATHING NOTES:

- REGULAR STYLE BUILDINGS CAN ONLY HAVE HORIZONTAL SHEATHING ON ROOF AND WALLS. A-FRAME STYLE BUILDINGS CAN HAVE ANY COMBINATION OF HORIZONTAL OR VERTICAL SHEATHING ON ROOFS AND WALLS. BOTH HORIZONTAL AND VERTICAL ROOF SHEATHING CAN HAVE MAX. 8" OVERHANG.
- USING VERTICAL SHEATHING MAY ALLOW FOR GREATER FRAME SPACING. SEE NOTE 2 UNDER TABLE 4.
- VERTICAL SHEATHING RECOMMENDED FOR BUILDINGS 30' OR LONGER.



MANUFACTURED BY:



ENGINEERED BY:



DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF OHIO

PROJECT NO.: 070-21-1384

SHEET TITLE:

SIDE WALL FRAMING & OPENINGS

SHEET NO.: 7 / 11

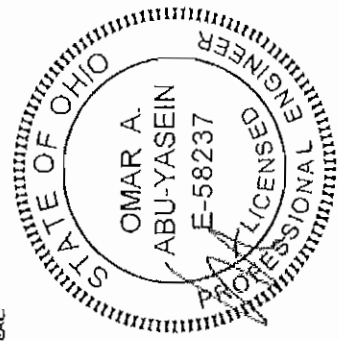
DRAWN BY: AW DATE: 5/17/21

CHECKED BY: OAA DATE: 5/17/21

LEGAL INFORMATION

ANY REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ORIGINAL DESIGNER OR HIS AUTHORIZED REPRESENTATIVE. ANY REVISIONS MADE BY ANY OTHER PARTY SHALL BE AT THE RISK OF THE USER. DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

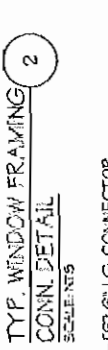
SEAL:



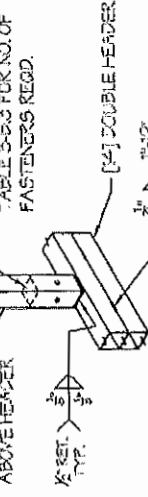
STAMP EXPIRY: DEC 31, 2021
DATE SIGNED: MAY 7, 2021



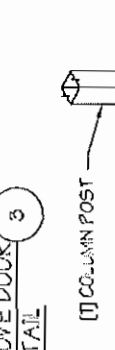
DOOR POST BOT. CONN. DETAIL
SCALE: 3/8"



TYP. WINDOW FRAMING CONN. DETAIL
SCALE: 3/8"



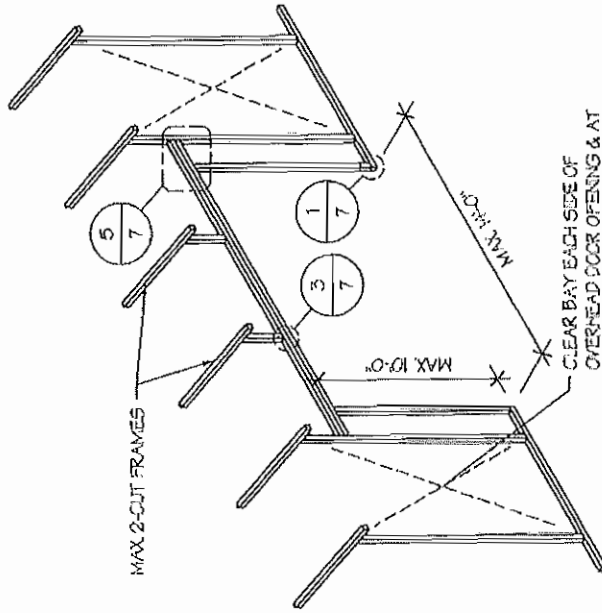
COLUMN POST ABOVE DOOR HEADER CONN. DETAIL
SCALE: 3/8"



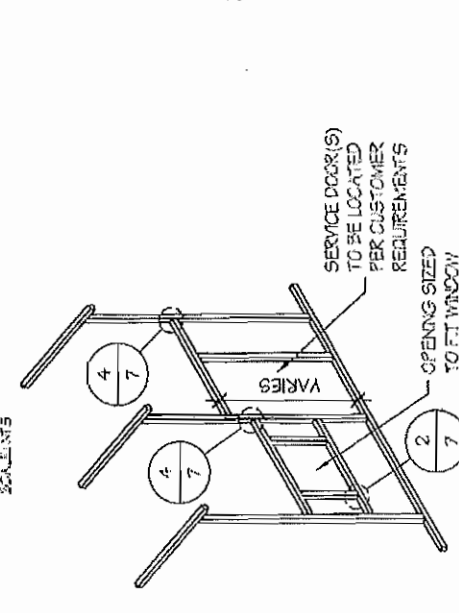
TYP. SERVICE DOOR / WINDOW FRAMING CONN. DETAIL
SCALE: 3/8"



COLUMN POST ABOVE DOOR HEADER CONN. DETAIL
SCALE: 3/8"



SIDE WALL OVERHEAD DOOR OPENINGS
SCALE: 3/8"



SIDE WALL SERVICE DOOR / WINDOW OPENINGS
SCALE: 3/8"

SIDE WALL FRAMING NOTES:

- DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
- MAX. HEIGHT OF SIDE WALL OVERHEAD DOOR OPENINGS IS 2 FT. LESS THAN THE BAY HEIGHT.
- OVERHEAD DOOR OPENINGS CANNOT CUT THROUGH MORE THAN 2 FULL FRAMES.
- MIN. 1 CLEAR BAY MUST BE MAINTAINED BETWEEN ANY 2 OVERHEAD DOOR OPENINGS. A CLEAR BAY IS A SPACE BETWEEN TWO FRAMES THAT HAS NO OVERHEAD DOOR OPENINGS.
- MIN. 1 CLEAR BAY MUST ALSO BE MAINTAINED FROM THE BUILDING CORNERS.
- SERVICE DOORS AND WINDOWS CAN BE PLACED IN CLEAR BAYS OR ANY WHERE ELSE AS NEEDED.

MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
 CIVIL-STRUCTURAL
 6033 S. Main Street, Toledo, OH 43629
 Tel: 419-251-9508 • Fax: 419-251-9509
 www.aandaa-engineering.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF OHIO

PROJECT NO.: 070-2-1384

SHEET TITLE:

END WALL FRAMING

SHEET NO.: 8-A1 11

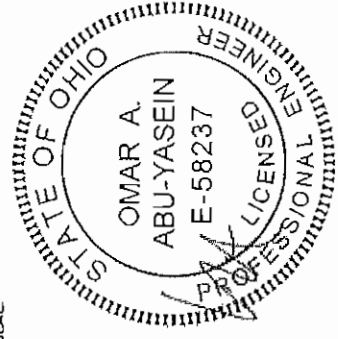
DRAWN BY: AW DATE: 5/7/21

CHECKED BY: OAA DATE: 5/7/21

LEGAL INFORMATION

* ANY DUPLICATION OF THIS DRAWING WITHOUT OUR WRITTEN PERMISSION IS STRICTLY PROHIBITED. ANYONE USING THIS DRAWING SHALL BE PROSECUTED UNDER THE FULL FORCE OF THE LAW.
 - DRAWINGS VALID FOR 1 YEAR FROM DATE OF ISSUANCE.

SEAL:



STAMP EXPIRES: **DEC 31, 2021**

DATE SIGNED: **MAY 7, 2021**

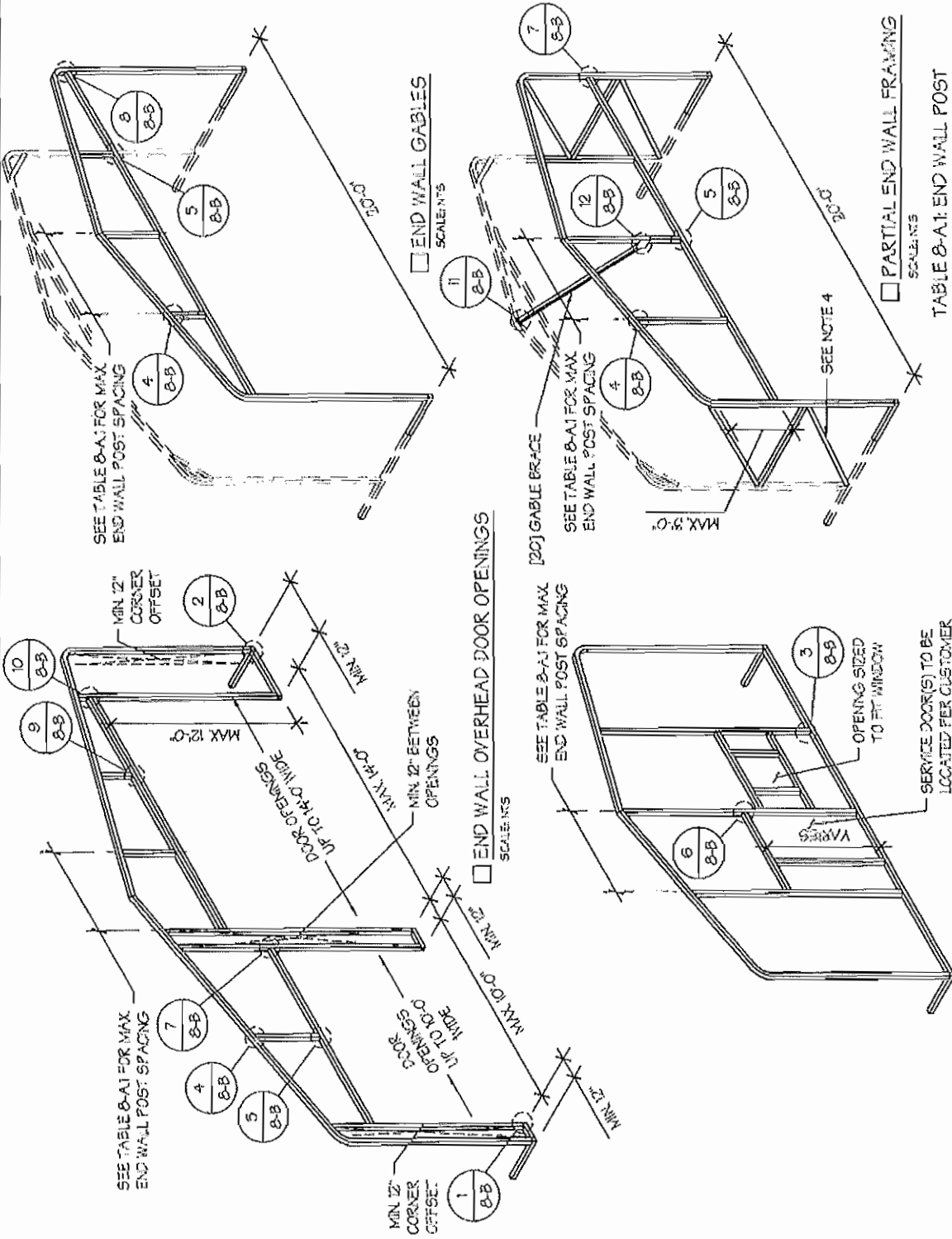


TABLE 8-A1: END WALL POST SPACING SCHEDULE

WIND SPEED (MPH)	EAVE HEIGHT			
	UP TO 7'	8 TO 9'	10 TO 11'	10 TO 12'
□ 105	5'	5'	5'	5'
□ 115	5'	5'	5'	4.5'
□ 130	4.5'	4.5'	4.5'	4'
□ 140	4.5'	4.5'	4.5'	3'
□ 155	4'	4'	4'	2.5'
□ 165 - 190	3.5'	3'	3'	2'

END WALL SERVICE DOOR AND WINDOW OPENINGS

END WALL FRAMING NOTES:

- DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
- MIN. 12" CLEARANCE MUST BE MAINTAINED BETWEEN ANY TWO OPENINGS (OVERHEAD DOOR OR SERVICE DOOR) AND FROM CORNERS.
- SERVICE DOORS AND WINDOWS CAN BE PLACED AS NEEDED.
- DIAGONAL BRACES NEED TO BE ADDED FOR PARTIAL END WALL ENCLOSURES. SEE SHEET 9 FOR DIAGONAL BRACE CONNECTION DETAILS.

MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING CIVIL-STRUCTURAL 6826 Riverchase Pkwy., Tallahassee, FL 32310 Tel: 904-879-1881 Fax: 904-879-3665 www.aandaa.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
LOCATION: STATE OF OHIO
PROJECT NO.: 070-21-1384
SHEET TITLE: END WALL FRAMING DETAILS

SHEET NO.: 8-5/ 11

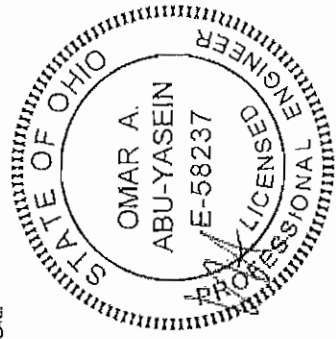
DRAWN BY: AW DATE: 5/7/21

CHECKED BY: CAA DATE: 5/7/21

LEGAL INFORMATION

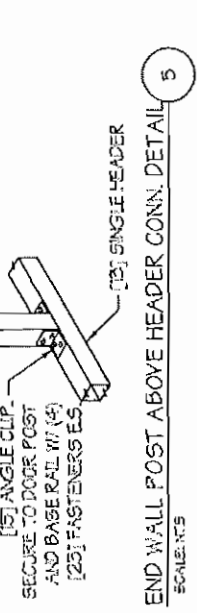
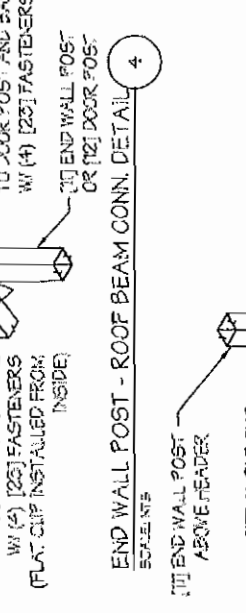
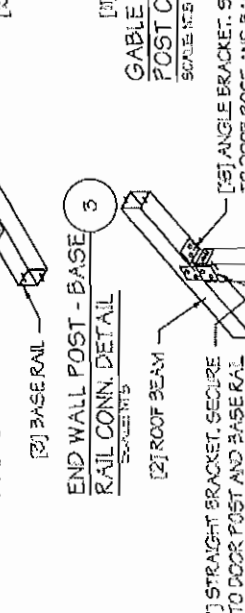
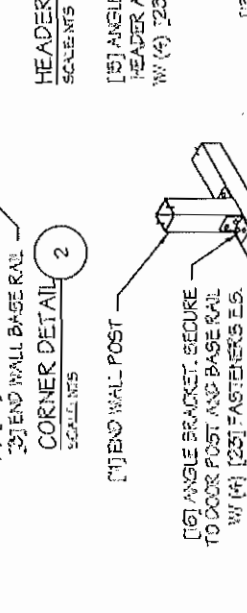
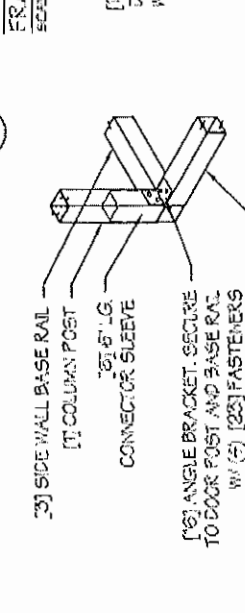
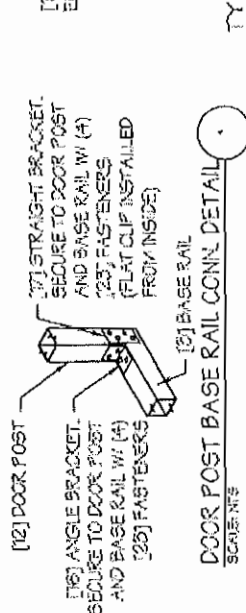
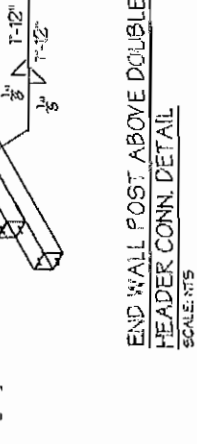
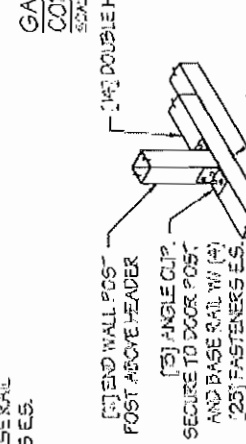
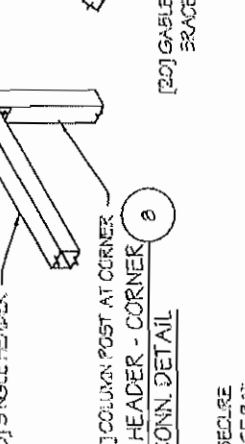
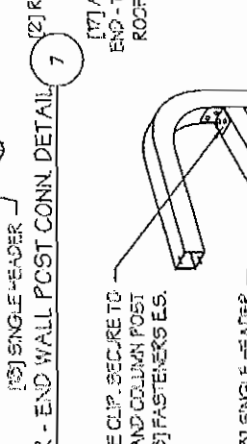
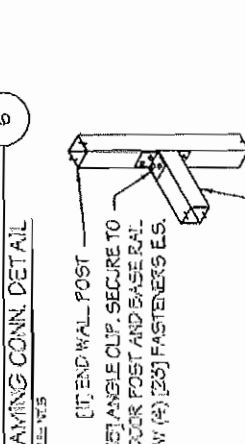
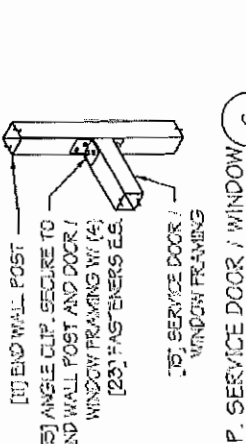
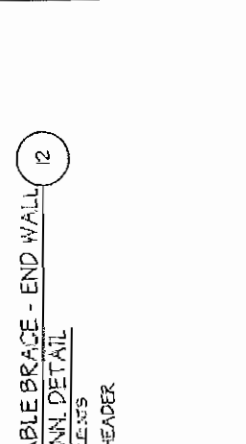
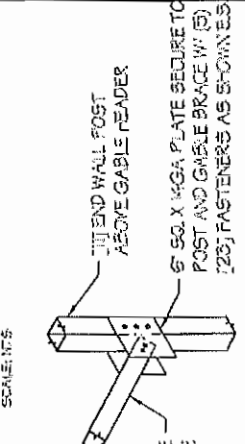
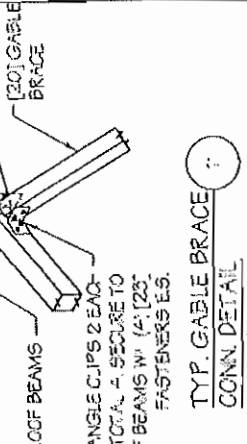
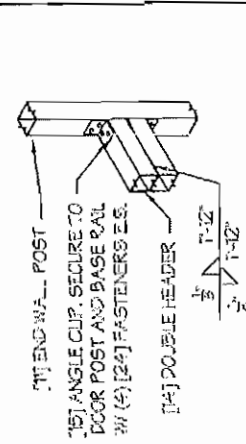
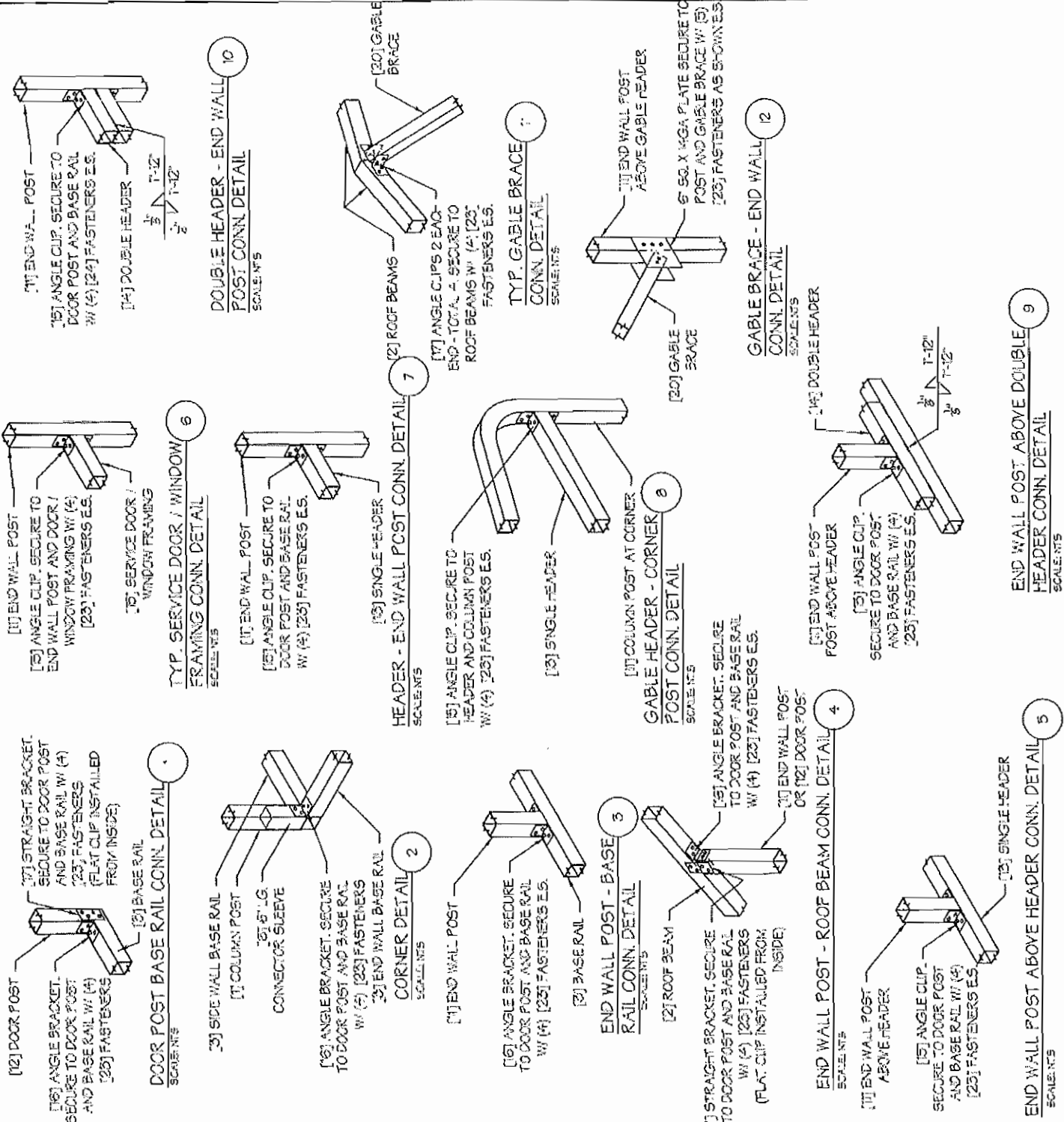
ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY PROHIBITED. ANYONE USING THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE DRAFTER SHALL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW. DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:

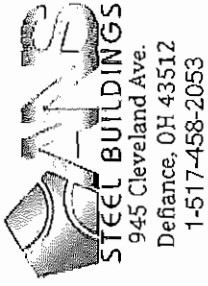


STAMP EXPIRY: DEC 31, 2021

DATE SIGNED: MAY 7, 2021



MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
CIVIL-STRUCTURAL
6335 Sandusky Road, Toledo, OH 43629
Tel: 419-251-1547 • Fax: 419-251-1545
www.aandaa.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF OHIO

PROJECT NO.: 070-2-1324

SHEET TITLE:

CORNER BRACING
DETAILS

SHEET NO.: 9 / 11

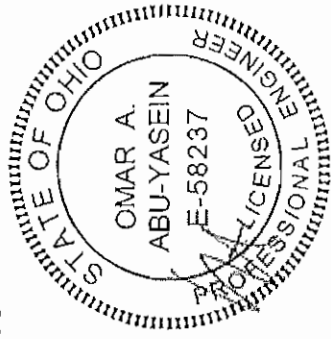
DRAWN BY: AW DATE: 5/17/21

CHECKED BY: OAA DATE: 5/17/21

LEGAL INFORMATION

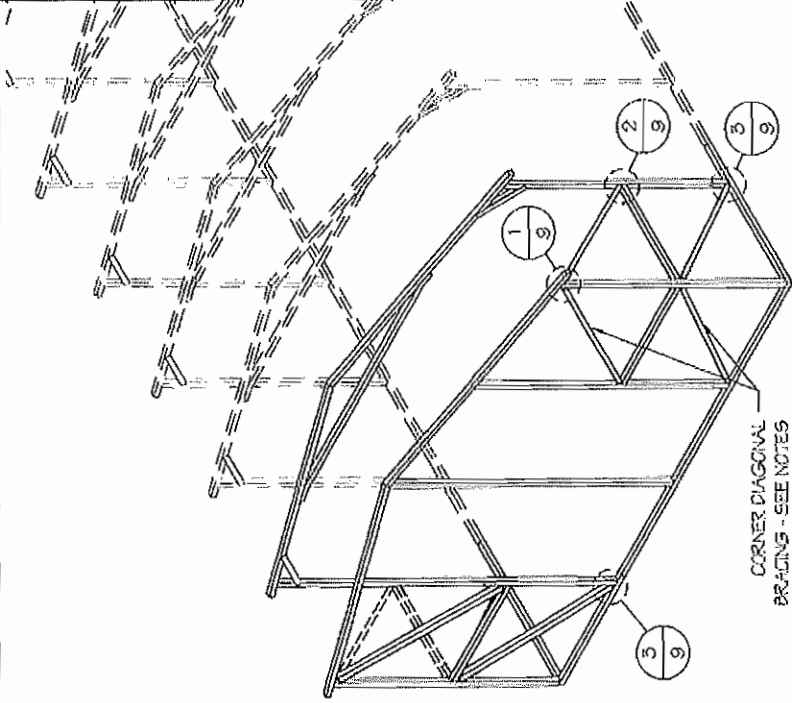
- ANY REPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY PROHIBITED. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL FORCE OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF SEAL.

SEAL:



STAMP EXPIRY: DEC 31, 2021

DATE SIGNED: MAY 7, 2021



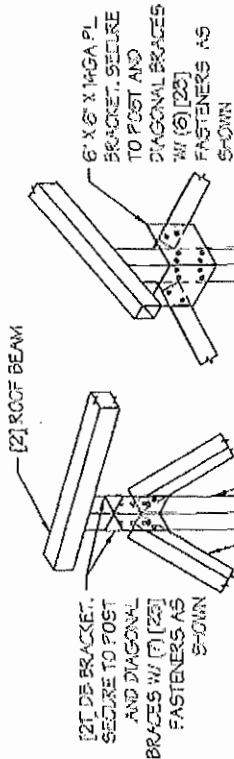
CORNER DIAGONAL BRACING - SEE NOTES FOR REQUIREMENTS

DIAGONAL BRACING AT CORNERS

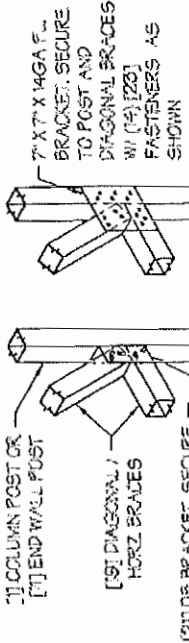
SCALE: NTS

CORNER BRACING NOTES:

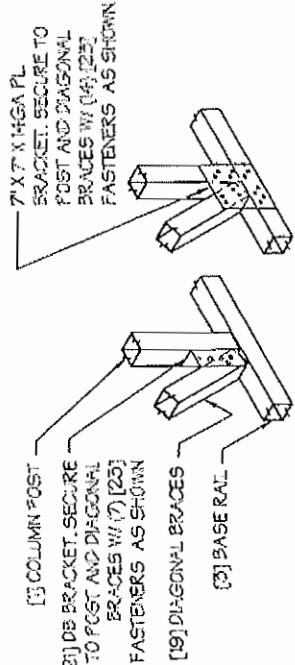
- DIAGONAL BRACING AT BUILDING CORNERS IS REQUIRED FOR ALL BUILDINGS IN LOCATIONS WHERE WIND SPEED IS 140 MPH OR GREATER.
 - FOR 3 SIDED ENCLOSED BUILDINGS, 140 MPH OR GREATER WIND SPEED - THE BUILDING MUST BE DESIGNED WITH OPEN BUILDING SPACING AND DIAGONAL BRACING IS REQUIRED ON ALL ENCLOSED WALLS.
- SIDE-WALL DIAGONAL BRACING IS REQUIRED WHEN THE ADJACENT END-WALL IS PARTIALLY ENCLOSED.
- ALL BUILDINGS WITH IRREGULAR ENCLOSURE (SEE SHEET 5) WILL REQUIRE SIDE-WALL BRACING CLOSE TO THE PARTIALLY ENCLOSED END-WALL.



DIAGONAL BRACE TOP CORNER CONN. DETAIL* 1



DIAGONAL BRACE - POST CONN. DETAIL* 2



DIAGONAL BRACE BOT. CORNER CONN. DETAIL* 3

* INSIDE VIEW SHOWN FOR CLARITY

MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
CIVIL - STRUCTURAL
6337 Remembrance Park, Toledo, OH 43623
Tel: 419-524-1530 • Fax: 419-529-2052
www.aandaa.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF OHIO

PROJECT NO.: 070-213884

SHEET TITLE:

OPTIONAL LEAN-TO
ADDITION

SHEET NO.: 10 / 11

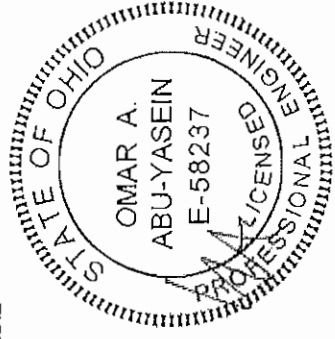
DRAWN BY: AW DATE: 5/7/21

CHECKED BY: OAA DATE: 5/7/21

LEGAL INFORMATION

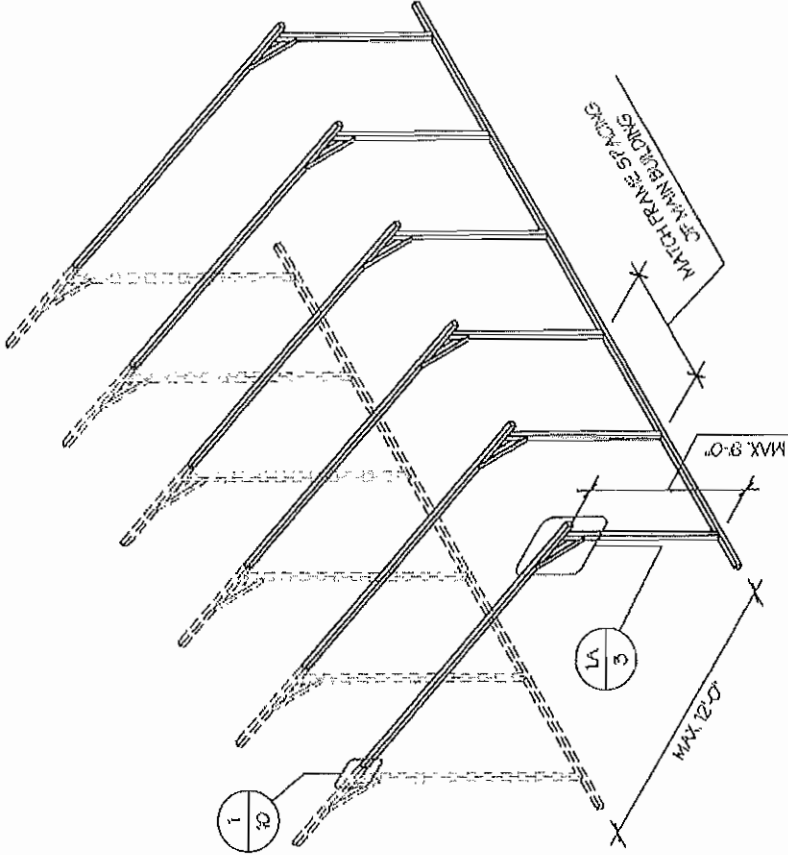
- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY PROHIBITED. ANY RE-EDITS SO MADE WILL BE PROSECUTED UNDER THE FULL STRIKE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE

SEAL:



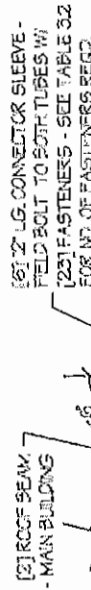
STAMP EXPIRY: DEC 31, 2021

DATE SIGNED: MAY 7, 2021



OPTIONAL LEAN-TO ADDITION

SCALE: NTS



[6] 6\" LG. CONNECTOR SLEEVE - FIELD BOLT W/ [20] FASTENERS E.S. - SEE TABLE 3.2 FOR NO. OF FASTENERS REQ.

LEAN-TO ATTACHMENT DETAIL

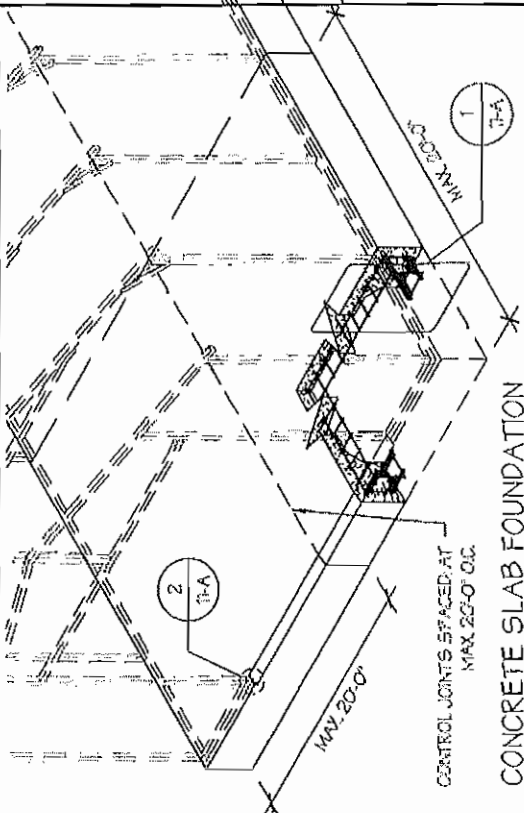
SCALE: NTS

LEAN-TO ADDITION NOTES:

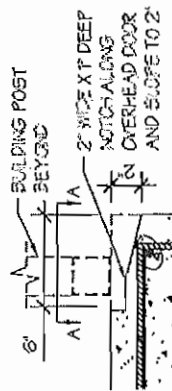
1. LEAN-TO ADDITIONS CAN BE ADDED ON EITHER OR BOTH SIDES OF THE BUILDING.
2. ROOF SLOPE, PURLIN, GIRT AND FRAME SPACING OF THE ADDITION HAVE TO MATCH THAT OF THE MAIN STRUCTURE.
3. IF THE LEAN-TO ADDITION IS "OPEN" (BOTH END WALLS OR SIDE WALL IS NOT ENCLOSED), THE DESIGN OF THE MAIN BUILDING HAS TO USE THE FRAME SPACING OF AN OPEN BUILDING FROM TABLE 4.

CONCRETE SLAB FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE SLAB FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU C CAN BE USED.
- CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND. ONE ANCHOR IS TO BE ON EACH SIDE OF THE COLUMN POST.
- ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 4" SPACING.
- MIN. NUMBER OF CONCRETE ANCHORS PER POST SHALL BE AS SHOWN IN TABLE 11-A-2.
- THE SIZE OF THE SLAB SHALL BE THE SIZE (WIDTH AND LENGTH) OF THE BUILDING PLUS 5" FOR 14GA MATERIAL AND 5" FOR 12GA MATERIAL. DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI @ 28 DAYS.



CONCRETE SLAB FOUNDATION
SCALE: NTS



OVERHEAD DOOR NOTCH DETAIL
SCALE: NTS

TABLE 11-A-1: NOTCH WIDTH

HORIZONTAL/OPEN	VERTICAL
14GA	2 3/4"
12GA	2 7/8"
10GA	3 1/4"
8GA	1 3/4"
6GA	1 7/8"

NOTE: DEPTH IS TO BE 1 1/2"

TABLE 11-A-2: CONCRETE SLAB ANCHOR SCHEDULE

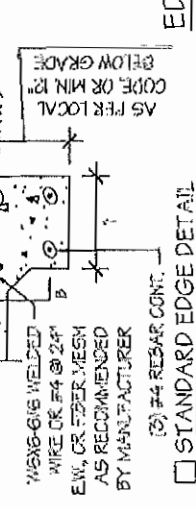
ENCLOSURE	WIND SPEED (MPH)	ANCHOR SIZE NUMBER
ENCLOSED	0 TO 35	(1) 1/2" X 7"
	36 TO 45	(2) 1/2" X 7"
OPEN	0 TO 35	(1) 1/2" X 7"
	36 TO 45	(2) 1/2" X 7"

- NOTES:
- ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
 - MIN. EMBEDMENT DEPTH TO BE 2E.
 - ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.

TABLE 11-A-3: NOTCH WIDTH

HORIZONTAL/OPEN	VERTICAL
14GA	2 3/4"
12GA	2 7/8"
10GA	3 1/4"
8GA	1 3/4"
6GA	1 7/8"

NOTE: DEPTH IS TO BE 1 1/2"



EDGE OFFSET DETAIL
SCALE: NTS

MANUFACTURED BY:

RAMS
STEEL BUILDINGS
945 Cleveland Ave.
Defiance, OH 43512
1-517-458-2053

ENGINEERED BY:

A&A ENGINEERING
CIVIL - STRUCTURAL
ONE Independence Blvd., Wapakoneta, OH 45389
TEL: 937-533-1553 • FAX: 937-533-0545
WWW.A&A-ENG.COM

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
LOCATION: STATE OF OHIO
PROJECT NO.: 070-2-1384
SHEET TITLE: FOUNDATION OPTION 1: CONCRETE SLAB
SHEET NO.: 11-A.1
DRAWN BY: AW DATE: 5/7/21
CHECKED BY: OAA DATE: 5/7/21

LEGAL INFORMATION

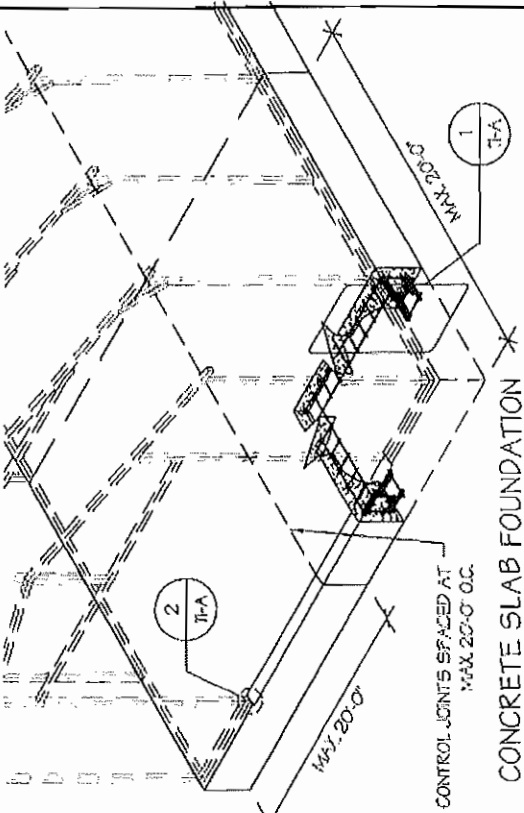
ANY DEVIATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW. DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

STATE OF OHIO
OMAR A. ABU-YASEIN
E-58237
LICENSED PROFESSIONAL ENGINEER

STAMP EXPIRY: DEC 31, 2021
DATE SIGNED: MAY 7, 2021

CONCRETE SLAB FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE SLAB FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU C CAN BE USED.
- CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL. IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND, ONE ANCHOR IS TO BE ON EACH SIDE OF THE COLUMN POST. ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 4" SPACING.
- MIN. NUMBER OF CONCRETE ANCHORS PER POST SHALL BE AS SHOWN IN TABLE 11-A1.
- THE SIZE OF THE SLAB SHALL BE THE SIZE (WIDTH AND LENGTH) OF THE BUILDING PLUS 2" FOR 14GA MATERIAL AND 1" FOR 12GA MATERIAL.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
- CONTROL JOINTS SHALL BE PLACED 90 AS TO LIMIT MAX SLAB SPANS TO 20' IN EACH DIRECTION.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI @ 28 DAYS.



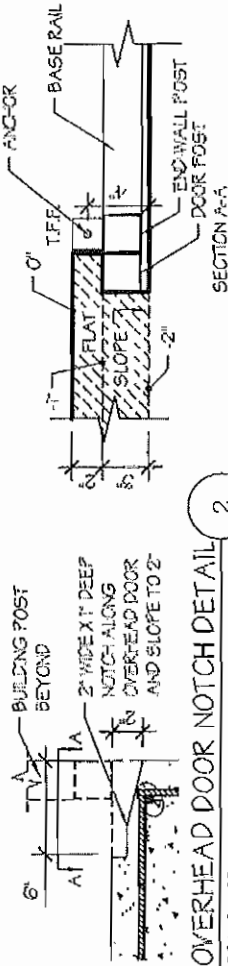
CONCRETE SLAB FOUNDATION

SCALE: NTS

TABLE 11-A1: CONCRETE SLAB ANCHOR SCHEDULE

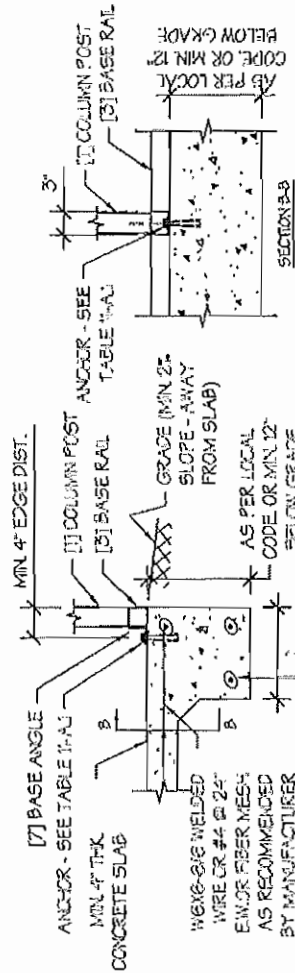
ENCLOSURE	WIND SPEED (MPH)	ANCHOR SIZE/NUMBER
ENCLOSED	105 TO 135	(1) 1/2" Ø X 7"
	136 TO 160	(2) 1/2" Ø X 7"
OPEN	105 TO 135	(1) 1/2" Ø X 7"
	136 TO 160	(2) 1/2" Ø X 7"

- NOTES:
- ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
 - MIN. EMBEDMENT DEPTH TO BE 25'.
 - ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.



OVERHEAD DOOR NOTCH DETAIL

SCALE: NTS



EDGE FLUSH DETAIL

SCALE: NTS

MANUFACTURED BY:



ENGINEERED BY:



A&A ENGINEERING
 CIVIL - STRUCTURAL
 6036 Reservoir Drive, Toledo, OH 43623
 Tel: 419-291-1885 • Fax: 419-291-9553
 www.aandae.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF OHIO

PROJECT NO.: 070-21-1384

FOUNDATION OPTION 1:
 CONCRETE SLAB

SHEET NO.: 11-AJ 11

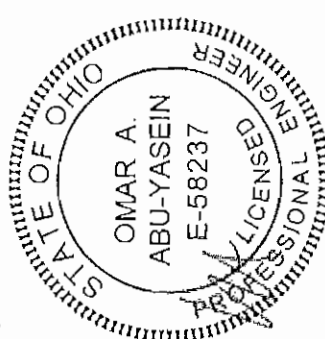
DRAWN BY: AW DATE: 5/7/21

CHECKED BY: QAA DATE: 5/7/21

LEGAL INFORMATION

ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY PROHIBITED. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW. DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



STAMP EXPIRES: DEC 31, 2021

DATE SIGNED: MAY 7, 2021

MANUFACTURED BY:



ENGINEERED BY:



AKA ENGINEERING
CIVIL - STRUCTURAL
4076 Remondino Drive, Toledo, OH 43623
TEL: 419-252-1888 • Fax: 419-252-3442
www.aka-engineering.com

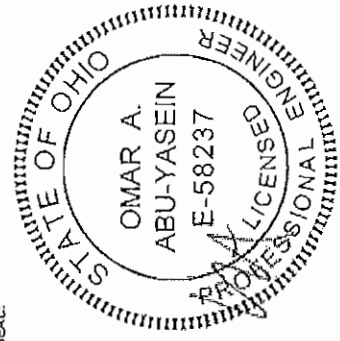
DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
LOCATION: STATE OF OHIO
PROJECT NO.: 070-21-1384
SHEET TITLE: FOUNDATION OPTION 2:
CONCRETE STRIP
SHEET NO.: 11-B / 11
DRAWN BY: AW DATE: 5/7/21
CHECKED BY: OAA DATE: 5/7/21

LEGAL INFORMATION

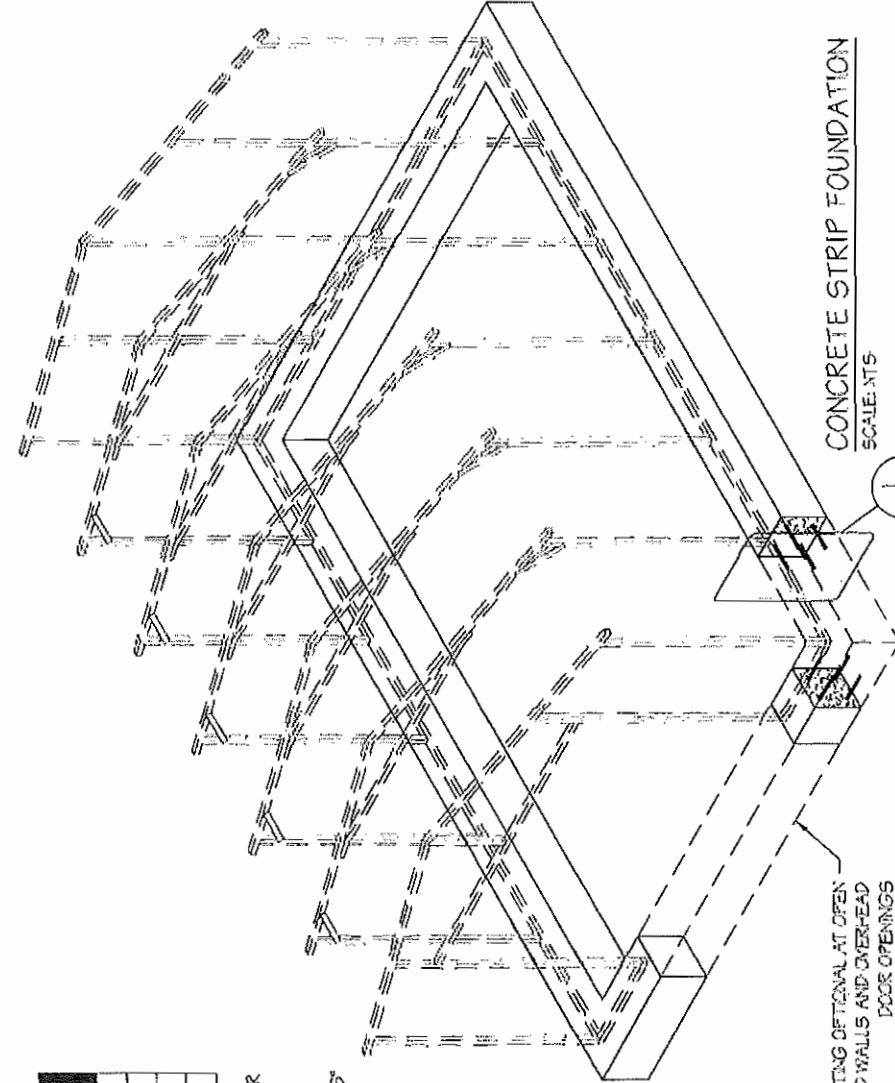
* ANY PORTION OF THIS DRAWING IN WHICH OR PART IS STRICTLY FOR CONSULTATION SHALL BE PROSECUTED UNDER THE FULL OR PART OF THE LAW. - DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:

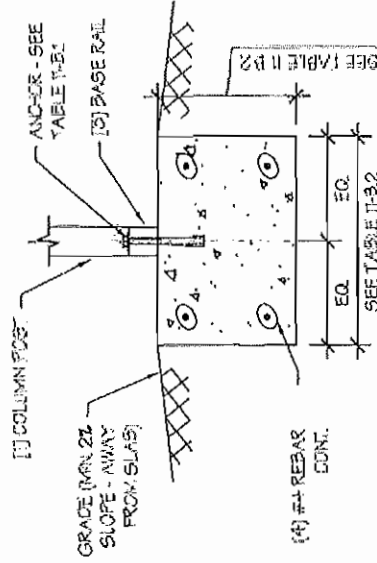


STAMP EXPIRY: DEC 31, 2021

DATE SIGNED: MAY 7, 2021



CONCRETE STRIP FOUNDATION
SCALE: NTS



CONCRETE STRIP FOUNDATION DETAIL
SCALE: NTS

TABLE 11-B.1: ANCHOR SCHEDULE

ENCLOSURE	WIND SPEED (MPH)	ANCHOR SIZE/NUMBER
ENCLOSED	105 TO 135	(1) 1/2" X 7"
	136 TO 180	(2) 1/2" X 7"
OPEN	105 TO 135	(1) 1/2" X 7"
	136 TO 180	(2) 1/2" X 7"

NOTES:

- ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
- MIN EMBEDMENT DEPTH TO BE 2x.
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.

TABLE 11-B.2: CONC. STRIP SCHEDULE

WIND SPEED (MPH)	MIN. SIZE REQ'D.
105 TO 130	12" X 12"
140 TO 155	18" X 12"
165 TO 180	26" X 12" 21" X 18" 18" X 18"

NOTES:

- WIDTH AND DEPTH DIMENSIONS CAN BE INTERCHANGED.

CONCRETE STRIP FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE STRIP FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS T-1A THRU C CAN BE USED.
- CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND. ONE ANCHOR IS TO BE ON EACH SIDE OF THE COLUMN POST.
- MIN. NUMBER OF CONCRETE ANCHORS PER POST SHALL BE AS SHOWN IN TABLE 11-B.1.
- ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 2" SPACING.
- DEPTH OF CONCRETE STRIP FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI @ 28 DAYS.
- BUILDING IS TO BE MOUNTED ON THE CENTER OF THE STRIP FOUNDATION.

MANUFACTURED BY:

STAIN
STEEL BUILDINGS
 945 Cleveland Ave.
 Defiance, OH 43512
 1-517-458-2053

ENGINEERED BY:



ARA ENGINEERING
 CIVIL-STRUCTURAL
 6810 Ambassador Drive, Toledo, OH 43628
 Tel: 419-235-1888 • Fax: 419-235-1891
 www.ara-engineering.com

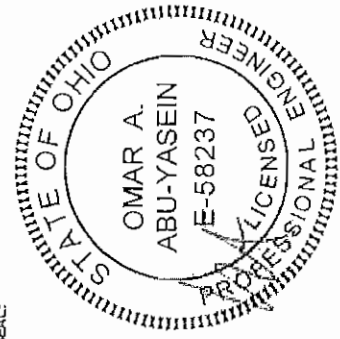
DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
 LOCATION: STATE OF OHIO
 PROJECT NO.: 070-21-1384
 SHEET TITLE:
 FOUNDATION OPTION 3:
 CONCRETE PIERS
 SHEET NO.: 11-C 1
 DRAWN BY: AW DATE: 5/17/21
 CHECKED BY: OAA DATE: 5/17/21

LEGAL INFORMATION

* ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY PROHIBITED. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
 * DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE

SEAL:



STAMP EXPIRY: DEC 31, 2021
 DATE SIGNED: MAY 7, 2021

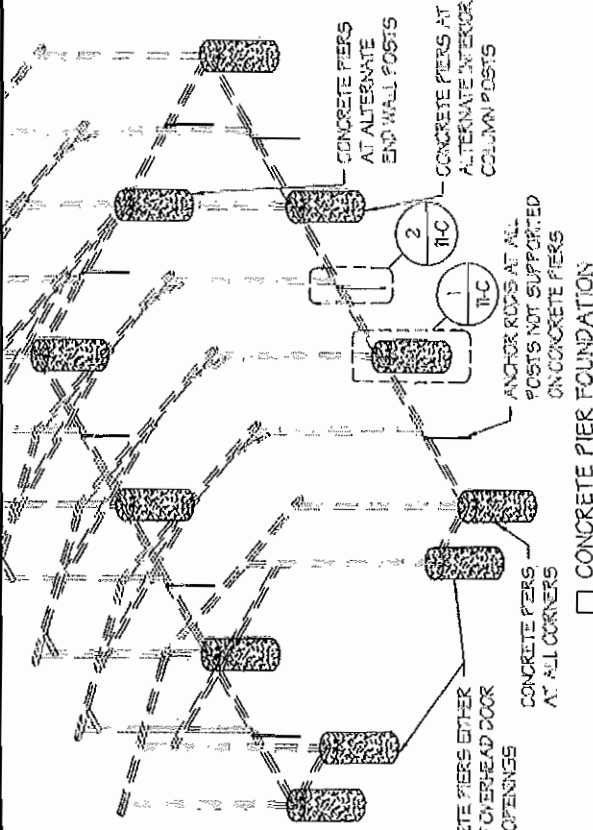


TABLE 11-C2: ANCHOR SCHEDULE

ENCLOSURE	WIND SPEED (MPH)	ANCHOR SIZE (NUMBER)
ENCLOSED	D125 TO 135	(1) 1/2" X 7'
	D136 TO 150	(2) 1/2" X 7'
OPEN	D105 TO 135	(1) 1/2" X 7'
	D136 TO 180	(2) 1/2" X 7'

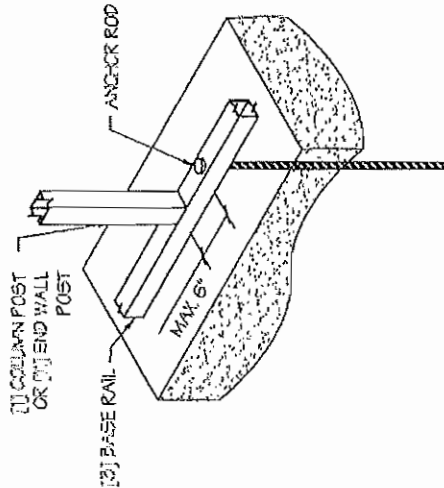
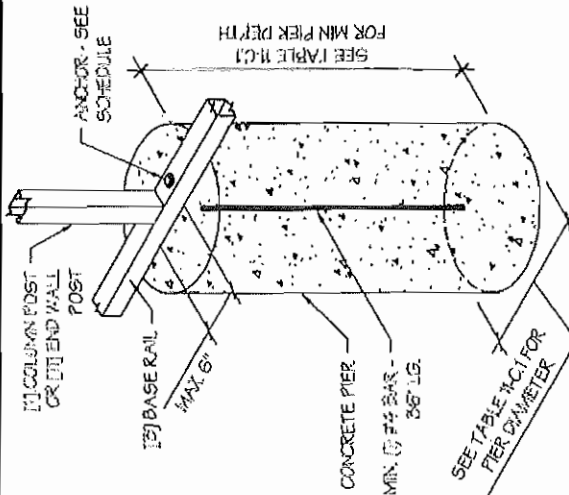
NOTES:

- ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
- MIN. EMBEDMENT DEPTH TO BE 25" FROM POSTS.
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.

CONCRETE PIER FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE PIER FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS T-1A THROUGH T-1C CAN BE USED.
- CONCRETE PIERS SHALL BE LOCATED AT ALL 4 CORNERS, ON EACH SIDE OF OVERHEAD DOOR OPENINGS AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
- TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND. ONE ANCHORS TO BE ON EACH SIDE OF THE COLUMN POST WITH A PIER.
- ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 4" SPACING.
- MIN. NUMBER OF CONCRETE ANCHORS PER POST WITH A PIER SHALL BE AS SHOWN IN TABLE 11-C2.
- TWO ANCHORS AND A PIER ARE REQUIRED AT DIAGONAL BRACING LOCATIONS WHEN REQUIRED.
- ALL POSTS NOT SUPPORTED ON CONCRETE PIERS SHALL BE ANCHORED TO THE GROUND WITH A 1/2" X 30" LG. TREATED ROD. RODS WILL HAVE A PRE-FORMED HEAD AT THE TOP AND ONE COAT OF RUST PROOF MATERIAL. PIERS SHALL BE FORMED BY DIGGING A HOLE OF THE SAME SIZE AS THE PIER ON LEVEL GRADE AND FILLING IT WITH CONCRETE. TREAT ROD ANCHORS SHOULD BE DROPPED INTO THE PIERS PRIOR TO POURING THE CONCRETE.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 3000 PSF.
- CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI @ 28 DAYS.

CONCRETE PIER DETAIL 1
 SCALE: NTS



ANCHOR ROD INTO SOIL DETAIL 2
 SCALE: NTS

TABLE 11-C1: CONC. PIER SCHEDULE

WIND SPEED (MPH)	MIN. SIZE (REQD.)
D105 TO 130	1 1/2" X 36"
D140 TO 155	1 1/2" X 42"
D165 TO 180	1 1/2" X 48"

MANUFACTURED BY:



ENGINEERED BY:



DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF OHIO

PROJECT NO.: 070-21-1384

SHEET TITLE:

**FOUNDATION OPTION 4:
SOIL ANCHORS**

SHEET NO.: 11-D / 11

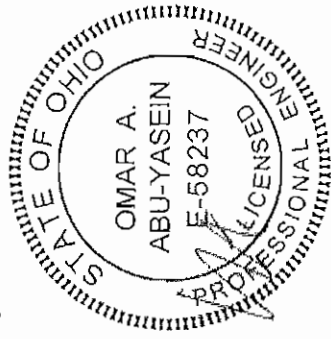
DRAWN BY: AW DATE: 5/17/21

CHECKED BY: GAA DATE: 5/17/21

LEGAL INFORMATION

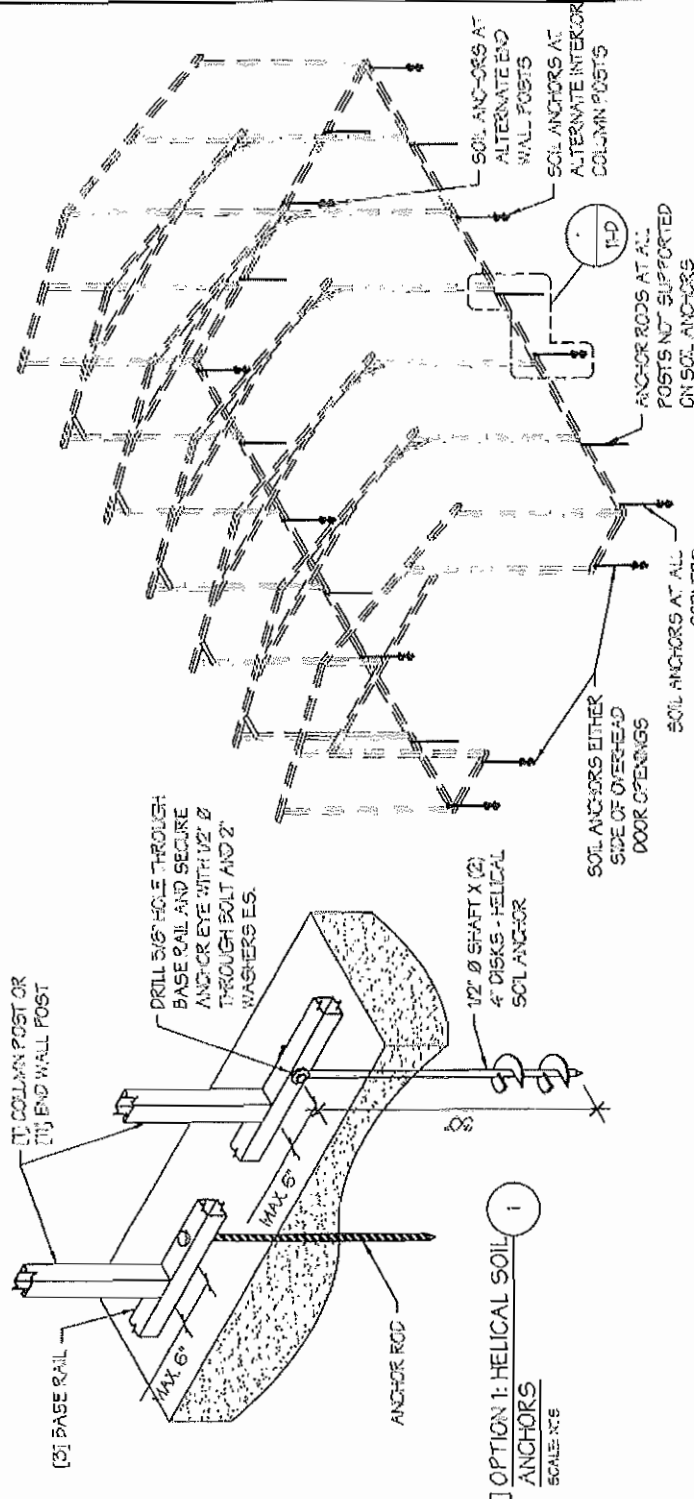
- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:

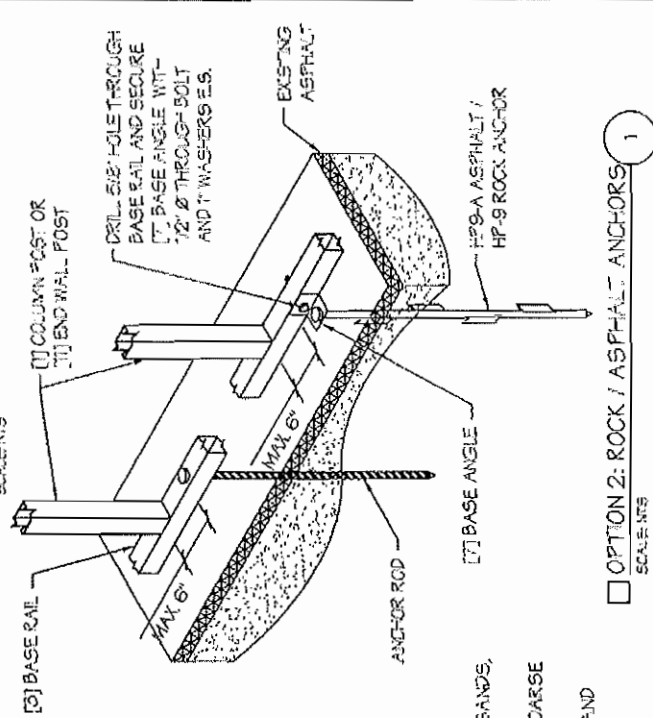


STAMP EXPIRY: DEC 31, 2021

DATE SIGNED: MAY 7, 2021



SOIL FOUNDATION



SOIL FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR SOIL ANCHOR FOUNDATION.
- SOIL ANCHORS (HELICAL OR ROCK/ASPHALT) SHALL BE LOCATED AT ALL 4 CORNERS. ON EACH SIDE OF OVERHEAD DOOR OPENINGS, ON POSTS WITH DIAGONAL BRACING IF REQUIRED, AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
- HELICAL ANCHORS ARE TO BE USED ONLY IF THE DRIVING TORQUE INTO THE GROUND IS 150 FT-LBS OR GREATER. MANUFACTURER IS NOT RESPONSIBLE FOR SOIL QUALITY AT SITE.
- HELICAL ANCHORS CAN ONLY BE USED FOR CLASS 2, 3 & 4 SOILS (SEE SOIL CLASSIFICATION THIS PAGE).
- ALL POSTS WITH NO ANCHORS ADJACENT SHALL BE ANCHORED TO THE GROUND WITH A 1/2" X 50" LG. ROD. RODS WILL HAVE A PRE-FORMED HEAD AT THE TOP AND ONE COAT OF RUST PROOF MATERIAL.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.

SOIL CLASSIFICATIONS:

SOIL CLASS	DESCRIPTION
2	SANDY GRAVEL AND GRAVEL, VERY FINE DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL/CORBLES, PRELOADED SILTS, CLAYS AND CORAL.
3	SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, MEDIUM DENSE COARSE SANDS, SANDY GRAVEL, VERY STIFF SILT AND SANDY CLAYS.
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS AND ALLUVIAL FILLS.

FROM HUD MODEL MANUFACTURED HOME INSTALLATION STANDARDS

OPTION 2: ROCK / ASPHALT ANCHORS
SCALE: NTS

1

**City of Newark
Zoning Application**

Reference # Z-2022-0172

Date Entered: 12/6/2022 1:05:00 PM

Property Details

Property Address: 1851 TAMARACK RD, NEWARK, OH 43055

Auditor's Parcel # 5421666603001

Property Type: Business/Commercial

Zone: LI

Flood Hazard Area? Not Applicable **Flood Zone:** X

Board of Zoning Appeals (BZA) variance granted for this project? No

If Yes, BZA Application #

BZA Date:

Property Owner's Details

Complete Name: FOUR M MANUFACTURING GROUP INC,

Address: FOUR M MANUFACTURING GROUP INC,, P.O. Box 2118, Memphis TN 38101

Phone # (901) 419-8944

Email: andrew.coffman@ipaper.com

Applicant's Details

Is the applicant the owner? No

Name: Michael Lee

Address: 12 Sunnen Drive, St. Louis, MO 63143

Phone # (314) 960-0195

Email: mike.lee@thecdcompanies.com

Contractor's Details

Is the contractor the applicant? No

Name: TBD

Address: , ,

Phone #

Email:

Architect's Details

Name: CASCO - Mark Bromeier - POR

Address: 12 Sunnen Drive, STE 100, St. Louis, MO 63143

Phone # (314) 821-1100
Email: mark.bromeier@thecdcompanies.com

Engineer's Details

Name: CASCO - Mark Spalinger - POR
Address: 12 Sunnen Drive, STE 100 St. Louis MO 63143
Phone # (314) 821-110_
Email: mark.spalinger@thecdcompanies.com

Project Details

Nature of Project: Addition

Last or present Occupancy or Use: Group F - INdustrial

Proposed Occupancy or Use: Commercial Building

Description of Project: The building is operated by International Paper for manufacturing of cardboard packing box material and prefinished box container for use by other shipping manufacturers or warehouse distributors. The proposed project includes an interior remodel, for replacing and relocating equipment and a new 4,176 square foot structure constructed adjacent and to be attached to the existing building. The new building is intended to be constructed utilizing a pre-engineered metal building with the exterior walls constructed of masonry block for durability. The interior of the existing facility will receive new equipment, which will process multiple sizes of cardboard shipping box sizes. The new equipment has the ability to produce multiple sizes of box material, pre-folded to satisfy the order requirements of the client. The location for the building addition is placed for the interior operations and adjacent to the office area and provides the opportunity to correct a sanitary sewer issue originally constructed with the building allowing for the separation of the facility production waist water from the office sanitary sewer, which is currently connected together under the office building area. Set backs are not an issue and the additional building once constructed will not be seen from the public street. The building is proposed to be located in a grass lawn area and does not displace any trees or existing parking. The addition also provides a upgraded covered (324 SF) patio area outside of the employee breakroom for use by employees. The current patio area and roof is in need of a remodel.

Project Floor Area

Basement (excluding garage)	
First Floor (excluding garage)	4500
Floor 2, 3, 4, etc.	
Total Project Floor Area	4500.00

Attachments

Site Plans showing the location and uses of all existing buildings as well as any new construction covered under this Certificate Application.

Residential properties: 2 physical copies of the Site Plan are required.

Business/Commercial properties: 1 physical copy of the Site Plan and 1 digital copy of the Site

Plan are required.

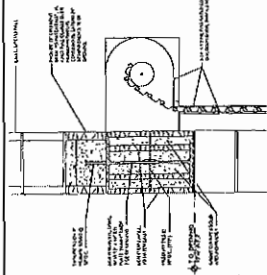
Fee

Application Fee	\$22.50
Project Fee	\$405.00
Total Structure Fee	\$427.50

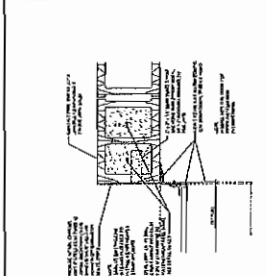
Acknowledgement

I understand that no excavation, construction, or structural alteration, electrical or mechanical installation or alteration of any building, structure, sign, or part thereof and no use of the above shall be undertaken or performed until the certificate applied for herein has been approved and issued by the City of Newark. Property pins must be present prior to inspection.

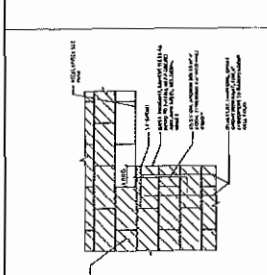
I HEREBY ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE ABOVE LISTED INSTRUCTIONS.



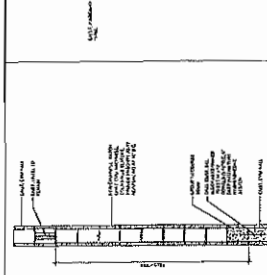
COIL, O.H. DOOR HEAD DETAIL
SCALE: 1/8" = 1'-0"



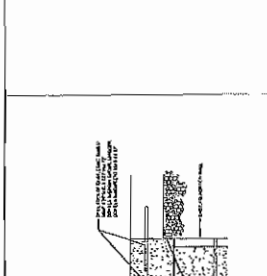
COIL, O.H. DOOR LAMB DETAIL
SCALE: 1/8" = 1'-0"



LINTEL BEARING @ EXIST. WALL DETAIL
SCALE: 1/8" = 1'-0"



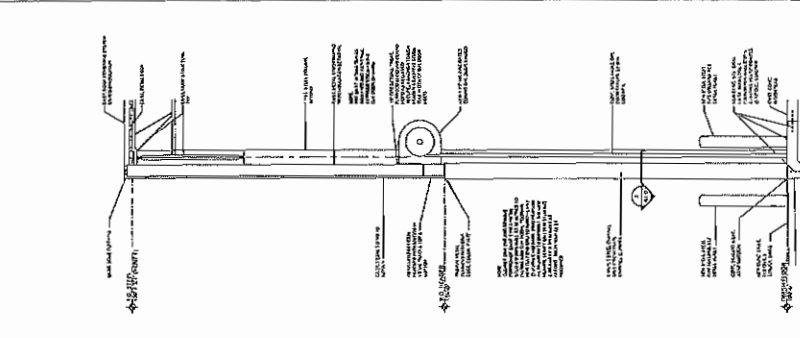
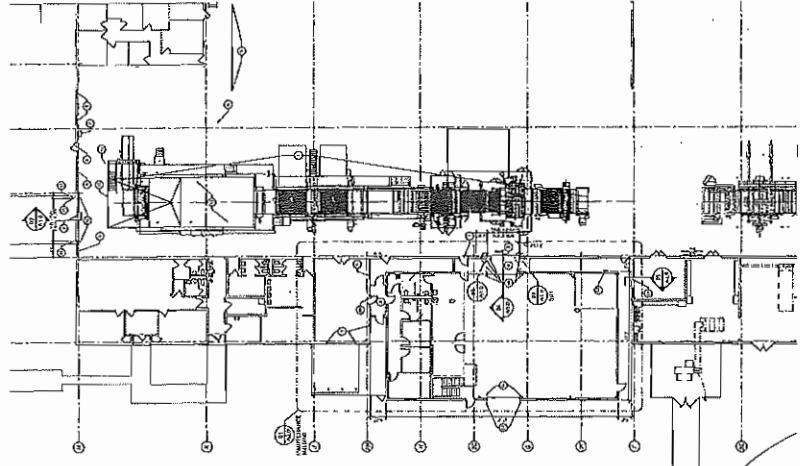
WALL INFILL DETAIL
SCALE: 3/8" = 1'-0"



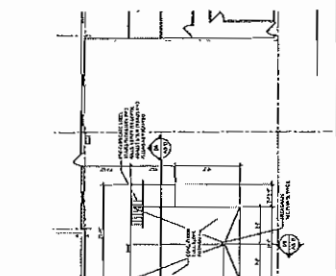
SLAB INFILL DETAIL
SCALE: 1/8" = 1'-0"

CONSTRUCTION KEYED NOTES:

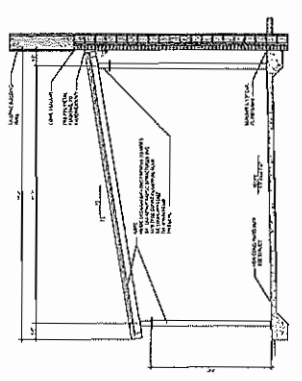
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S INTENT.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL, STATE, AND FEDERAL REGULATIONS.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SAFETY REGULATIONS.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ENVIRONMENTAL REGULATIONS.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE HISTORIC PRESERVATION REGULATIONS.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ACCESSIBILITY REGULATIONS.
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ENERGY EFFICIENCY REGULATIONS.
12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SUSTAINABLE DESIGN REGULATIONS.
13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LEED REGULATIONS.
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE WELL-BEING REGULATIONS.
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE QUALITY MANAGEMENT REGULATIONS.
16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RISK MANAGEMENT REGULATIONS.
17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE COMMUNITY ENGAGEMENT REGULATIONS.
18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SUPPLY CHAIN REGULATIONS.
19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LABOR REGULATIONS.
20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ETHICS REGULATIONS.



WALL SECTION @ O.H. DOOR
SCALE: 3/8" = 1'-0"



EQUIPMENT PIT PLAN
SCALE: 3/8" = 1'-0"

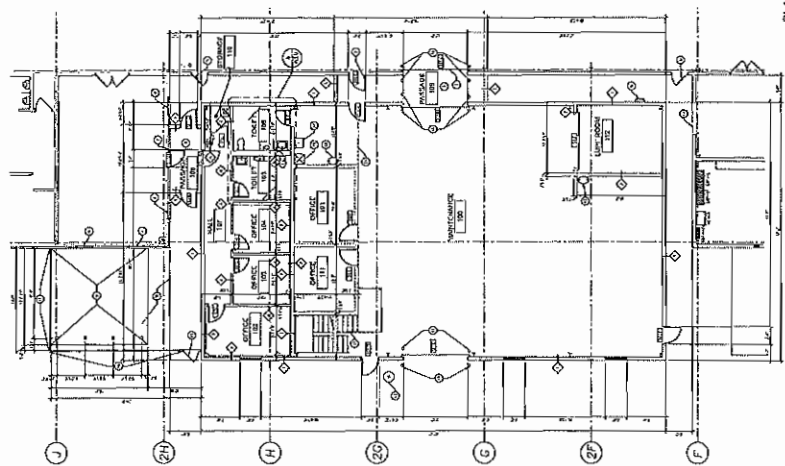


PATIO CANOPY SECTION
SCALE: 3/8" = 1'-0"

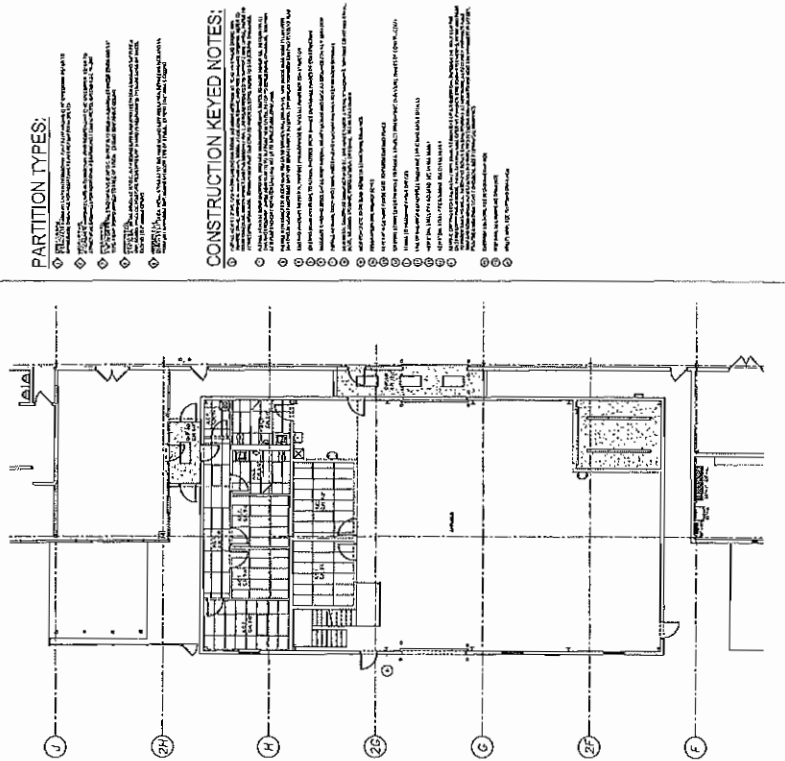
ROOM FINISH SCHEDULE

ROOMS	FLOOR OR BASE	WALL1 MATERIAL	WALL2 MATERIAL	WALL3 MATERIAL	WALL4 MATERIAL	WALL5 MATERIAL	CEILING MATERIAL	CEILING HEIGHT	FINISH	REMARKS
101	LOBBY	001	001	001	001	001	001	10'	001	
102	OFFICE	001	001	001	001	001	001	10'	001	
103	OFFICE	001	001	001	001	001	001	10'	001	
104	OFFICE	001	001	001	001	001	001	10'	001	
105	OFFICE	001	001	001	001	001	001	10'	001	
106	OFFICE	001	001	001	001	001	001	10'	001	
107	OFFICE	001	001	001	001	001	001	10'	001	
108	OFFICE	001	001	001	001	001	001	10'	001	
109	OFFICE	001	001	001	001	001	001	10'	001	
110	OFFICE	001	001	001	001	001	001	10'	001	
111	OFFICE	001	001	001	001	001	001	10'	001	
112	OFFICE	001	001	001	001	001	001	10'	001	
113	OFFICE	001	001	001	001	001	001	10'	001	
114	OFFICE	001	001	001	001	001	001	10'	001	
115	OFFICE	001	001	001	001	001	001	10'	001	
116	OFFICE	001	001	001	001	001	001	10'	001	
117	OFFICE	001	001	001	001	001	001	10'	001	
118	OFFICE	001	001	001	001	001	001	10'	001	
119	OFFICE	001	001	001	001	001	001	10'	001	
120	OFFICE	001	001	001	001	001	001	10'	001	

MEZZANINE FLOOR PLAN
 SCALE: 1/8" = 1'-0"



REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"



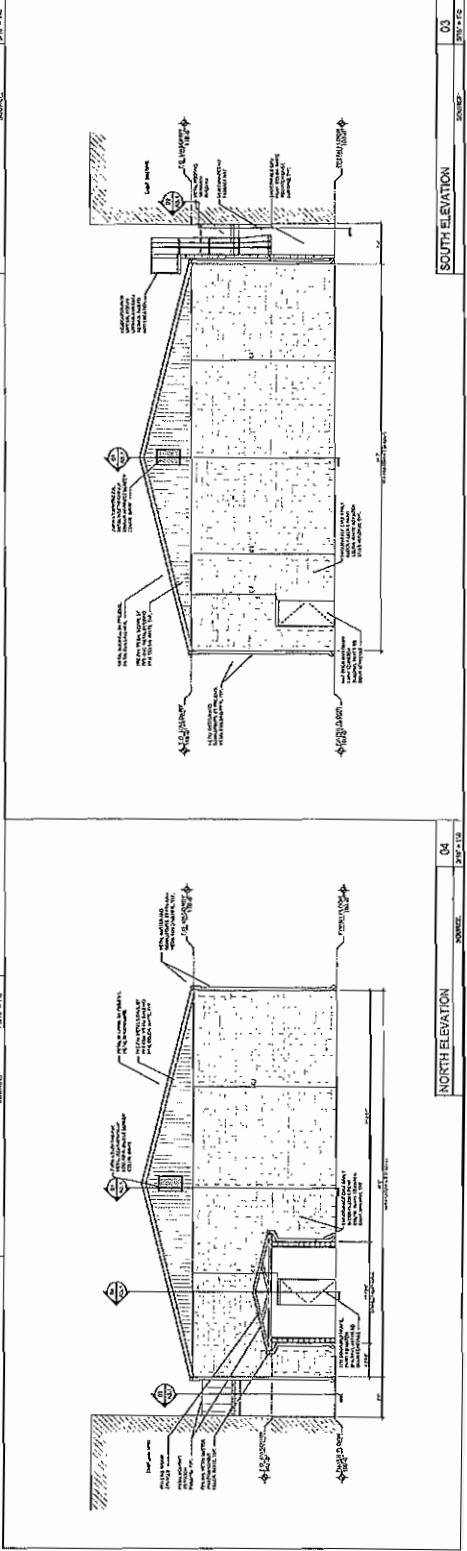
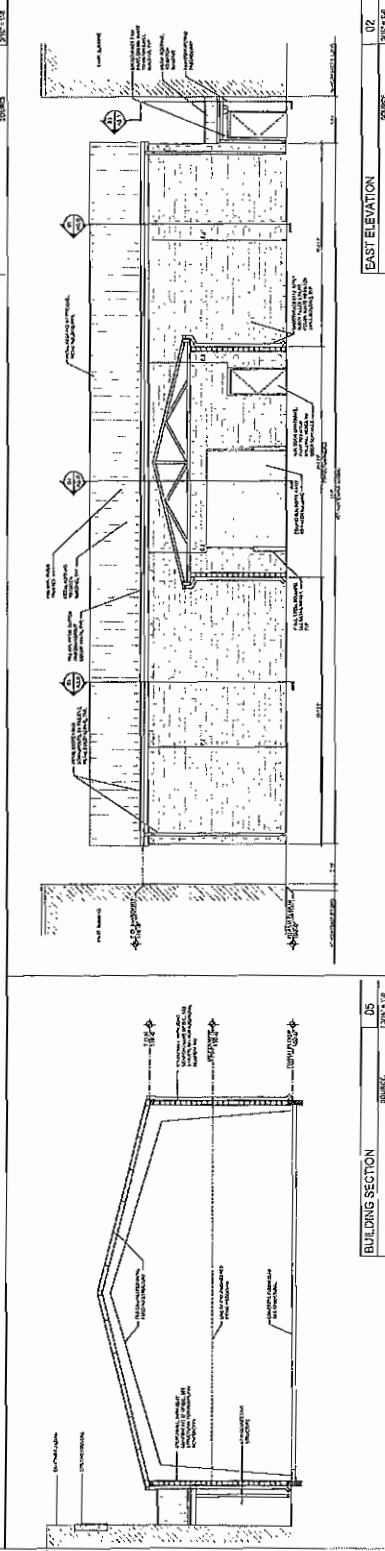
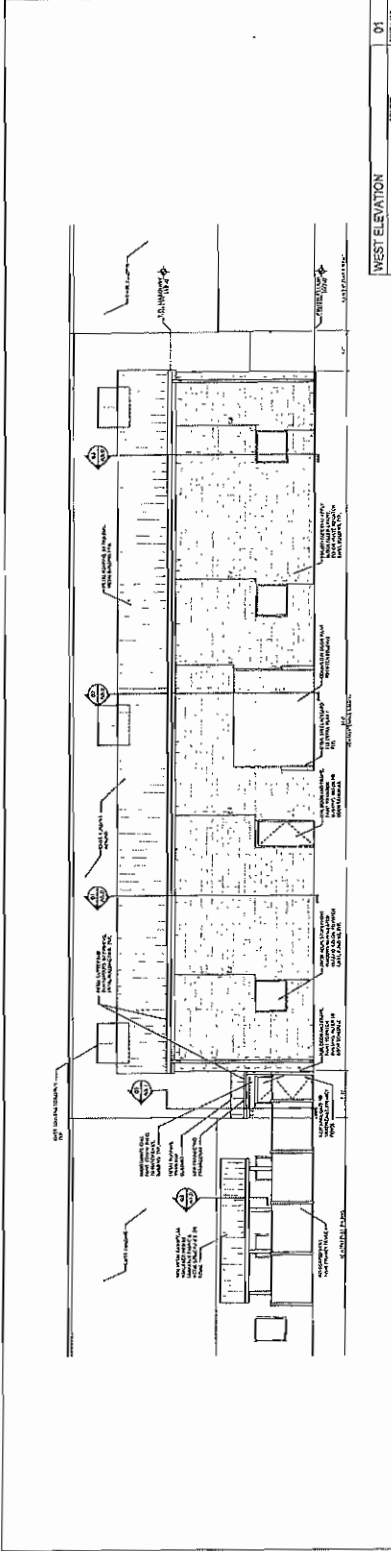
PARTITION TYPES:

- 1. 1/2" Gypsum Board on 2x4 Studs
- 2. 5/8" Gypsum Board on 2x4 Studs
- 3. 1" Gypsum Board on 2x4 Studs
- 4. 1 1/2" Gypsum Board on 2x4 Studs
- 5. 2" Gypsum Board on 2x4 Studs
- 6. 2 1/2" Gypsum Board on 2x4 Studs
- 7. 3" Gypsum Board on 2x4 Studs
- 8. 3 1/2" Gypsum Board on 2x4 Studs
- 9. 4" Gypsum Board on 2x4 Studs
- 10. 4 1/2" Gypsum Board on 2x4 Studs
- 11. 5" Gypsum Board on 2x4 Studs
- 12. 5 1/2" Gypsum Board on 2x4 Studs
- 13. 6" Gypsum Board on 2x4 Studs
- 14. 6 1/2" Gypsum Board on 2x4 Studs
- 15. 7" Gypsum Board on 2x4 Studs
- 16. 7 1/2" Gypsum Board on 2x4 Studs
- 17. 8" Gypsum Board on 2x4 Studs
- 18. 8 1/2" Gypsum Board on 2x4 Studs
- 19. 9" Gypsum Board on 2x4 Studs
- 20. 9 1/2" Gypsum Board on 2x4 Studs
- 21. 10" Gypsum Board on 2x4 Studs
- 22. 10 1/2" Gypsum Board on 2x4 Studs
- 23. 11" Gypsum Board on 2x4 Studs
- 24. 11 1/2" Gypsum Board on 2x4 Studs
- 25. 12" Gypsum Board on 2x4 Studs

CONSTRUCTION KEYED NOTES:

- 1. All walls are to be finished with 1/2" gypsum board on 2x4 studs.
- 2. All ceilings are to be finished with 5/8" gypsum board on 2x4 studs.
- 3. All floors are to be finished with 1/2" gypsum board on 2x4 studs.
- 4. All doors are to be finished with 1/2" gypsum board on 2x4 studs.
- 5. All windows are to be finished with 1/2" gypsum board on 2x4 studs.
- 6. All stairs are to be finished with 1/2" gypsum board on 2x4 studs.
- 7. All elevators are to be finished with 1/2" gypsum board on 2x4 studs.
- 8. All mechanical rooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 9. All electrical rooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 10. All plumbing rooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 11. All fire escape rooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 12. All utility rooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 13. All storage rooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 14. All janitor rooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 15. All restrooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 16. All showers are to be finished with 1/2" gypsum board on 2x4 studs.
- 17. All locker rooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 18. All gymnasiums are to be finished with 1/2" gypsum board on 2x4 studs.
- 19. All auditoriums are to be finished with 1/2" gypsum board on 2x4 studs.
- 20. All theaters are to be finished with 1/2" gypsum board on 2x4 studs.
- 21. All classrooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 22. All lecture halls are to be finished with 1/2" gypsum board on 2x4 studs.
- 23. All conference rooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 24. All meeting rooms are to be finished with 1/2" gypsum board on 2x4 studs.
- 25. All boardrooms are to be finished with 1/2" gypsum board on 2x4 studs.

FLOOR PLAN
 SCALE: 1/8" = 1'-0"



CASCO
125 DOWNSVIEW RD. ST. LOUIS, MO 63143 F 314.221.1300

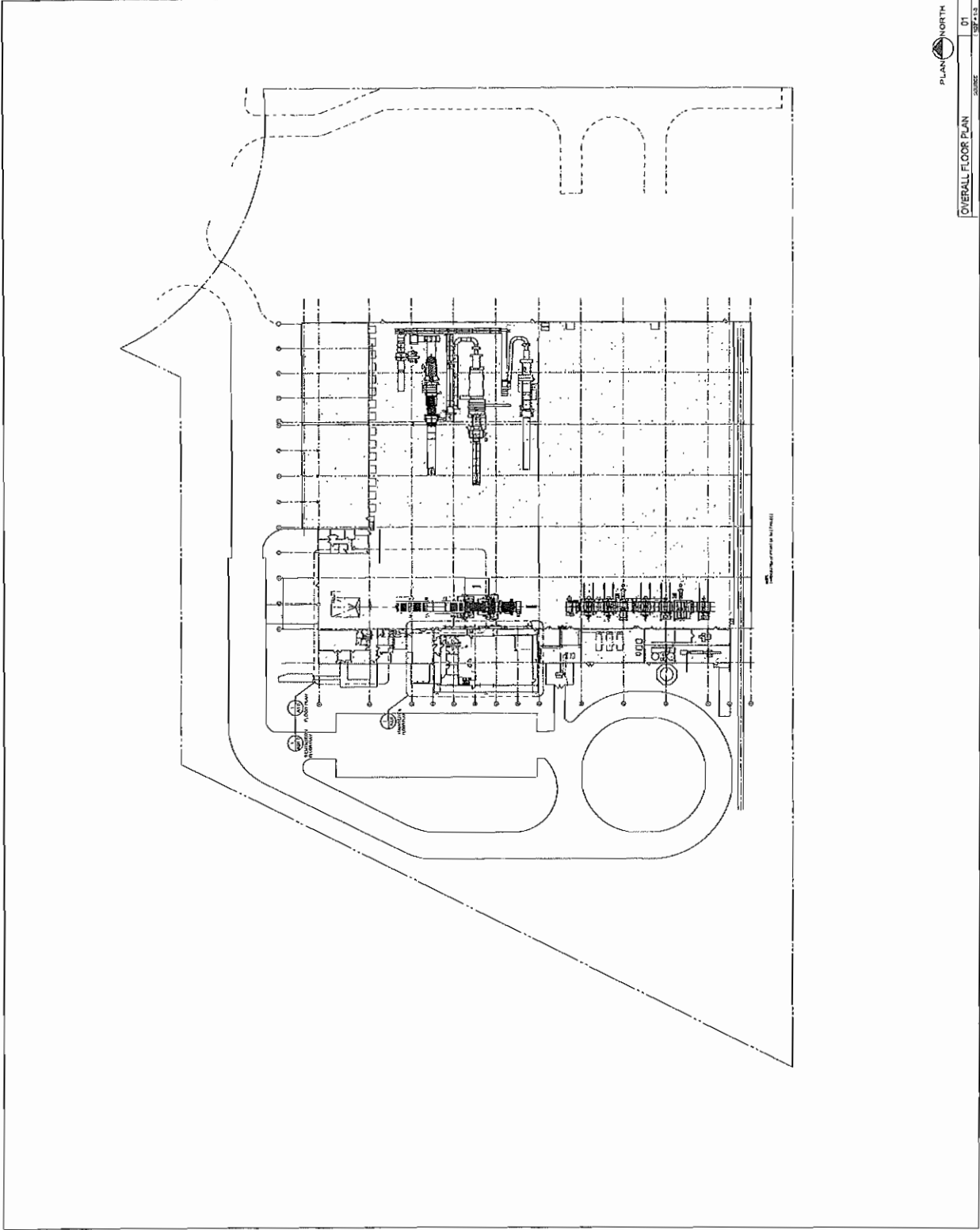
INTERNATIONAL PAPER
1851 TAMARACK ROAD
NEWARK, OH 43055

PROJECT NO. 100-1000
DATE: 10/17/78
DRAWN BY: CASCO/MLB
CHECKED BY: JES
SCALE: AS SHOWN

OVERALL
FLOOR
PLAN

A0.1

PLAN NORTH
OVERALL FLOOR PLAN
DATE: 10/17/78
SCALE: AS SHOWN





CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT

JANUARY 10, 2023 PLANNING COMMISSION MEETING

Application:

1. ***PC FILE 22-58: SITE PLAN FOR FANFOLD EQUIPMENT ADDITION AND MAINTENANCE BUILDING FOR INTERNATIONAL PAPER, 1851 TAMARACK ROAD***

Staff Report & Recommendations:

Overview:

The applicant intends to build new building additions totaling 4,727 SF on the site.

The Site Plan Review Committee submitted comments on 1/5/2023 regarding this application. Reviewers included:

- Mark Mauter, Development Director
- Brandon Metzger, Fire Chief
- Aaron Holman, NFD
- Erik McKee, Police Chief
- Craig Riley, Deputy Police Chief
- Roger Loomis, Utilities Superintendent
- Adam Bernard, Utilities Engineer
- Lindsey Brighton, Stormwater Utility
- Nick Shultz, Street and Traffic Engineer
- Don Hiltner, Senior Engineer
- Brian Morehead, City Engineer
- George Carter, Zoning Inspector

A. **Zoning District:**

This site is zoned Light Industrial District (LI); the proposed use is a permitted use.

Flood Zones: There are no flood zones identified on this site, however there are drainage ditches on the site.

B. **Safety Division Review:**

The Police and Fire Divisions have expressed no concerns with this proposal.

C. **Height Restrictions:**

The height of the proposed structure meets the code requirements.

D. **Lot Area & Setbacks:**

Parcel is approximately 441,699 S.F. +/-, with proposed 30% building coverage, which exceeds the lot density requirements of maximum 25% building coverage. A variance from BZA will be needed before full zoning approval. We have no issues with recommending approval of this item.



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

E. Off-Street Parking & Loading:

The proposed building location does not reduce the existing parking lot areas. Code requires 25 parking spaces, but the total number of available spaces is not listed anywhere on the plans. These areas and counts need to be shown on the plans.

F. Corner Lots:

No structures are proposed at this time in the lot corner area.

G. Landscaping, Buffering & Greenspace:

The existing site is legal non-conforming with regard to the landscape requirements, as there is limited landscaping on this site. The proposed addition will have a minimal effect on the non-conformance, so we consider this acceptable.

H. Public & Private Roadways – Access Management:

All of the proposed driveways are privately owned and maintained.

I. Site Signage:

No signage has been submitted with the proposal.

J. Traffic Control / Street / Right-of-Way Issues:

No changes or additions affecting the traffic flow are proposed.

K. Engineering / Utilities:

New water and sanitary sewer service lines are proposed to be extended from the existing internal building plumbing.

Although there has been no stormwater management plan submitted, the increase in impervious area with this addition is negligible. The drainage will continue to utilize the existing storm drains on the site, and we don't see any negative impact to the adjacent sites, so no further stormwater design is needed. The contractor will have to comply with the City's Stormwater Management requirements for erosion control, etc.

L. Other Standards/Regulations

No other comments at this time.

Recommendations:

Staff recommends approval of this site plan at this time, contingent upon the resolution of the issues listed:

1. BZA variance for increased density approved.
2. Parking space requirements are met on the plans.
3. Compliance with City's Stormwater Management requirements, to ensure runoff water does not adversely impact adjacent properties.



CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT

4. Any of the remaining issues listed above will be addressed on the final construction plans.

If approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

Planning Commission Action on Recommendation:

____ Approved As Submitted

____ Approved As Noted, With Contingencies

____ Denied

Planning Director

Date

**City of Newark
Zoning Application**

Reference # Z-2022-0180

Date Entered: 12/20/2022 11:01:00 AM

Property Details

Property Address: 1701 TAMARACK RD, NEWARK, OH 43055

Auditor's Parcel # 5421667203000

Property Type: Business/Commercial

Zone:

Flood Hazard Area? Not Applicable **Flood Zone:** X

Board of Zoning Appeals (BZA) variance granted for this project? No

If Yes, BZA Application #

BZA Date:

Property Owner's Details

Complete Name: KROGER CO,

Address: 1014 Vine Street FL 7, Cincinnati Ohio 45202

Phone # (303) 375-3918

Email: bryan.shiposh@kroger.com

Applicant's Details

Is the applicant the owner? No

Name: Brook Schroeder

Address: 7614 Opportunity Drive, Fort Wayne, IN 46825

Phone # (260) 497-1544

Email: bschroeder@shambaugh.com

Contractor's Details

Is the contractor the applicant? Yes

Name: Brook

Address: 7614 Opportunity Drive, Fort Wayne, 46825

Phone # (260) 497-1544

Email: bschroeder@shambaugh.com

Architect's Details

Name: Ben Greenberg - MSKTD

Address: 1715 Magnavox way, Fort Wayne, IN 46804

Phone # (260) 432-9337
Email: bmg@msktd.com

Engineer's Details

Name: Kerry Schoeph - MSKTD
Address: 1715 Magnavox Way Fort Wayne IN 46804
Phone # (260) 432-9337
Email: kcs@msktd.com

Project Details

Nature of Project: Addition
Last or present Occupancy or Use: Kroger, Tamarack Farms Dairy
Proposed Occupancy or Use: Same
Description of Project: Kroger, Tamarack Farms Dairy at 1701 Tamarack Road in Newark, Ohio is constructing a new 40,095+ s.f. addition with concrete & asphalt drives, vermin barriers, concrete stoops & walks for doors, stone trailer parking, utilities & mechanical equipment relocations, storm drainage & detention for new addition.

Project Floor Area

Basement (excluding garage)	
First Floor (excluding garage)	40095
Floor 2, 3, 4, etc.	
Total Project Floor Area	40095.00

Attachments

Site Plans showing the location and uses of all existing buildings as well as any new construction covered under this Certificate Application.

Residential properties: 2 physical copies of the Site Plan are required.
Business/Commercial properties: 1 physical copy of the Site Plan and 1 digital copy of the Site Plan are required.

Fee

Application Fee	\$22.50
Project Fee	\$450.00
Total Structure Fee	\$472.50

Acknowledgement

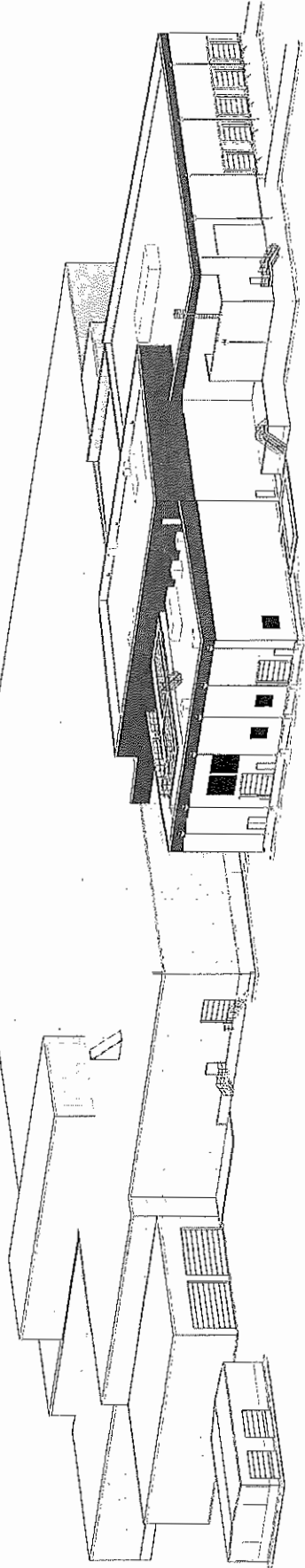
I understand that no excavation, construction, or structural alteration, electrical or mechanical installation or alteration of any building, structure, sign, or part thereof and no use of the above shall be undertaken or performed until the certificate applied for herein has been approved and issued by the City of Newark. Property pins must be present prior to inspection.

I HEREBY ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE ABOVE LISTED

INSTRUCTIONS.

KROGER TAMARACK FARMS DAIRY UHT ADDITION - PART 1

Newark, Ohio
December 15, 2022



SHEET INDEX

- T1-2 Title Sheet - Zoning
- VC-1 Survey
- CO-0 Staging Plan
- CO-1 Stormwater Pollution Prevention Plan
- CO-2 SWPPP Details
- C1-1 Demolition Site Plan
- C2-1 Grading & Utility Site Plan
- C2-2 Civil Utility Details
- C4-1 Developed Site Plan
- C5-1 Civil Details
- A2-1 Overall First Floor Plan
- A4-1 Exterior Elevations
- A4-2 Exterior Elevations



PROJECT: TAMARACK FARMS DAIRY UHT ADDITION
 SHEET: T1-2
 DATE: 12/15/2022



NO.	DATE	DESCRIPTION

Title Sheet - Zoning
 T1-2 0

SANDS DECKER
SURVEYING & ENGINEERING

OFFICES
425 North Grand Street
Lancaster, Ohio 43130
767-3651-3133

1295 Old Heidelberg Road
Columbus, Ohio 43260
81-4-651-9792

207 North Street
Zanesville, Ohio 43145
767-853-1165



SANDS DECKER
SURVEYING & ENGINEERING

OFFICES
425 North Grand Street
Lancaster, Ohio 43130
767-3651-3133

1295 Old Heidelberg Road
Columbus, Ohio 43260
81-4-651-9792

207 North Street
Zanesville, Ohio 43145
767-853-1165

**HORIZONTAL REFERENCE
BASIS OF BEARINGS**
All bearings are based on the Ohio State Plane Spheroidal Datum, which is derived from the North American Datum of 1983.

BENCHMARK REFERENCE
The elevations shown on this plan are based on the National Mean Sea Level Datum.

BENCHMARKS
The following benchmarks were used in the survey:
- B.M. 1: A concrete monument set in the driveway, located at station 1+25.00.
- B.M. 2: A wooden peg set in the corner of the building, located at station 2+00.00.
- B.M. 3: A concrete monument set in the yard, located at station 3+75.00.
- B.M. 4: A wooden peg set in the corner of the driveway, located at station 4+50.00.

UTILITIES
The location of all utilities shown on this plan was determined by a combination of field observation, utility records, and trenching.

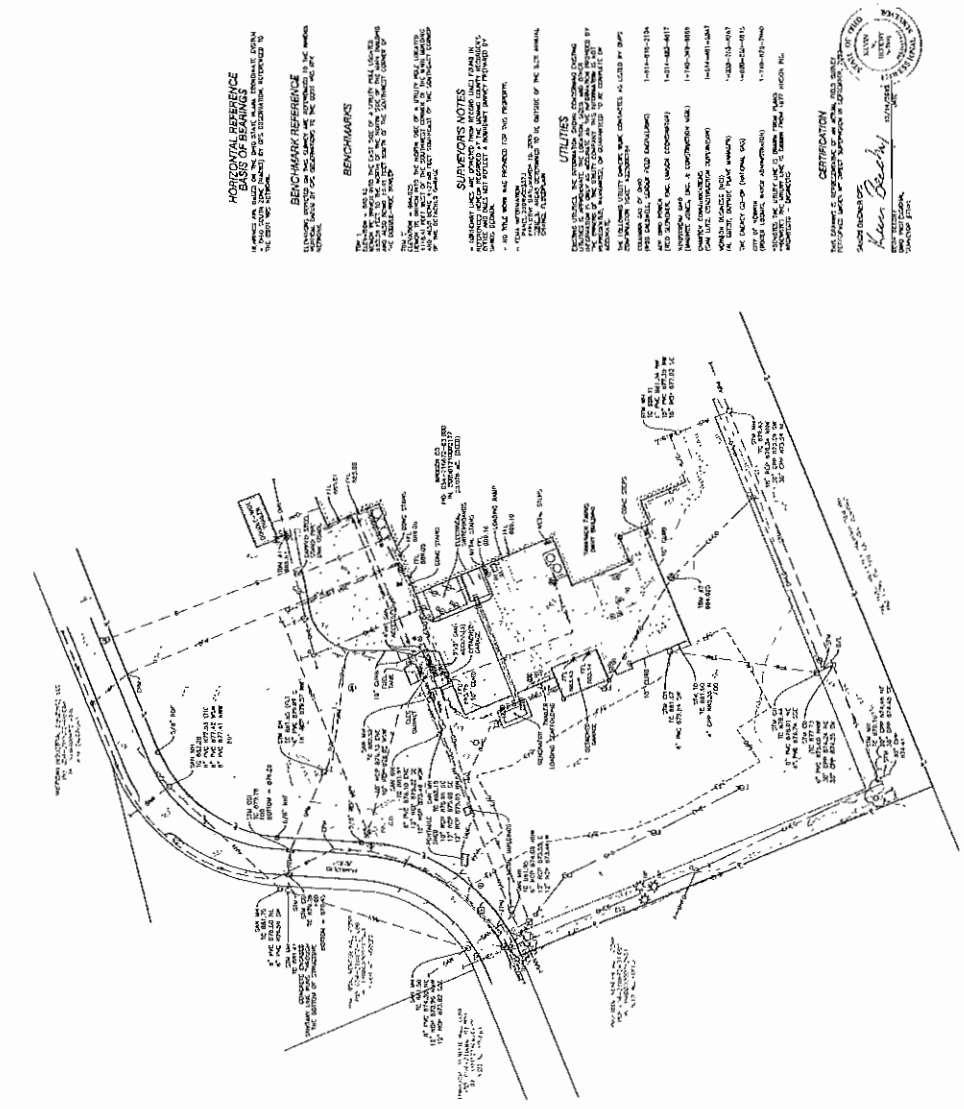
811
Know what's below.
Call before you dig.

**KROGER -
TAMARACK
FARMS DAIRY**
1701 TAMARACK ROAD
NEWARK, OH 43055

TOPOGRAPHIC SURVEY
1 OF 1
25 INCHES X 400

CERTIFICATION
I, the undersigned, being a duly Licensed Professional Surveyor in the State of Ohio, do hereby certify that the foregoing is a true and correct copy of the original survey records on file in my office, and that the same were prepared by me or under my direct supervision and in accordance with the provisions of the laws of this State relating to surveying.

Alex Beach



LEGEND

- PROPERTY LINE
- WALL
- CONCRETE CURB
- DRIVEWAY
- ASPHALT
- CONCRETE
- BRICK
- STONE
- GLASS
- ROOF
- FOUNDATION
- FLOOR
- CEILING
- ELECTRICAL CONDUIT
- WATER PIPE
- SEWER PIPE
- GAS PIPE
- TELEPHONE LINE
- POWER LINE
- FENCE
- DITCH
- ROAD
- PATH
- STREAM
- TREE
- SHRUB
- GRASS
- BARE GROUND

ABBREVIATIONS

- AW WALL
- CG CONCRETE GRADING
- CL CURB
- CR CONCRETE
- DR DRIVEWAY
- FL FLOOR
- FR FOUNDATION
- GL GLASS
- GR GRASS
- GS GROUND SURFACE
- GT GRASS TYPED
- HA HARD ASPHALT
- HW HARDWOOD
- IL INTERIOR LIGHT
- LN LINE
- LP LEAD PENCIL
- MP MASONRY
- MS METAL
- PA PAINT
- PC PORTLAND CEMENT
- PF PAVED
- PL PLASTER
- PR BRICK
- PT PORTLAND TEMENT
- RO ROOF
- SR SURF
- ST STEEL
- SW SWELL
- TD TYPED
- TR TRAIL
- TV TELEVISION
- WV WATER
- WG WALL
- WM WINDOW
- WT WATER TROUGH
- YD YARD

NOTES

- The bearings and distances shown on this plan were measured in the field.
- The location of all utilities shown on this plan was determined by a combination of field observation, utility records, and trenching.
- The elevations shown on this plan are based on the National Mean Sea Level Datum.
- The monumentation shown on this plan was set by the surveyor in accordance with the provisions of the laws of this State.

ADDITIONAL NOTES

- The location of the centerline of the driveway is shown on this plan.
- The location of the centerline of the road is shown on this plan.
- The location of the centerline of the stream is shown on this plan.

Scale 1" = 20'

North



THIS DRAWING IS THE PROPERTY OF S&S. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF S&S IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS DRAWING.

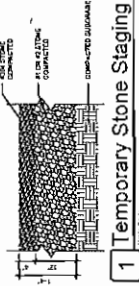


DATE	NO.	DESCRIPTION

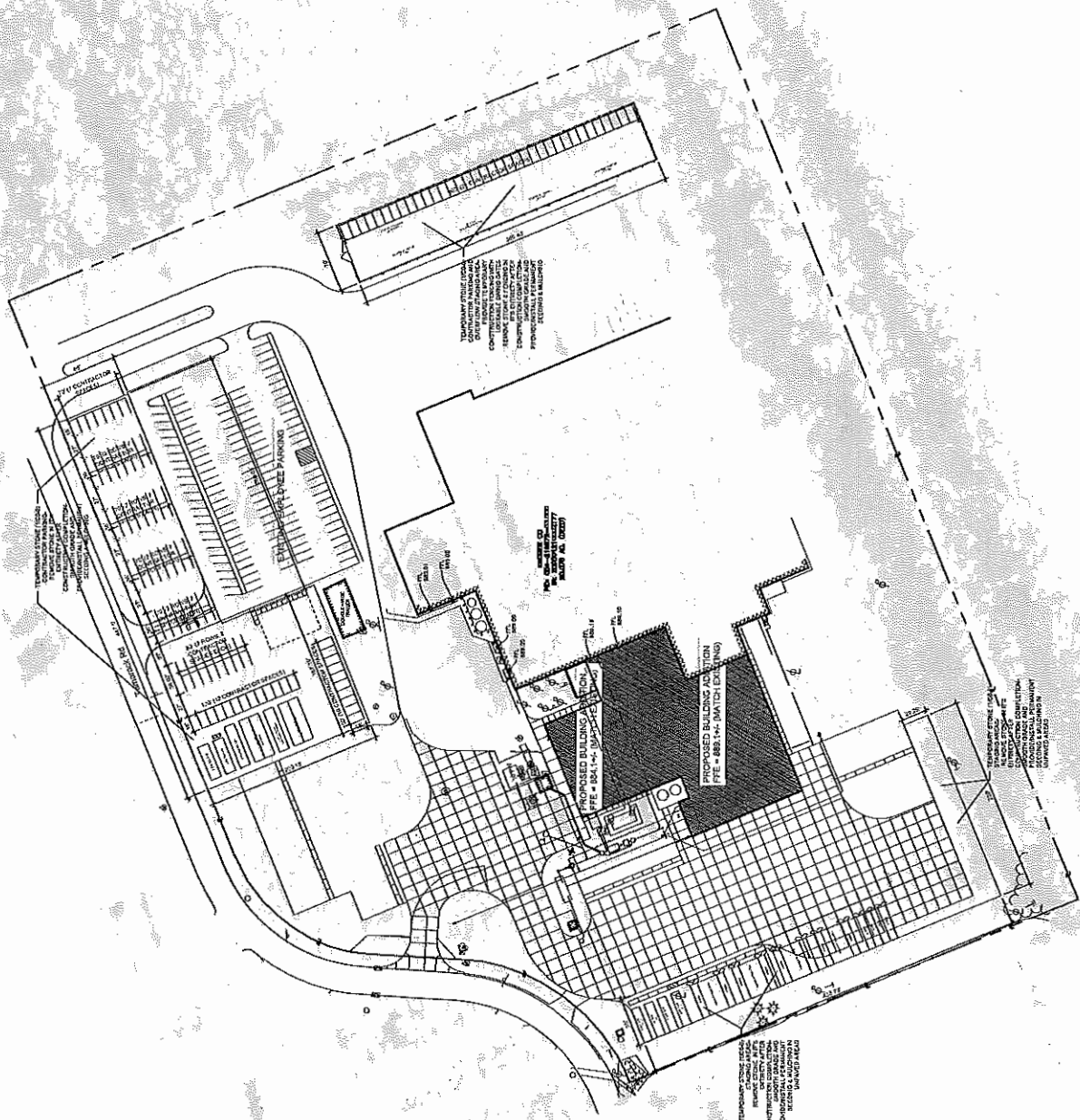
Temporary Construction Staging Plan

C0-0 0

For technical questions concerning the drawings or project, contact:
 Kerry Schroeder
 MSKTD & Assoc.
 (250) 432-9337

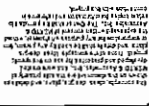


1 Temporary Stone Staging



Temporary Construction Staging Plan

Scale: 1" = 20'



Project No.	100-000000
Sheet No.	100-000000
Date	10/01/2002
Scale	AS SHOWN
Author	MSKTD
Checker	MSKTD
Engineer	MSKTD

Stormwater Pollution Prevention Plan

100-000000

100-000000

10/01/2002

AS SHOWN

MSKTD

MSKTD

MSKTD

C0-1

For technical questions concerning the drawings or project, contact:
 Kerry Schoepf
 MSKTD & Assoc.
 (260) 432-9337

NO.	DESCRIPTION	DATE	BY	REVISIONS
1	ISSUED FOR PERMIT	10/01/2002	MSKTD	
2	REVISED PERMIT REQUIREMENTS	10/01/2002	MSKTD	

NO.	DESCRIPTION	DATE	BY	REVISIONS
1	ISSUED FOR PERMIT	10/01/2002	MSKTD	
2	REVISED PERMIT REQUIREMENTS	10/01/2002	MSKTD	

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PERMIT, ETC.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PERMIT, ETC.

3. CHANGES TO THE PERMIT, ETC. SHALL BE APPROVED BY THE PERMITTING AGENCY.

Schedule of Erosion and Sediment Control Measures

THE FOLLOWING SCHEDULE OF EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT THROUGHOUT THE CONSTRUCTION PERIOD:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY WITHIN THE PROJECT LIMIT.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE PROJECT.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
8. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

Erosion and Sediment Control Monitoring and Maintenance

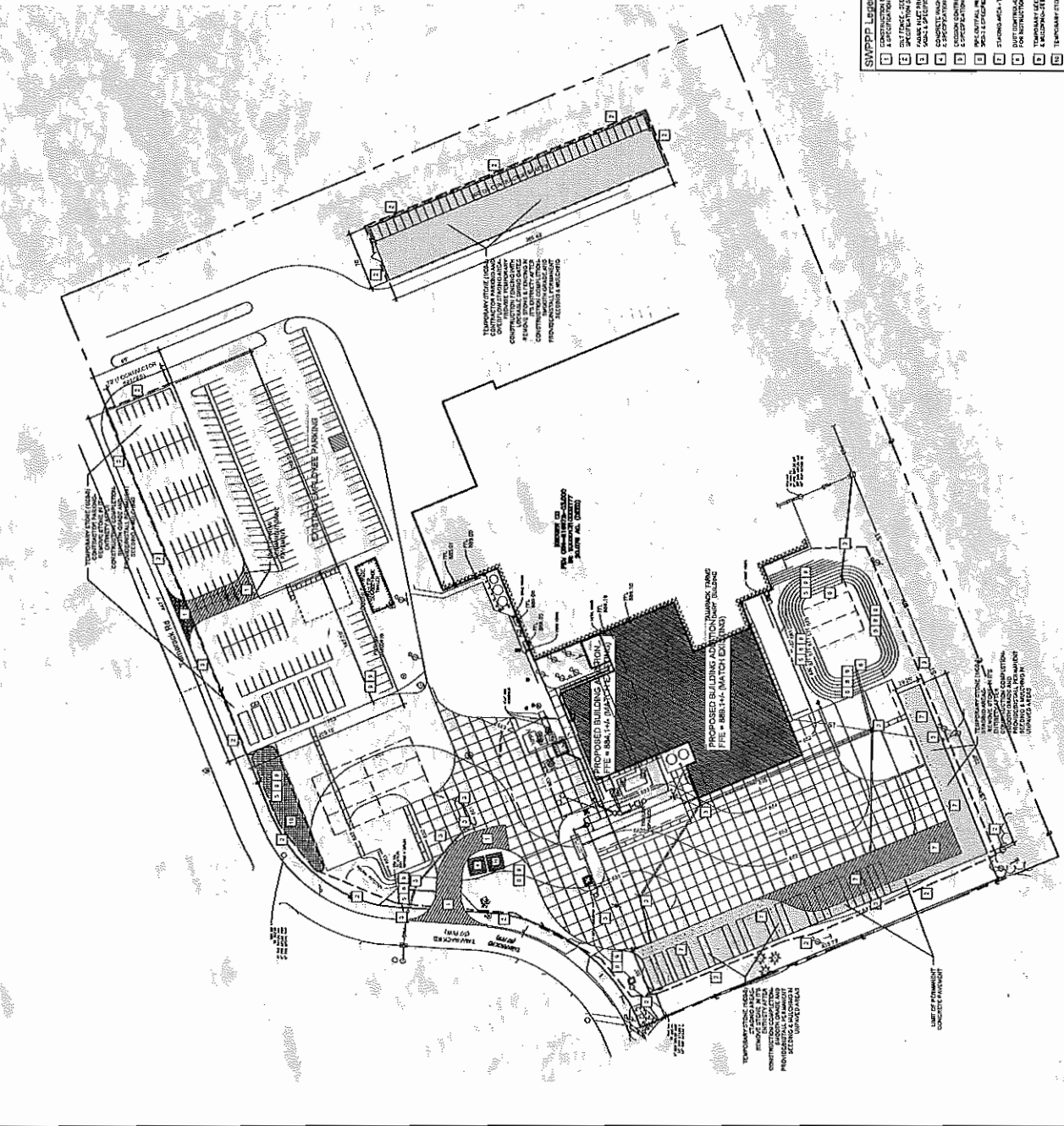
ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MONITORED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE MONITORING AND MAINTENANCE SHALL BE PERFORMED ACCORDING TO THE FOLLOWING SCHEDULE:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MONITORED DAILY.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED DAILY.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MONITORED DAILY.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED DAILY.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MONITORED DAILY.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED DAILY.
7. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MONITORED DAILY.
8. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED DAILY.

Material Handling and Spill Prevention Plan

ALL MATERIALS TO BE HANDLED OR STORED ON THE CONSTRUCTION SITE SHALL BE PROTECTED FROM WEATHER AND OTHER SOURCES OF POLLUTION. THE PROTECTION SHALL BE PERFORMED ACCORDING TO THE FOLLOWING SCHEDULE:

1. ALL MATERIALS SHALL BE STORED IN A PROTECTED AREA.
2. ALL MATERIALS SHALL BE COVERED WITH A WEATHER RESISTANT COVER.
3. ALL MATERIALS SHALL BE STORED IN A PROTECTED AREA.
4. ALL MATERIALS SHALL BE COVERED WITH A WEATHER RESISTANT COVER.
5. ALL MATERIALS SHALL BE STORED IN A PROTECTED AREA.
6. ALL MATERIALS SHALL BE COVERED WITH A WEATHER RESISTANT COVER.
7. ALL MATERIALS SHALL BE STORED IN A PROTECTED AREA.
8. ALL MATERIALS SHALL BE COVERED WITH A WEATHER RESISTANT COVER.



SWPPP Legend

- 1 CONSTRUCTION SITE - PERMITTING
- 2 CONSTRUCTION SITE - PERMITTING
- 3 CONSTRUCTION SITE - PERMITTING
- 4 CONSTRUCTION SITE - PERMITTING
- 5 CONSTRUCTION SITE - PERMITTING
- 6 CONSTRUCTION SITE - PERMITTING
- 7 CONSTRUCTION SITE - PERMITTING
- 8 CONSTRUCTION SITE - PERMITTING
- 9 CONSTRUCTION SITE - PERMITTING
- 10 CONSTRUCTION SITE - PERMITTING
- 11 CONSTRUCTION SITE - PERMITTING
- 12 CONSTRUCTION SITE - PERMITTING

Stormwater Pollution Prevention Plan

100-000000

100-000000

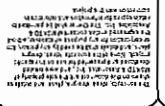
10/01/2002

AS SHOWN

MSKTD

MSKTD

MSKTD



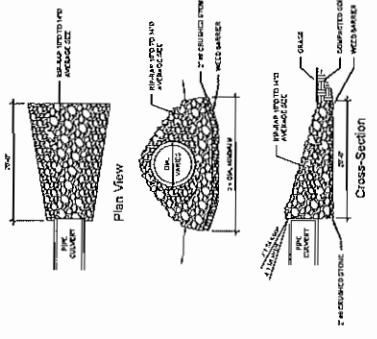
NO.	DATE	BY	CHKD.	DESCRIPTION

SWPPP Details

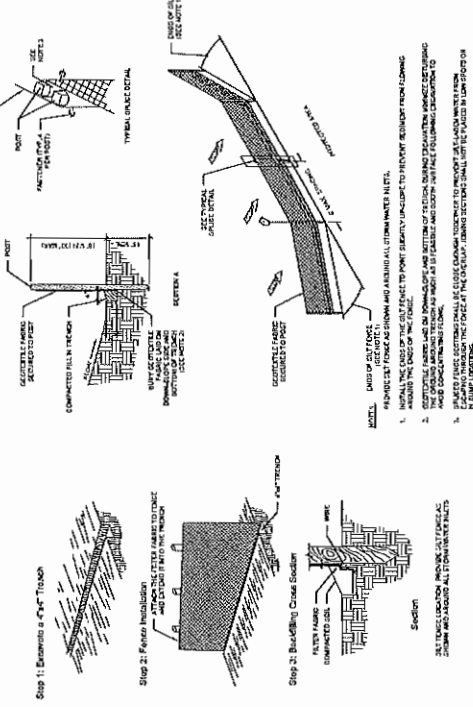
DATE: 11/15/2011
 DRAWN BY: J. SCHROETH
 CHECKED BY: J. SCHROETH
 PROJECT NO.: 11-001
 SHEET NO.: C0-2

C0-2

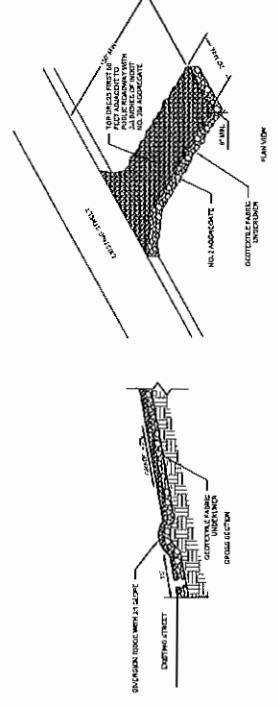
For technical questions concerning the drawings or project, contact
 Kerry Schroeth
 MSKTD & Assoc.
 (260) 432-9337



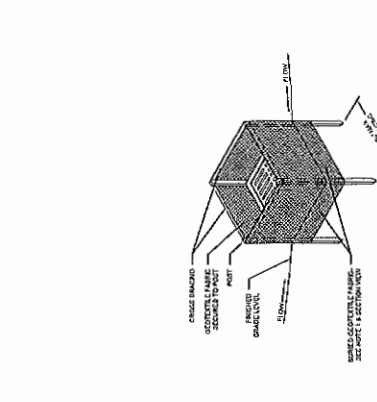
3 Outfall Protection
Plan View



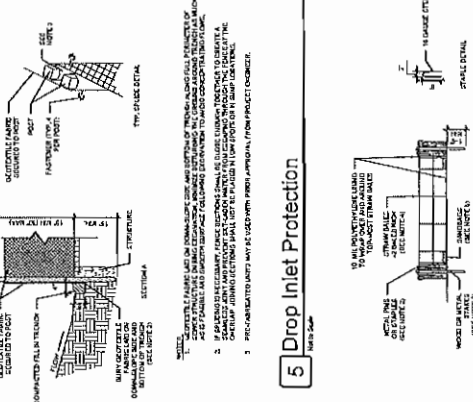
2 Silt Fence
Plan View



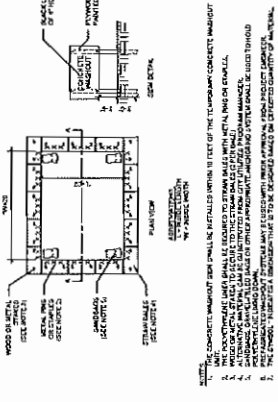
1 Temporary Construction Entrance
Plan View



4 Concrete Washout-Above Grade
Plan View



5 Drop Inlet Protection
Plan View



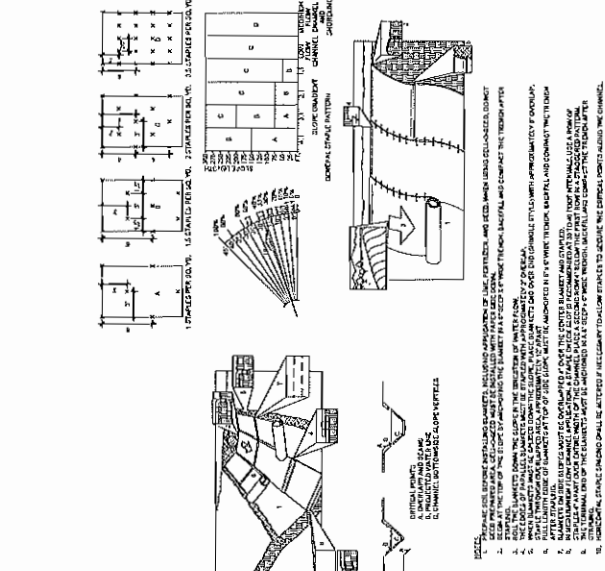
6 Erosion Control Blanket
Plan View



3 Outfall Protection
Plan View



2 Silt Fence
Plan View



1 Temporary Construction Entrance
Plan View

MSKTD OF OHIO, Inc.

A COMMITMENT TO EXCELLENCE

S&S Since 1976 FACILITY DESIGN & CONSTRUCTION

S&S Since 1976 FACILITY DESIGN & CONSTRUCTION

NO.	DATE	BY	CHKD.	DESCRIPTION

SWPPP Details

C0-2



STATE OF OHIO
 DEPARTMENT OF PUBLIC SAFETY
 DIVISION OF PROFESSIONAL ENGINEERS
 ROBERT A. LINSLEY, License No. 120212
 EXPIRES 12/31/2025

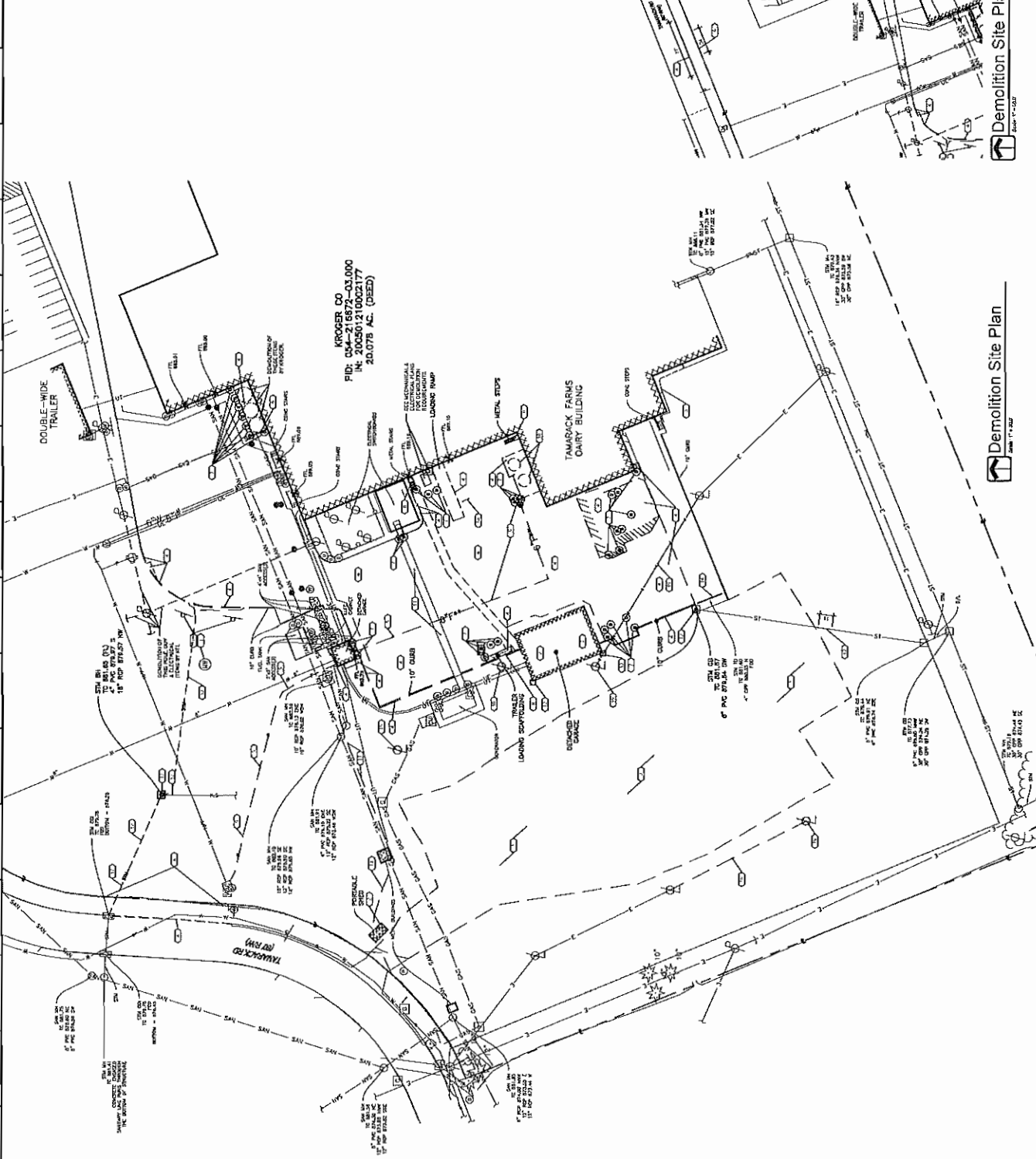


PROJECT NO.	120212
DATE	12/15/2023
SCALE	AS SHOWN
TITLE	DEMOLITION SITE PLAN
DESIGNED BY	RL
CHECKED BY	RL
APPROVED BY	RL

Demolition Site Plan
 C1-1 0

For technical questions concerning the drawings or project, contact:
 Kerry Schreeff
 MSKTD & Assoc.
 (580) 432-9337

- Demolition Legend:**
- (1) DEMOLISH EXISTING CONCRETE AND MASONRY WALLS AND FOUNDATIONS TO FINISH GRADE.
 - (2) DEMOLISH EXISTING CONCRETE AND MASONRY WALLS AND FOUNDATIONS TO FINISH GRADE, INCLUDING ALL REINFORCEMENT AND CURBS.
 - (3) DEMOLISH EXISTING CONCRETE AND MASONRY WALLS AND FOUNDATIONS TO FINISH GRADE, INCLUDING ALL REINFORCEMENT AND CURBS, AND REMOVE ALL REINFORCEMENT FROM THE CONCRETE.
 - (4) DEMOLISH EXISTING CONCRETE AND MASONRY WALLS AND FOUNDATIONS TO FINISH GRADE, INCLUDING ALL REINFORCEMENT AND CURBS, AND REMOVE ALL REINFORCEMENT FROM THE CONCRETE AND MASONRY WALLS.
 - (5) DEMOLISH EXISTING CONCRETE AND MASONRY WALLS AND FOUNDATIONS TO FINISH GRADE, INCLUDING ALL REINFORCEMENT AND CURBS, AND REMOVE ALL REINFORCEMENT FROM THE CONCRETE AND MASONRY WALLS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS.
 - (6) DEMOLISH EXISTING CONCRETE AND MASONRY WALLS AND FOUNDATIONS TO FINISH GRADE, INCLUDING ALL REINFORCEMENT AND CURBS, AND REMOVE ALL REINFORCEMENT FROM THE CONCRETE AND MASONRY WALLS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS, AND REMOVE ALL REINFORCEMENT FROM THE CURBS.
 - (7) DEMOLISH EXISTING CONCRETE AND MASONRY WALLS AND FOUNDATIONS TO FINISH GRADE, INCLUDING ALL REINFORCEMENT AND CURBS, AND REMOVE ALL REINFORCEMENT FROM THE CONCRETE AND MASONRY WALLS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS, AND REMOVE ALL REINFORCEMENT FROM THE CURBS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS.
 - (8) DEMOLISH EXISTING CONCRETE AND MASONRY WALLS AND FOUNDATIONS TO FINISH GRADE, INCLUDING ALL REINFORCEMENT AND CURBS, AND REMOVE ALL REINFORCEMENT FROM THE CONCRETE AND MASONRY WALLS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS, AND REMOVE ALL REINFORCEMENT FROM THE CURBS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS, AND REMOVE ALL REINFORCEMENT FROM THE CURBS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS.
 - (9) DEMOLISH EXISTING CONCRETE AND MASONRY WALLS AND FOUNDATIONS TO FINISH GRADE, INCLUDING ALL REINFORCEMENT AND CURBS, AND REMOVE ALL REINFORCEMENT FROM THE CONCRETE AND MASONRY WALLS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS, AND REMOVE ALL REINFORCEMENT FROM THE CURBS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS, AND REMOVE ALL REINFORCEMENT FROM THE CURBS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS, AND REMOVE ALL REINFORCEMENT FROM THE CURBS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS.
 - (10) DEMOLISH EXISTING CONCRETE AND MASONRY WALLS AND FOUNDATIONS TO FINISH GRADE, INCLUDING ALL REINFORCEMENT AND CURBS, AND REMOVE ALL REINFORCEMENT FROM THE CONCRETE AND MASONRY WALLS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS, AND REMOVE ALL REINFORCEMENT FROM THE CURBS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS, AND REMOVE ALL REINFORCEMENT FROM THE CURBS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS, AND REMOVE ALL REINFORCEMENT FROM THE CURBS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS, AND REMOVE ALL REINFORCEMENT FROM THE CURBS, AND REMOVE ALL REINFORCEMENT FROM THE FOUNDATIONS.



KROGER CO
 PID: 004-216972-03.000
 IN: 20230121002177
 20,075 AC. (GROSS)

Demolition Site Plan - Employee Entrance Drive
 Scale 1" = 50'

Demolition Site Plan
 Scale 1" = 50'

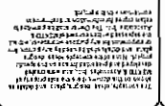


Table with project details: Project Name, Location, Date, etc.

Table with drawing information: Scale, Sheet, etc.

Grading & Utility Site Plan

C2-1 0

For technical questions concerning the drawings or project, contact Kerry Schoepf, MSKTD & Assoc. (260) 452-9337

General Utility Plan Notes

- 1. ALL UTILITIES SHALL BE INSTALLED ACCORDING TO THE CITY OF COLUMBUS SPECIFICATIONS... 2. ALL UTILITIES SHALL BE INSTALLED ACCORDING TO THE CITY OF COLUMBUS SPECIFICATIONS...

Water Main Notes

- 1. WATER MAINS SHALL BE INSTALLED ACCORDING TO THE CITY OF COLUMBUS SPECIFICATIONS... 2. WATER MAINS SHALL BE INSTALLED ACCORDING TO THE CITY OF COLUMBUS SPECIFICATIONS...

KROGER CO
PID: 054-216672-03.000
IN: 200501210002177
20.078 AC. (DEED)

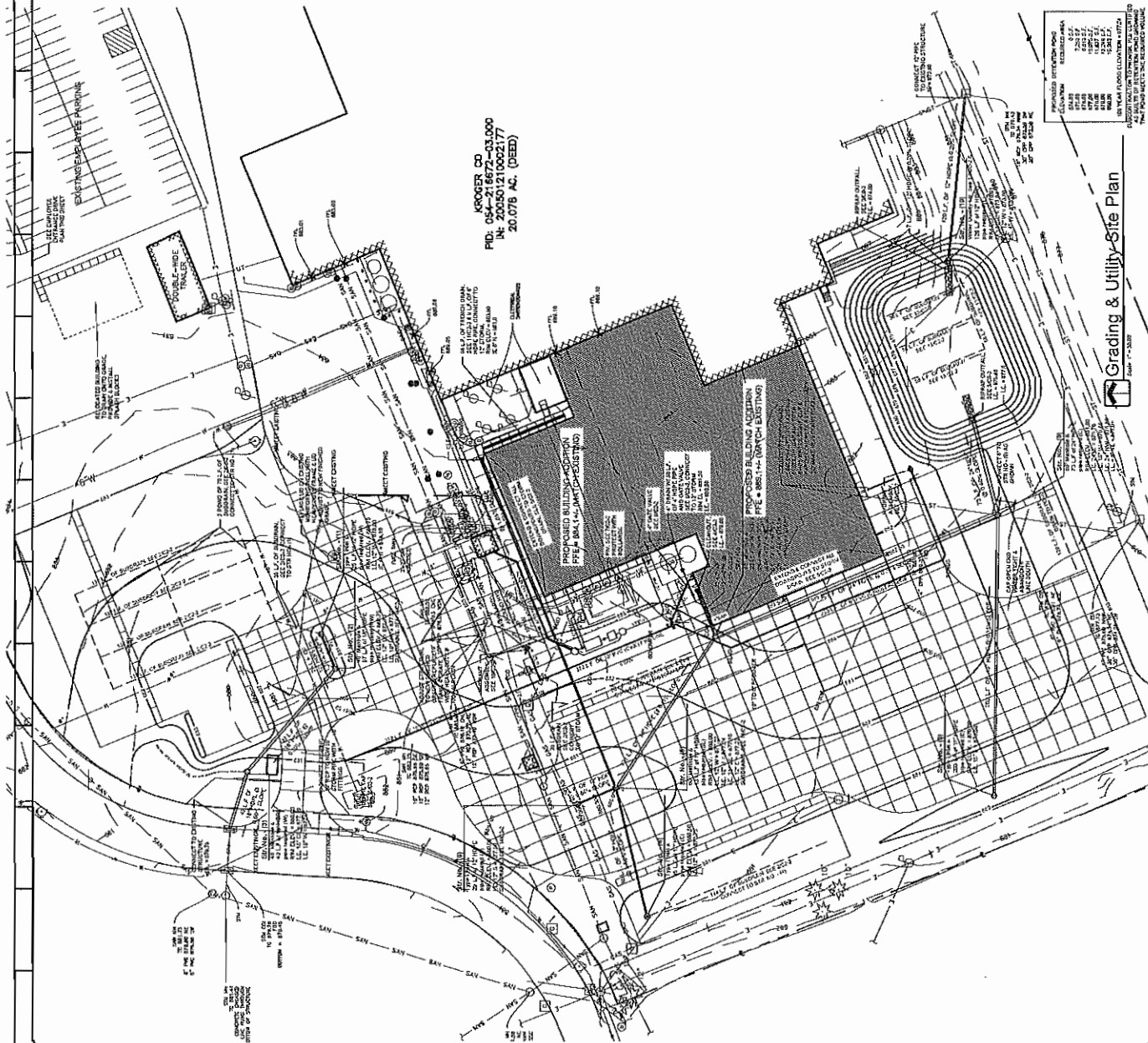


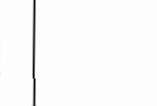
Table with elevation data: ELEVATION, 100 YEAR FLOOD ELEVATION, etc.

Grading & Utility Site Plan



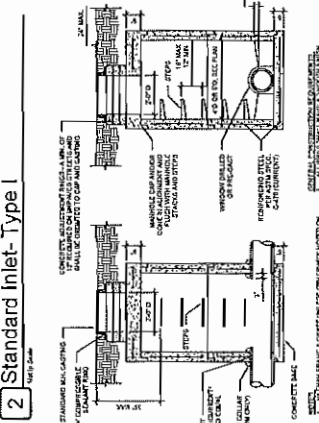
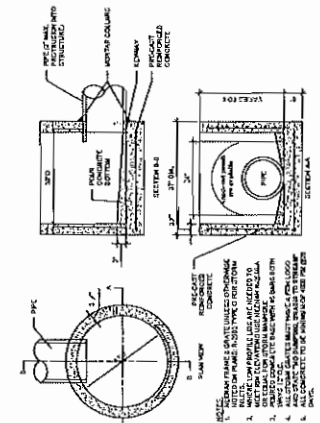
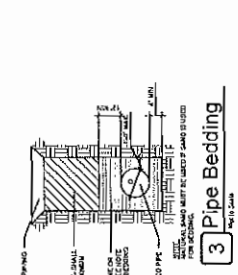
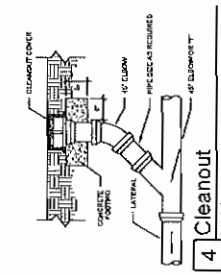


Since 1926
FACILITY DESIGN & CONSTRUCTION
S&S

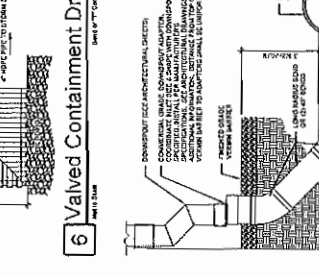
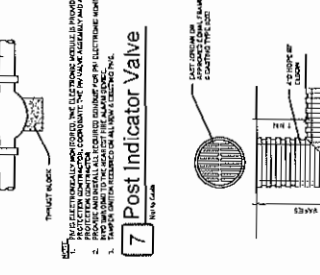
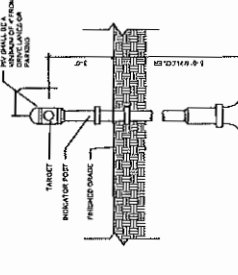
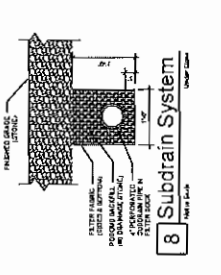


Civil Utility Details
C2-2

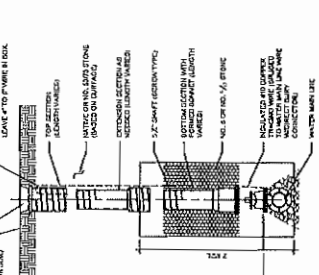
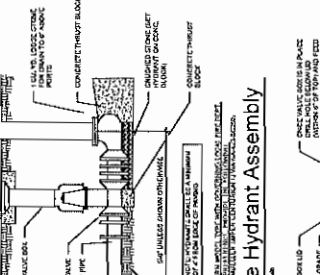
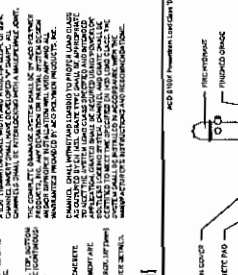
For technical questions concerning the drawings or project, contact:
Kerry Schoepf
MSKTD & Assoc.
(260) 432-9337



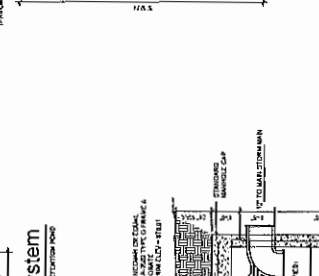
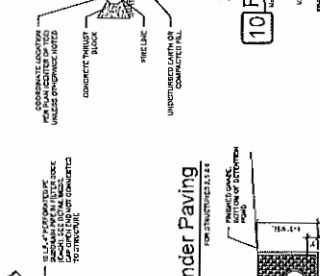
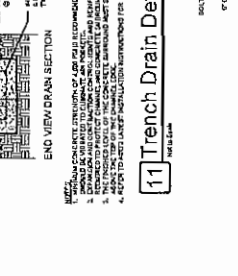
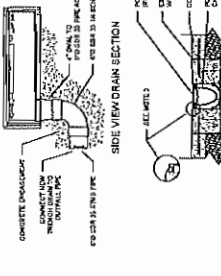
1. STANDARD MANHOLE UNITS ARE COMPLETED ON THE MANHOLE RINGS AND ARE TO BE SET IN PLACE BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

MSKTD of Ohio, Inc.
Professional Engineer
Robert J. Schaefer
No. 10000
State of Ohio

Professional Engineer
Robert J. Schaefer
No. 10000
State of Ohio

Since 1926
FACILITY DESIGN & CONSTRUCTION
S&S

Professional Engineer
Robert J. Schaefer
No. 10000
State of Ohio

Civil Utility Details
C2-2

MSKTD of Ohio, Inc.
Professional Engineer
Robert J. Schaefer
No. 10000
State of Ohio

Professional Engineer
Robert J. Schaefer
No. 10000
State of Ohio

MSKTD of Ohio, Inc.
Professional Engineer
Robert J. Schaefer
No. 10000
State of Ohio

MSKTD of Ohio, Inc.
Professional Engineer
Robert J. Schaefer
No. 10000
State of Ohio



FOR TECHNICAL QUESTIONS CONCERNING THE DRAWINGS OR PROJECT, CONTACT: Kerry Schriepff, MSKTD & Assoc. (260) 432-9337

REVISIONS: 1. CHANGED TO REFLECT THE REVISIONS TO THE PERMITS, AS SHOWN.

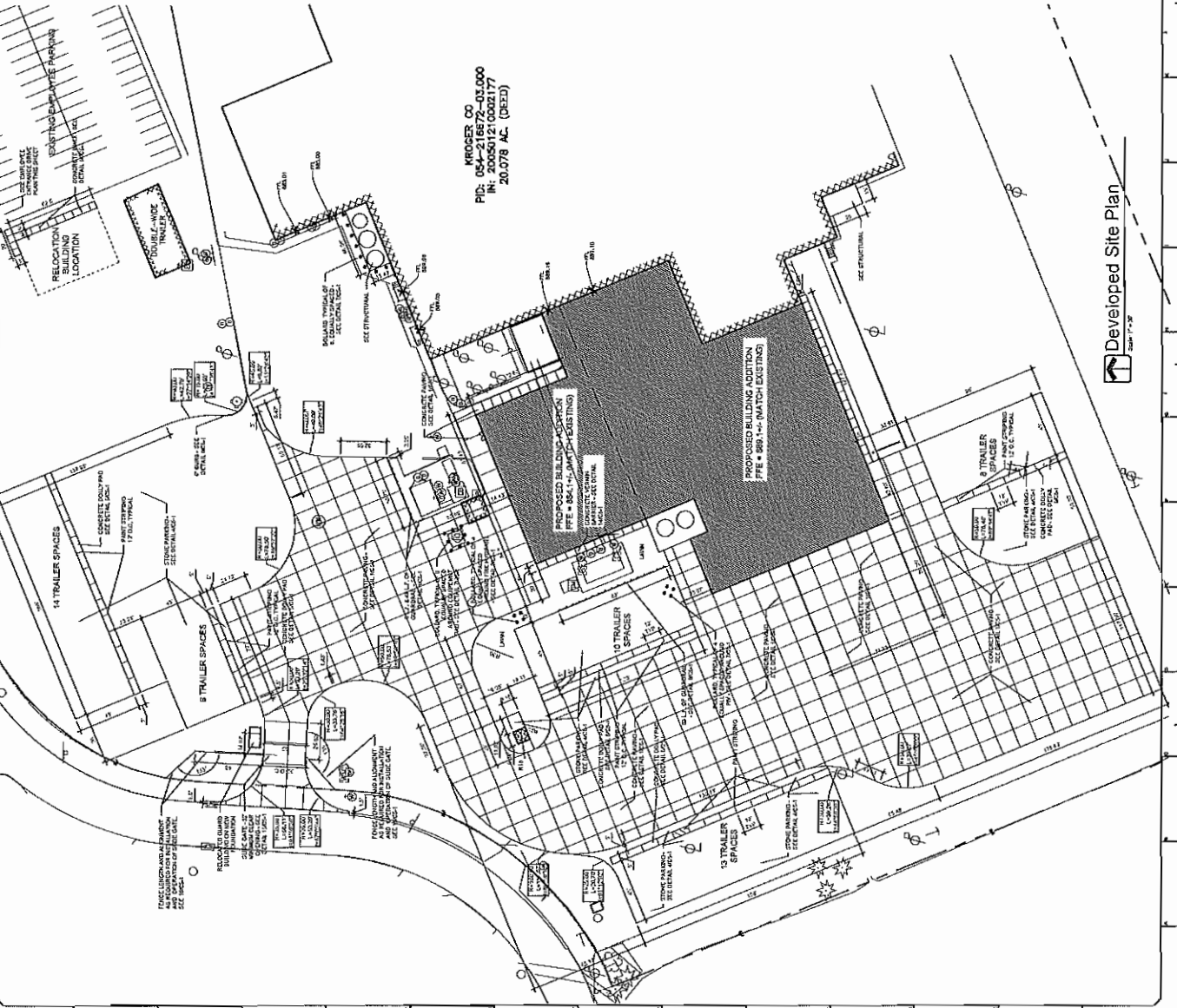
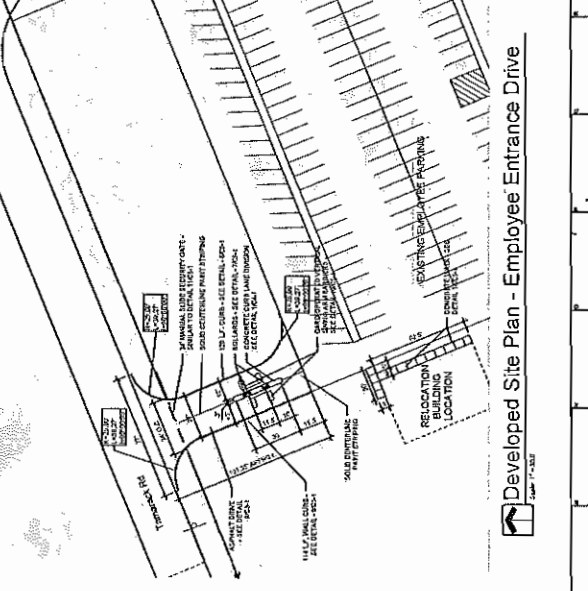
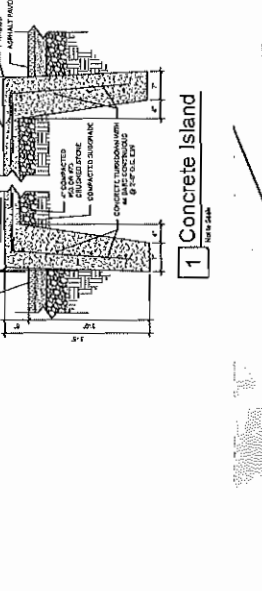
2. REVISED TRAILER SPACES TO MATCH THE PERMITS, AS SHOWN.

3. REVISED TRAILER SPACES TO MATCH THE PERMITS, AS SHOWN.

4. REVISED TRAILER SPACES TO MATCH THE PERMITS, AS SHOWN.

General Site Plan Notes

- ALL DIMENSIONS ARE TO FACE, UNLESS OTHERWISE NOTED.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PERMITS AND REGULATIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.



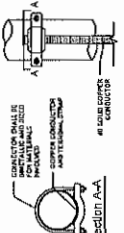


THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF MSKTD OF OHIO, INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF MSKTD OF OHIO, INC. IS STRICTLY PROHIBITED.

For technical questions concerning the drawings or project, contact
 Kerry Schoepf
 MSKTD & Assoc.
 (260) 432-9337

DATE: 11/13/13
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

Civil Details
 C5-1 10



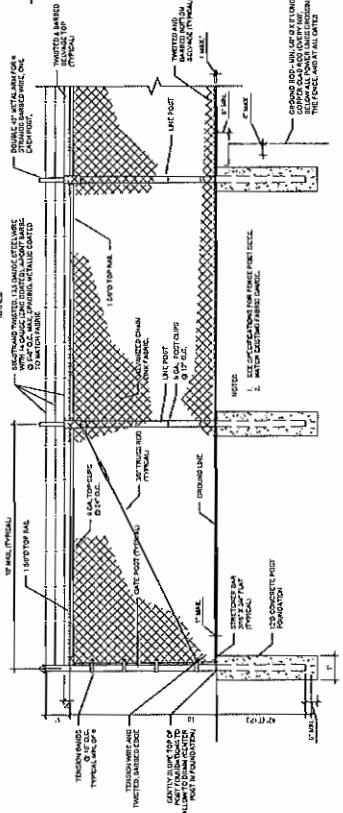
Ground Connector Detail
 1/4" = 1'-0"



Ground Rod Detail
 1/4" = 1'-0"

SHAPE	TYPE	MINIMUM AREA (SQ IN)	MINIMUM PERCENTAGE (%)
NO. 4	BAR	0.40	0.40
NO. 5	BAR	0.31	0.31
NO. 6	BAR	0.26	0.26
NO. 7	BAR	0.22	0.22
NO. 8	BAR	0.19	0.19
NO. 9	BAR	0.16	0.16
NO. 10	BAR	0.14	0.14
NO. 11	BAR	0.12	0.12
NO. 14	BAR	0.08	0.08
NO. 18	BAR	0.05	0.05

Double Arm Barbed Wire Standard



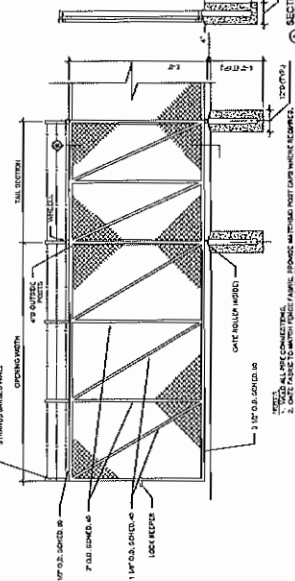
16' Chain Link Fence W/ Barb Wire
 1/4" = 1'-0"



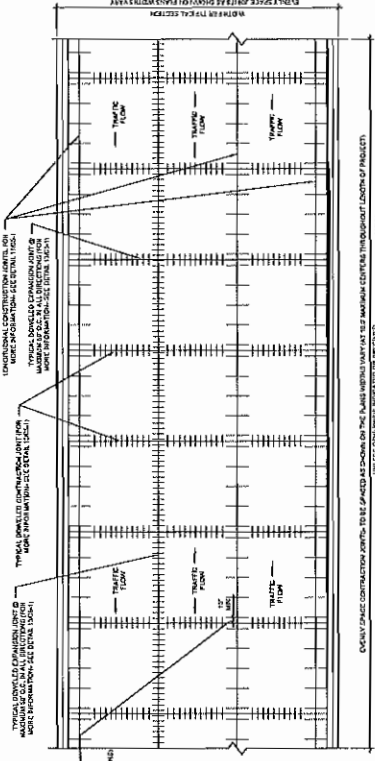
129' Concrete Doweled Contraction Joint
 1/4" = 1'-0"



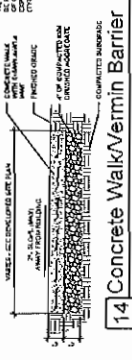
119' Conc. Longitudinal Contraction Joint
 1/4" = 1'-0"



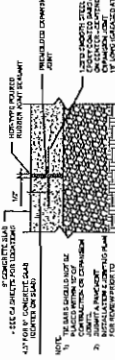
15' Sliding Cantilever Gate
 1/4" = 1'-0"



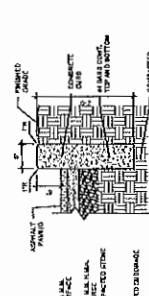
109' Concrete Joint Plan
 1/4" = 1'-0"



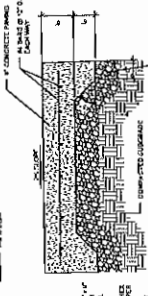
14' Concrete Walk/Vermin Barrier
 1/4" = 1'-0"



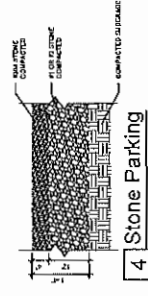
139' Concrete Expansion Joint
 1/4" = 1'-0"



6' Concrete Curb
 1/4" = 1'-0"



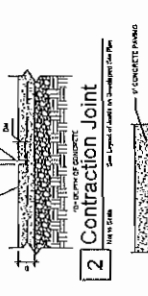
5' Concrete Dolly Pad
 1/4" = 1'-0"



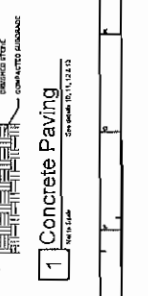
4' Stone Parking
 1/4" = 1'-0"



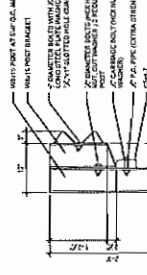
3' Expansion Joint
 1/4" = 1'-0"



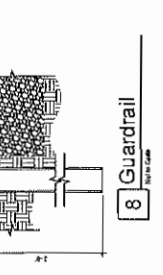
2' Contraction Joint
 1/4" = 1'-0"



1' Concrete Paving
 1/4" = 1'-0"



8' Guardrail
 1/4" = 1'-0"



6' Bollard Detail
 1/4" = 1'-0"



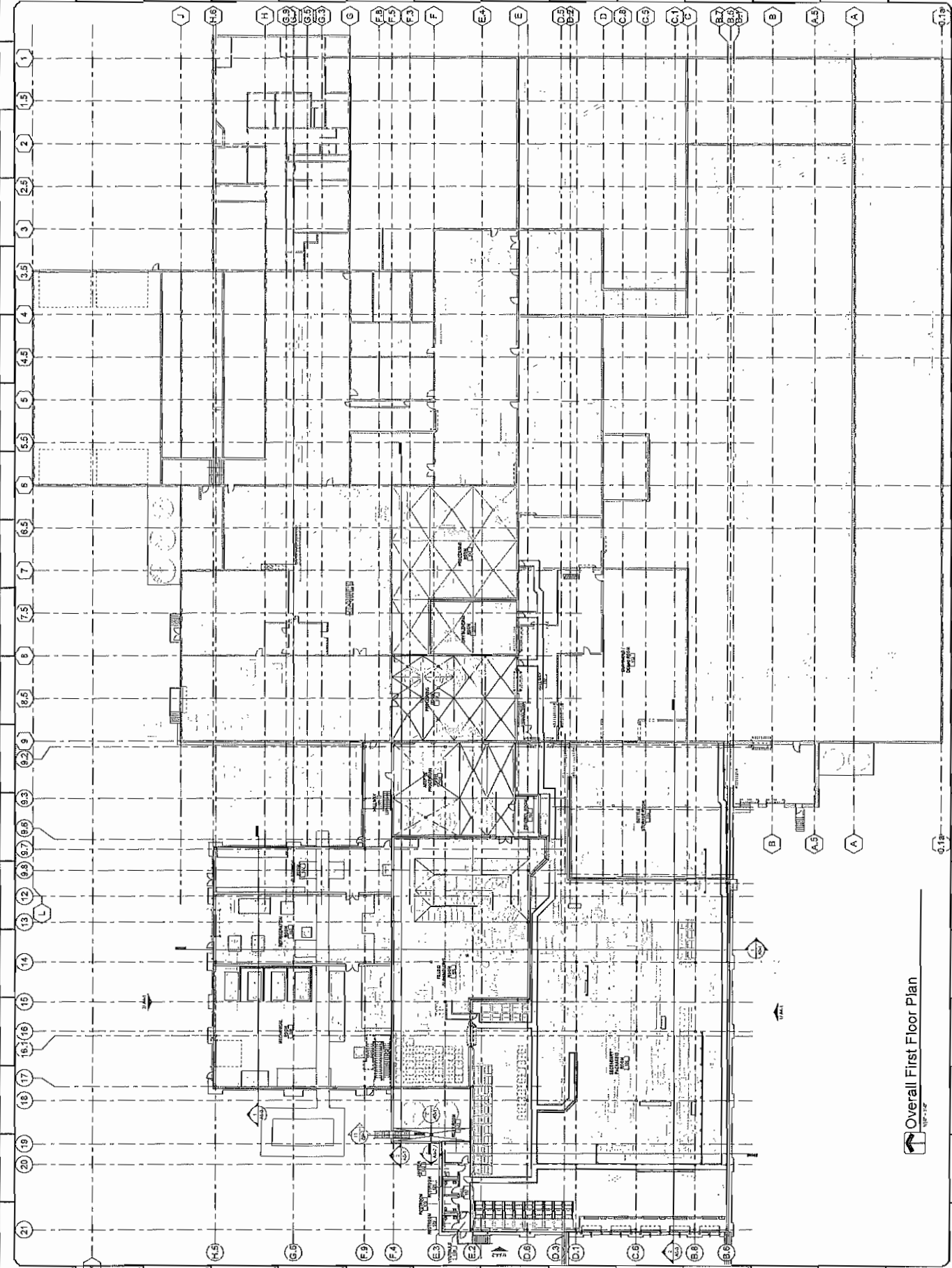
Professional Engineer
 Daniel J. Miller
 License No. 020102103
 Registration Date: 03/27/93



THE KROG GROUP
 1500 N. LAKE STREET, SUITE 200
 CHICAGO, IL 60610

NO.	DATE	DESCRIPTION

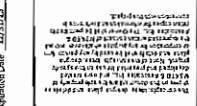
Overall First Floor Plan
 Project No. 15-15-002
 Date: 11/20/15
 Scale: AS SHOWN
 A2-1 0



Overall First Floor Plan



1/18/2022 1:58:05 PM

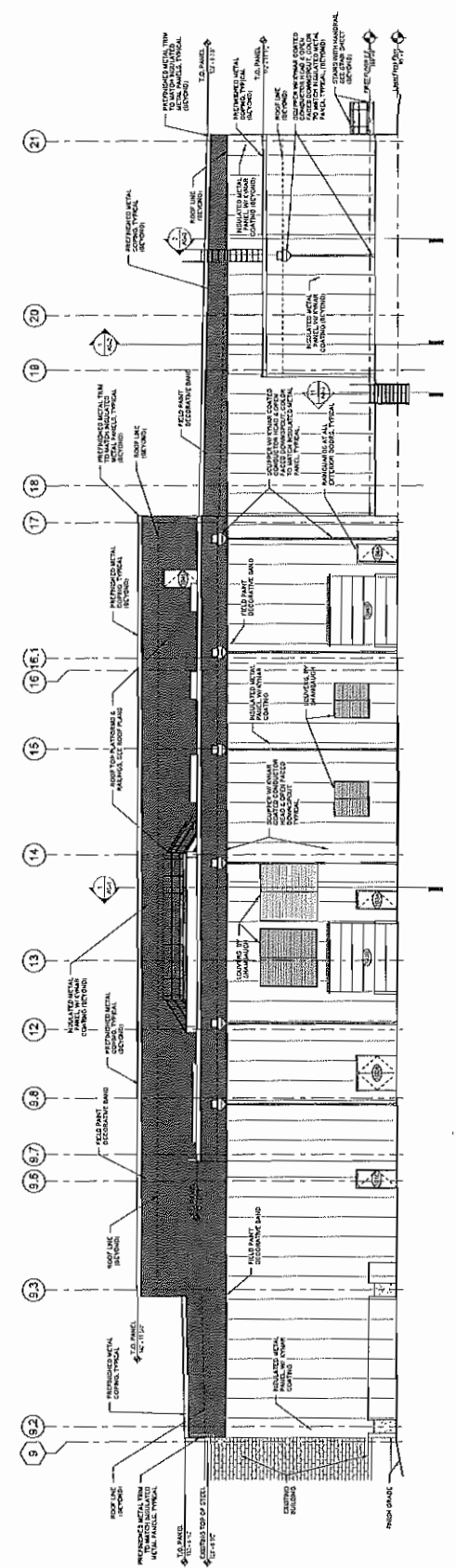


Exterior Elevations

DATE: 10/25/2022
PROJECT: ...
DRAWN BY: ...
CHECKED BY: ...
APPROVED BY: ...
SCALE: AS SHOWN

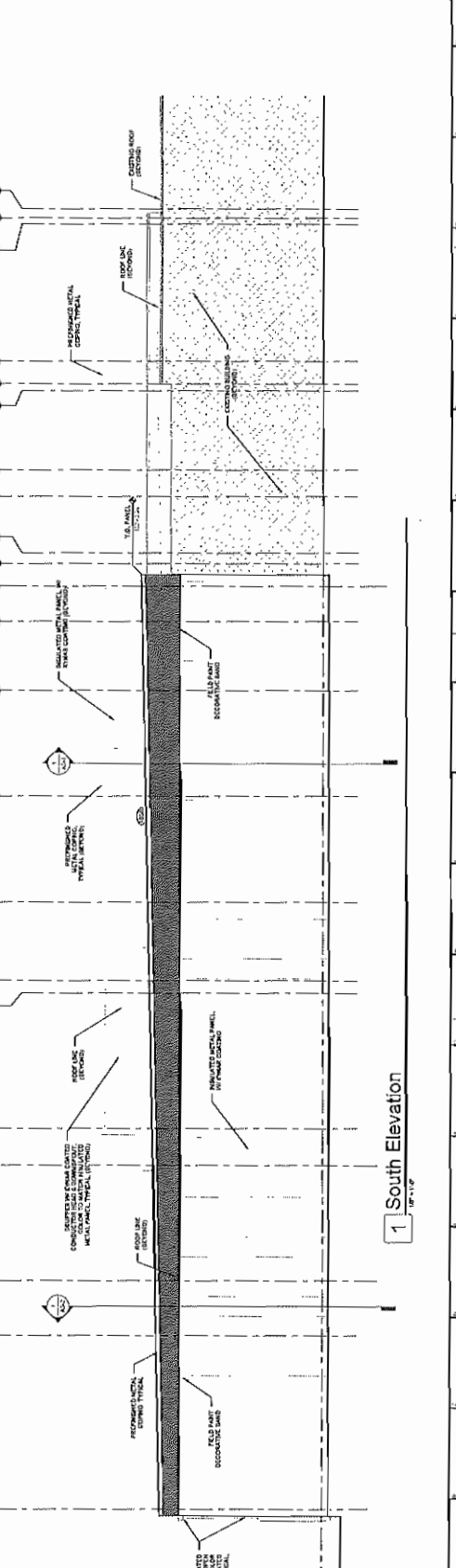
North Elevation

1/4" = 1'-0"



2 North Elevation

1/4" = 1'-0"



1 South Elevation

1/4" = 1'-0"



CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT

JANUARY 10, 2023 PLANNING COMMISSION MEETING

Application:

1. ***PC FILE 22-60: SITE PLAN FOR UHT BUILDING ADDITION FOR KROGER – TAMARACK FARMS DAIRY, 1701 TAMARACK ROAD***

Staff Report & Recommendations:

Overview:

The applicant intends to build a new building addition totaling 40,095 SF on the site.

The Site Plan Review Committee submitted comments on 1/5/2023 regarding this application. Reviewers included:

- Mark Mauter, Development Director
- Brandon Metzger, Fire Chief
- Aaron Holman, NFD
- Erik McKee, Police Chief
- Craig Riley, Deputy Police Chief
- Roger Loomis, Utilities Superintendent
- Adam Bernard, Utilities Engineer
- Lindsey Brighton, Stormwater Utility
- Nick Shultz, Street and Traffic Engineer
- Don Hiltner, Senior Engineer
- Brian Morehead, City Engineer
- George Carter, Zoning Inspector

A. Zoning District:

This site is zoned Light Industrial District (LI); the proposed use is a permitted use.

Flood Zones: There are no flood zones identified on this site, however there are drainage ditches on the site.

B. Safety Division Review:

The Police and Fire Divisions have expressed no concerns with this proposal.

C. Height Restrictions:

The height of the proposed structure meets the code requirements.

D. Lot Area & Setbacks:

Parcel is approximately 874,685 S.F. +/-, with proposed 20% building coverage, which meets the lot density requirements of maximum 25% building coverage.



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

- E. Off-Street Parking & Loading:
Code requires 145 parking spaces, but the total number of available spaces is not listed anywhere on the plans. These areas and counts need to be shown on the plans.
- F. Corner Lots:
No structures are proposed at this time in the lot corner area.
- G. Landscaping, Buffering & Greenspace:
The landscaping requirement consists of 49,550 +/- SF of green space and greater than 12,387 SF of the green space area shall be ground cover as required by the Zoning Code. In addition, 35 trees are required on the site. A landscaping plan has not been submitted, and these items and areas should be shown on a plan. While some of these items already exist on site, many areas are being converted for temporary parking during construction, and the restoration provides an opportunity to comply with the landscaping requirement.
- H. Public & Private Roadways – Access Management:
All of the proposed driveways are privately owned and maintained.
- I. Site Signage:
No signage has been submitted with the proposal.
- J. Traffic Control / Street / Right-of-Way Issues:
Two new driveway approaches are proposed on the south side of Tamarack Road. The purpose is to separate the employee traffic from the existing truck delivery traffic, and to provide additional truck delivery access to the new addition. We don't see any issues with adding the additional approaches to this development.
- K. Engineering / Utilities:
New water and sanitary sewer service lines are proposed to be extended from the existing internal site plumbing, and are currently being reviewed.
- A stormwater management plan has been submitted at this point, and this will need to be reviewed along with the stormwater design calculations and other construction proposals, prior to zoning approval.
- L. Other Standards/Regulations
No other comments at this time.



**CITY OF NEWARK
PLANNING COMMISSION STAFF REPORT**

Recommendations:

Staff recommends approval of this site plan at this time, contingent upon the resolution of the issues listed:

1. Parking space requirements are met on the plans.
2. Landscape requirements are met on the plans.
3. Water and sanitary sewer service plans are approved.
4. Stormwater construction plans and management plans are approved. Compliance with City's Stormwater Management requirements, to ensure runoff water does not adversely impact adjacent properties.
5. Any of the remaining issues listed above will be addressed on the final construction plans.

If approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

Planning Commission Action on Recommendation:

- Approved As Submitted
 Approved As Noted, With Contingencies
 Denied

Planning Director _____ Date _____

City of Newark
Division of Engineering

MEMORANDUM

TO : NEWARK PLANNING COMMISSION

FROM: BRIAN R. MOREHEAD, CITY ENGINEER

DATE : 5 JANUARY 2023

RE: DEDICATION PLAT FOR ADDITIONAL RIGHT-OF-WAY ON
SOUTH 11TH STREET AND WEST MAIN STREET

I have reviewed the dedication plat for the above additional right-of-way on South 11th Street and West Main Street. The following comments are based on my review and compliance with the Subdivision Ordinance of The City of Newark.

This dedication of additional right-of-way has been negotiated with the developer of the planned apartment complex at the southeast corner of these streets. A construction plan has been developed for improvements to both of these areas, and the additional right-of-way is needed to accomplish these upgrades.

We have recently opened bids for this work, and will be working on a cost sharing agreement with the developer. When the agreement has been executed, we will move forward with the approval and recording of this plat, along with the beginning of the planned construction.

SECTION 3.09

1. Minor typos and updates needed to the signature date spaces.
2. Awaiting comments from Licking Co. Engineer review.

RECOMMENDATION

I recommend approval of this Dedication Plat, contingent on resolution of the corrections noted above. If approved by Planning Commission, I will prepare legislation for City Council to dedicate the right-of-way, etc. When legislation is passed by City Council, the Plat will be released for recording.

BRM

Cc: George Carter, Zoning Inspector
PC File 23-03
City Engineer

DESCRIPTION

Being divided into Lot 7, 4th Quarter, Township 2 North, Range 13 West, United States Military Survey of the County of Licking, Ohio, said lots of 2.797 acres each as shown on the plat of Parcel Newark Development LLC by deed of record in instrument 20211613001301 as recorded in the Licking County Recorder's Office, and further described as follows:

northerly right of way line of Jefferson Street (50' wide) with the easterly right of way line of South 11th Street (45' wide), said point also being the southwest corner of the grantor's property;

Thence along the easterly right of way line of South 11th Street and the grantor's westerly right of way line of South 11th Street with the southerly right of way line of West Main Street (Width Varies), said point also being the northwesterly corner of the grantor's property;

Thence along the southerly right of way line of West Main Street and the grantor's northerly right of way line of West Main Street (50' wide) to the following 2 (two) courses:

- 1) _____
- 2) _____
- 3) _____

Thence leading the southerly right of way line of West Main Street and with the easterly right of way line of the grantor's property and the westerly line of said lot 7 of PARCELS BAND NEWARK, LLC

Thence across the grantor's property the following 6 (six) courses:

- 1) _____
- 2) Parallel to and 10 feet southerly of the southerly right of way line of West Main
- 3) Parallel to and 16 feet southerly of the southerly right of way line of West Main
- 4) Parallel to and 10 feet southerly of the southerly right of way line of West Main
- 5) _____
- 6) Parallel to and 7 feet easterly of the easterly right of way line of South 11th

right of way line of Jefferson Street (60' Width) and the grantor's southerly line; Thence with the northerly right of way line of Jefferson Street and the grantor's southerly line containing 0.137 Acres, of which all 0.137 acres are within Auditor's Parcel Number of 027727401002, subject however to all other right of way, easements and agreements of record.

This dedication was prepared by Daniel L. Culek, Ohio Professional Surveyor Number 7803 from an actual field survey performed in 2021.

Iron pins set are 60"x30" metal topped by a yellow plastic identification cap referenced to the Ohio State Plane Coordinate System, South Zone, NAD83, with 2011 NSRS Adjustment.

OWNER'S CONSENT AND OFFER OF DEDICATION

The undersigned, owner of the lands depicted herein, being duly authorized in this regard, hereby certifies that this plat correctly represents the "South Eleventh Street & West Main Street Dedication Plat" in the City of Newark, Ohio, a subdivision of 5.137 Acres of land, more or less, and does hereby accept this plat of same and dedication to public use as such all or parts of South Eleventh Street and West Main Street shown herein and not heretofore dedicated.

SIGNED AND ACKNOWLEDGED
IN THE PRESENCE OF:
BY: Tyler Bossert
Authorized Agent
Parcel Newark Development LLC

PRINTED: _____
PRINTED: _____

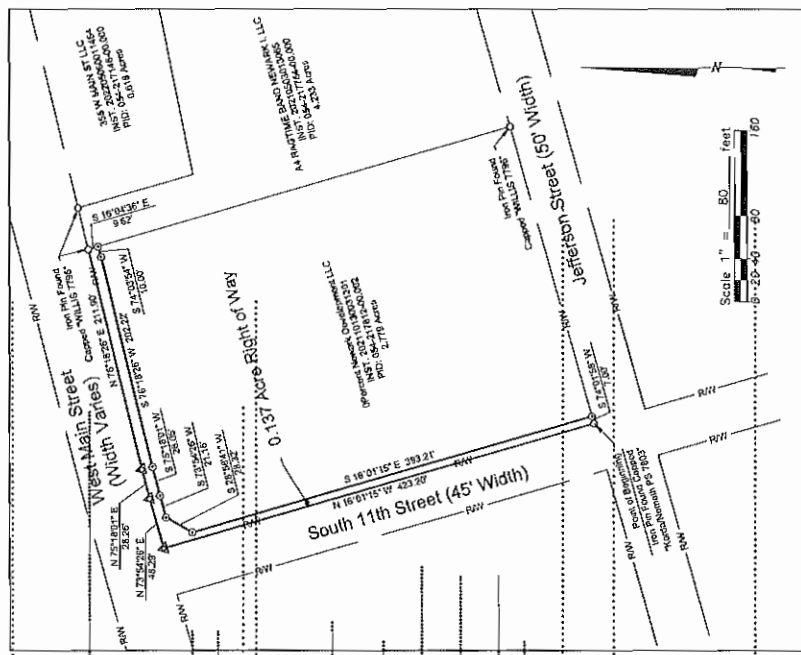
CERTIFICATE OF NOTARY PUBLIC

Before me, a Notary Public in and for said County, personally appeared Tyler Bossert as the grantor, known to me to be the person whose name is subscribed to the foregoing instrument, and that he is the owner of the premises therein set out and deed of Parcel Newark Development LLC for the purposes expressed herein.

In witness whereof, I have hereunto set my hand and affixed my official seal this _____ Day of _____, 2022.

NOTARY PUBLIC
Notary Public Stamp

**SOUTH ELEVENTH STREET & WEST MAIN STREET DEDICATION PLAT
IN THE CITY OF NEWARK, OHIO**



SURVEY DATA

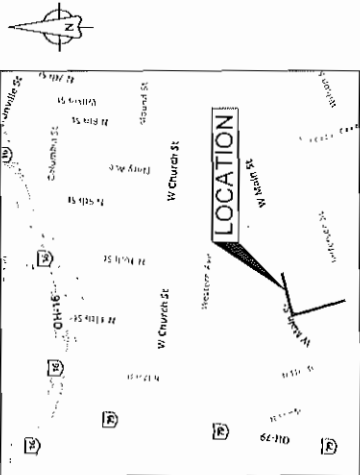
- 1) The bearings are based on the northerly line of Jefferson Street being System, South Zone, NAD83, with 2011 NSRS Adjustment.
- 2) The sources of data referenced in the compilation of this plat and text herein are the records of the Licking County Recorder's Office, Licking County Auditor's Office, Licking County Engineer's Office, Licking County Deed Records, County Plat Records, and County Tax Maps.
- 3) Iron pins set are 60"x30" metal topped by a yellow plastic identification cap



- MONUMENT LEGEND**
- - 60"x30" iron pin set
 - - Survey nail set
 - - 3/4" iron pipe found
 - - Iron pin found
 - ▲ - Survey nail found

CERTIFICATE OF SURVEYOR
I hereby certify that this plat is a true and correct representation of a survey performed under my responsible direction and supervision and is correct to the best of my knowledge.
DRAFT
REGISTERED SURVEYOR NO. 7803
October 10, 2022
DATE

Location Map NTS



Approved by the Planning Commission of the City of Newark, Ohio, this _____ Day of _____, 2022.

CHAIRMAN _____
SECRETARY _____

Approved and accepted this _____ Day of _____, 2022.
By Ordinance No. _____ The public right-of-way delineated herein, is hereby accepted as such by the County of the City of Newark, Ohio.

In witness whereof, I have hereunto set my hand and affixed my seal this _____ Day of _____, 2022.

CLERK OF COUNCIL, CITY OF NEWARK

Approved by _____ Day of _____, 2022.
this _____ Day of _____, 2022. CITY Engineer on

Transferred this _____ day of _____, 2022.

AUDITOR, LICKING COUNTY, OHIO

Filed for recording this _____ Day of _____, 2022.
At _____ Fee _____ File No. _____
Restrictions Fee _____
Recorded this _____ Day of _____, 2022.
Plat Book _____ Page[s] _____
_____ . Recordations recorded in Official Record Volume _____ Page[s] _____

RECORDER, LICKING COUNTY, OHIO

Surveyed & Plotted by
KORDA
Korda/Namech Engineering, Inc. - Consulting Engineers
2500 Westwood Drive, Suite 200 - Columbus, Ohio 43228-2000
TEL: 614-891-1622 FAX: 614-467-8381 WEB: www.korda.com

**RIGHT-OF-WAY DEDICATION
SOUTH ELEVENTH STREET
& WEST MAIN STREET
325 W MAIN STREET DEVELOPMENT**

FIELD	DRAWN	CHECKED	JOB NO.	DATE	SCALE	SHEET NUMBER
DYNO	DKS	DLQ	2021-0418	10/10/2022	1" = 80'	1 OF 1